

# Osborne Park Kangaroo Valley Showground

Moss Vale Road, Kangaroo Valley

## Conservation Management Plan

prepared for

Shoalhaven City Council  
Bridge Road, Nowra NSW



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## **EXECUTIVE SUMMARY**

### **Conservation Management Plan for Osborne Park, Kangaroo Valley**

This Conservation Management Plan has been prepared for the Kangaroo Valley Showground, Osborne Park, Kangaroo Valley, Nowra for Shoalhaven City Council. The overall aim of this Conservation Management Plan is to investigate and analyse the documentary and physical evidence available to formulate a statement of cultural significance, and to provide management guidelines to enable this significance to be retained in future use and development.

The main points of this study can be understood by reading the following sections.

- **Analysis of Documentary and Physical Evidence (Section 5.0)**

This study in brief concludes that Osborne Park is in good condition. The structures' original form and configuration can be clearly understood.

It is critical that any works at the site be documented and implemented in a way that allows for the retention in-situ of the maximum amount of existing significant fabric.

- **Statement of Cultural Significance (Section 6.0)**

Osborne Park has historical, aesthetic, social and technical/research significance at a local level to the Kangaroo Valley area.

- **Constraints and Opportunities (Section 7.0)**

Generally, Osborne Park should be retained and conserved as an agricultural showground and recreational and sporting facility.

- **Conservation Policy (Section 8.0)**

This study suggests appropriate uses for the site, as well as various recommended actions which should be taken to conserve the existing site.

Any present and/or future design proposals should be evaluated and reviewed in association with the conservation policies and recommendations provided in this report to ensure that the significant heritage values of the site are retained and fully interpreted by the community.

In summary, we believe that if the site is carefully developed and regular maintenance is undertaken the site can retain its heritage significance and play an important function for the local community as a showground, recreational and sporting facility, or the "Village Green".

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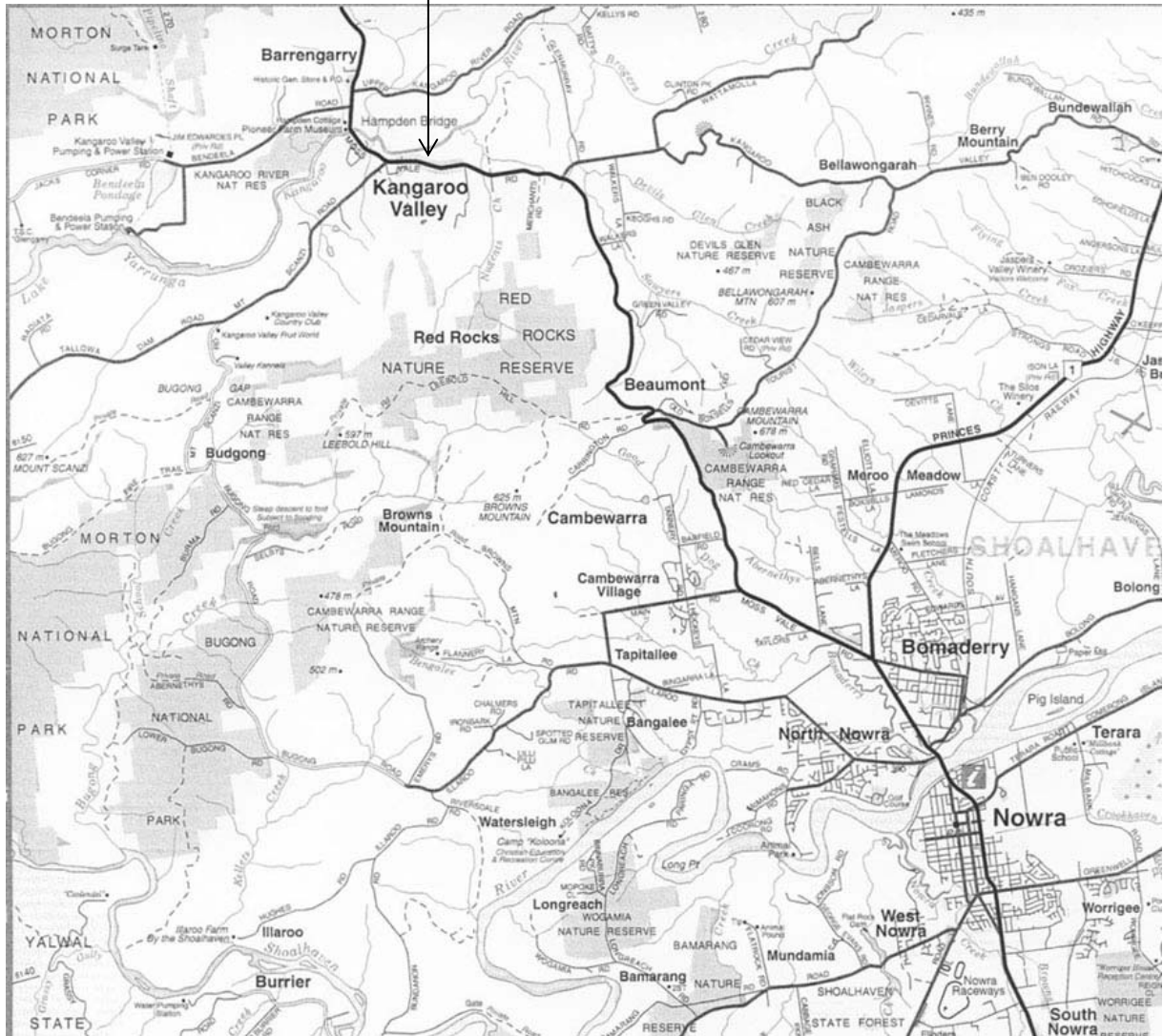
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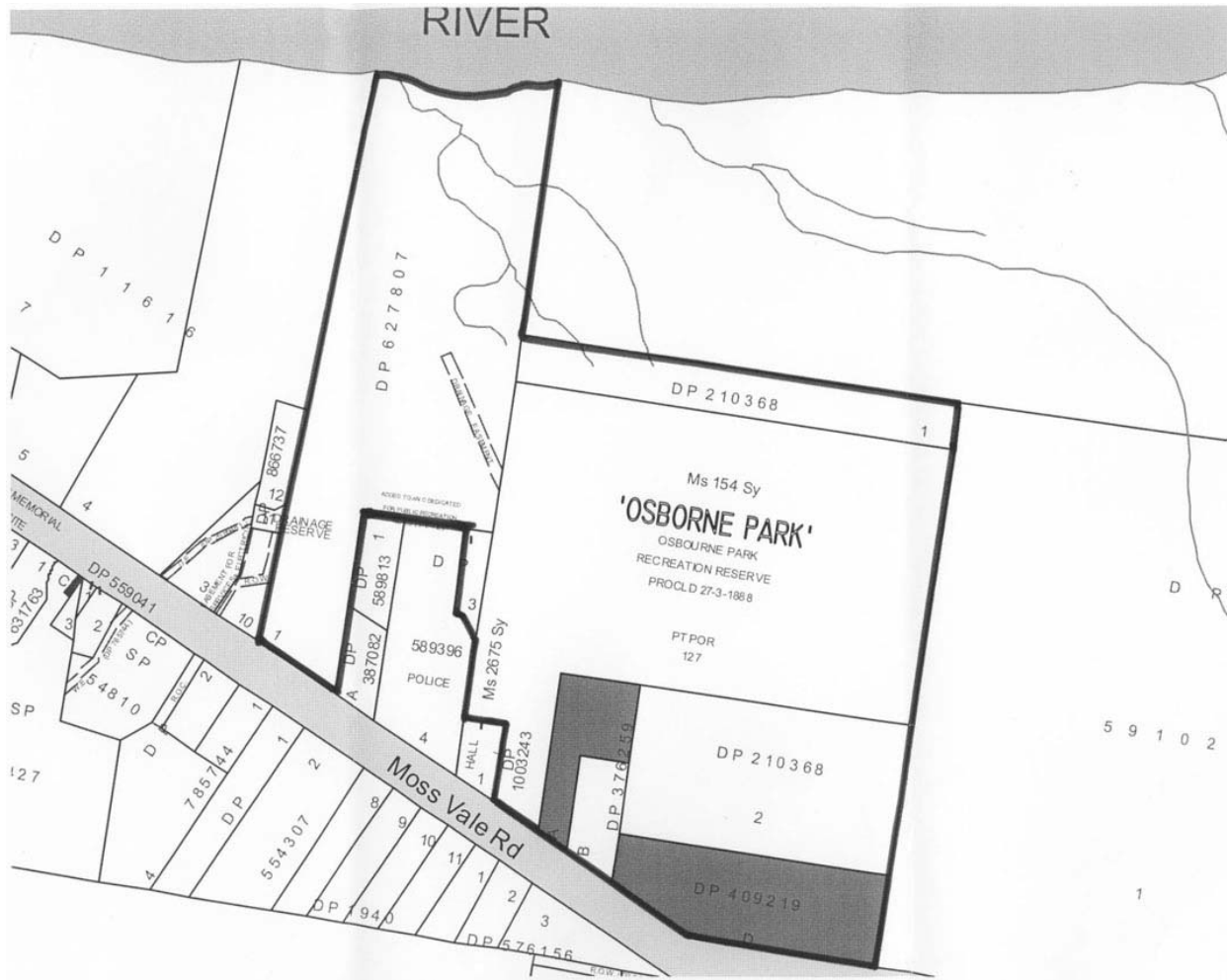


Subject Site: Osborne Park, Kangaroo Valley Showground



Not to scale N↑

Figure No.1: Location Plan. (Source: Craigie's Street Directory)



Not to scale N↑

Figure No.2: Subject Site. (Source: Shoalhaven City Council)

## **1.0 INTRODUCTION**

### **1.1 Brief**

This Conservation Management Plan has been prepared for the Kangaroo Valley Showground, known as Osborne Park, Kangaroo Valley, for Shoalhaven City Council. The aim of this Conservation Management Plan is to assess the heritage significance of the subject site and use the findings of this assessment to provide conservation management guidelines to enable this significance to be retained in future use and development.

This report includes the following.

#### **Documentary Research**

- Of the site/institutions/families/people associated with the site.
- Of the development of the site over time ie. Dates of construction and past additions/alterations.

#### **Physical Investigation**

- Description of site and its setting.

#### **Assessment of Significance**

- Heritage assessment using Heritage Office guidelines.
- Significance ratings of the site and setting.

#### **Conservation Policy**

- Conservation approach.
- Future development of the site.
- Physical conservation action recommended and other relevant issues such as use; investigation; etc.

#### **Implementation Strategy**

- Identification of immediate works required.
- Identification of future works recommended for the site.
- Identification of landscaping works required and recommended for the site.
- Options for future use of the site.

#### **Asset Management Guidelines**

- Management
- Statutory approvals
- Maintenance
- Exemptions

#### **Monitoring and Review**

- Of documentation
- Of fabric

### **1.2 Study Area**

For the purposes of this report the *place*, as defined in the Burra Charter (please refer to Section 1.7 of this report), is to be known as the study area.

#### **1.2.1 Subject Site**

The subject site consists of Lot 127 DP 751264, Lots 1 and 2 of DP 210368, Lot A DP 376259, Lot D DP 409219, Lot 1 DP 627807, Lot B DP376259 and Lot 3 DP 589396. It is located on Moss Vale Road, Kangaroo Valley. It is a largely grassed, open area with a showground ring in the centre of the main lot.

Refer to Figure No.2.

### 1.2.2 Subject Buildings and Site Elements

The subject buildings and site elements consist of the following:

- Showground ring, including hockey field, cricket pitch and football field, rodeo stockyards, fence and seating
- Agricultural Pavilion
- Poultry Pavilion
- Cattle yard including the animal loading ramp, wash down area and the east entrance off Moss Vale Road
- Judges booth
- Woodchop area
- Horse stalls
- Pony Club area
- New building (adjacent the Pony Club area)
- Kiosk
- A & H Office
- A & H Committee Room
- Bar & covered area
- Caretaker's Cottage
- Children's playground
- Swimming pool, toilet blocks & showers/dressing sheds
- Car parks and entrances (2 no) including gates

### 1.3 **Methodology**

The method follows that set out in the NSW Heritage Manual provided by the NSW Heritage Office and NSW Department of Urban Affairs and Planning and is in accordance with the ICOMOS *Burra Charter*. The method is outlined below.

#### **Investigate the significance**

- Investigate the historical context of the item of study area
- Investigate the community's understanding of the item
- Investigate the history of the item
- Investigate the fabric of the item

#### **Assess the significance**

- Summarise your knowledge of the item or study area
- Describe the previous and current uses of the item, its associations with individuals or groups and its meaning for those people
- Assess significance using the NSW heritage assessment criteria
- Check whether you can make a sound analysis of the item to support the statement of heritage significance (use the identified historical themes, and the inclusion and exclusion guidelines provided in *Heritage Assessments* as a guide)
- Determine the items level of significance (local or state)
- Prepare a succinct statement of heritage significance
- Get feedback
- Write up all your information

#### **Manage the significance**

- Analyse the management implications of the item's level of significance
- Analyse the constraints and opportunities arising out of the item's significance (including appropriate uses)
- Analyse owner and user requirements
- Prepare conservation and management recommendations
- If any obvious options are not suitable, explain why
- Get feedback from the community
- Analyse statutory controls and their relationship to the items significance
- Recommend a process for carrying out the conservation and management strategies

### **Implementation Strategy**

- Outline the client's preferred use(s) and the works involved;
- Provide guidance on how the works can be implemented while minimising the impact on heritage significance;
- Justify any works that will have a substantial impact on heritage significance, in terms of the viable future of the heritage item;
- Explain why other options of less impact have not been considered to be viable.

### **Asset Management Guidelines**

- *Management* – recommend a management policy (within the context of any new ownership and use) through which future decisions on conservation are to be made;
- *Statutory approvals* – outline the necessary approval procedures to allow works to be carried out. Identify any planning or other issues that have a bearing on the adaptive reuse or development of the item;
- *Maintenance* – include a maintenance strategy or give guidance on the need for a specialised ongoing maintenance strategy to be developed in a separate plan of management.
- *Exemptions* – note that if the heritage item is listed on the State Heritage Register, the plan should recommend that certain works (such as maintenance and repair) can be carried out in accordance with section 57(2) of the Heritage Act without requiring the approval of the Heritage Council.

### **Monitoring and Review**

- Recommend a timeframe for the monitoring and review of the conservation management plan and who should be requested to endorse the plan.

## **1.4 Limitations**

No intervention to fabric was undertaken.

## **1.5 Author Identification**

### **TROPMAN & TROPMAN ARCHITECTS:**

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### **SUB-CONSULTANTS:**

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Robyn Florance	Historian

## **1.6 Definitions**

Following are definitions of conservation terms as used in the Burra Charter.

*Place* means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views. (For the purposes of this report the *place* is to be known as the study area).

*Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

*Fabric* means all the physical material of the *place* including components, fixtures, contents and objects,

*Conservation* means all the process of looking after a *place* so as to retain its *cultural significance*.

*Maintenance* means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

*Preservation* means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

*Restoration* means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

*Adaptation* means modifying a *place* to suit the existing use or a proposed use.

*Use* means the functions of a *place*, as well as the activities and practices that may occur at the *place*.

*Compatible* use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

*Setting* means the area around a *place*, which may include the visual catchment.

*Related place* means a *place* that contributes to the *cultural significance* of another *place*.

### **1.7 Previous reports, available information and background material**

This report has been prepared with the use of the following references:

- Simpson Dawbin Associates, 2000, *Kangaroo Valley School of Arts Conservation Management Plan*.
- Australia ICOMOS 2000, *Australia ICOMOS Charter for the Conservation of Cultural Significance (The Burra Charter) and Guidelines to the Burra Charter: Cultural Significance, Conservation Policy, and Undertaking Studies and Reports*, Australia ICOMOS, ACT.
- Heritage Office 1996, *Conservation Management Documents*, Heritage Office, Sydney. Revised 2002.
- Heritage Office 2001, *Assessing Heritage Significance*, Heritage Office, Sydney.
- Kerr, James Semple 2000, *The Conservation Plan*, National Trust of Australia (NSW), Sydney.

*Note: Unless otherwise stated, all images are by the authors.*

### **1.8 Acknowledgements**

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Manager Infrastructure & Asset Management  
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Mr John Flett  
Senior Planner – Heritage and Urban Design  
Shoalhaven City Council

Ms Lorraine McCarthy  
Land Information Officer  
Shoalhaven City Council

## 2.0 DOCUMENTARY EVIDENCE

The following historical background has been prepared by historian Robyn Florance.

### 2.1 Brief Historical Background of Kangaroo Valley

Kangaroo Valley is located in the northern part of the Shoalhaven, nestling between Cambewarra and Barrengarry Mountain. It was originally known as Kangaroo Ground, and was called 'Parronrah' by local Aboriginals.

The first man to obtain a Land Grant in Kangaroo Valley was Captain Richard Brooks who was given a promise of land in the valley by Governor Macquarie in 1815. Soon after, he had a hut and stockyard built on the north bank of the river opposite the site of the present township.<sup>1</sup>

On October 31, 1823, Cornelius O'Brien, a pioneer of Illawarra and first settler at Bulli, obtained a 'Ticket of Occupation' covering ten square miles of hilly country called "the Kangaroo Ground" for use of his herd as a grazing run.<sup>2</sup>

In October 1838 Surveyor Burnett marked 650 acres for James Fleming and in 1840 he marked 2560 acres for Henry Osborne. The deed for Osborne's land was issued on 25 February 1840. The grant was recorded at 'Balingarry' although the land had long been known as "Barrengarry".<sup>3</sup>

After the death of Captain Brooks his grant of 700 acres passed to his widow and thence into the hands of James Osborne, a nephew of Henry Osborne. Later Henry Osborne purchased it and by the 1860s the greater part of the valley was under the control of two men: Henry Osborne of Barrengarry and S. Gray at Bendiela.

From 1862 to 1870 free selectors, under Sir John Robertson's Act of 1861, flocked from all parts of the country to Kangaroo Valley and many obtained good holdings. Dairy farming was becoming the main industry on the rich flats and along the arms of the river.

Among the earliest of those selectors was Daniel McIlwraith from 'Sea View' Kiama. He was successful in securing a good block of meadowland in the Barrengarry. John Milligan bought Bendiela from Gray in the sixties and was soon followed by Rendall, King, Bryen and Rous.<sup>4</sup>

Thomas Rendall took up land there about 1866 after making three attempts to negotiate the mountain from Cambewarra. Other early selectors were Neil Harper, Charles Robinson, J. Barnier and George Tate.

Henry Osborne became established at 'Marshall Mount' in the Albion Park district in 1829 and was the father of ten sons and three daughters. Although he owned land in the valley he never lived there.

His son Alick took up residence, with his wife, Isobel, in the late 1860s and by the late 1880s had more than 40 tenant farmers working the land.<sup>5</sup>

*The family owned 7500 acres of the most fertile land in the Valley; they had a manorial home with substantial quarters for servants; they provided (at a price) the land on which the Anglican Church, the Rectory, the Roman Catholic Church, the Kangaroo Valley School and the Barrengarry School were built; they helped to establish the "Township of Osborne".<sup>6</sup>*

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<sup>1</sup> Griffith John, *The History of The Osborne's of Kangaroo Valley*, K.V.H.S., 1988, p.11

<sup>2</sup> McDonald W.G. *Nineteenth Century Dapto*, Illawarra Historical Soc. 1976, p.12

<sup>3</sup> Bayley William A., *Kangaroo Valley*, K.V.H.S., 1953, p.13

<sup>4</sup> Bayley, *Kangaroo Valley*, op.cit.p.18

<sup>5</sup> Clark Alan, *Villages of Shoalhaven*, Shoalhaven Tourism Board, Nowra, 1994, p.7

<sup>6</sup> Griffith, *A History of the Osbornes of Kangaroo Valley*, op. cit. p.30

The Church of the Good Shepherd (1871) was built from funds mainly supplied by Alick & Isobel, and designed by the architect John Horbury Hunt. The church was Hunt's first independent commission. He also designed - the Rectory, Barrengarry School and Barrengarry House extensions (1880) as well as Hamilton House at Moss Vale, (1890) for Alick and Isobel, and The Osborne Memorial Church at Dapto (1883).

The township of Osborne was laid out in 1876 when G.K. Waldron, auctioneer, on behalf of A. Osborne, offered eighty-five building lots for sale, at his Kiama office on 12 October 1876.

*"...now judiciously laid out in the most central position and in the immediate vicinity of churches, chapels, schools and commercial business places in the highly favoured and rich locality of Kangaroo Valley and now named the TOWNSHIP OF OSBORNE..."<sup>7</sup>*

Some lots reached £80 and the 24 acres realised £1000.<sup>8</sup> The name of Osborne did not continue. There is no record in the Land Titles Office of its existence, so the village remained Kangaroo Valley with a village called Barrengarry on the other side of the river.

Osborne's action in 1876 of sub-dividing his 50 acres and putting it up for sale was quickly followed by a similar piece of enterprise on the part of Charles Wiley who owned the 96 acres adjacent to Osborne's on the eastern side. His advertisement in the Kiama Independent of 2nd January 1877 offered 274 allotments.<sup>9</sup>

Osborne's attempt to sell off a large number of small lots was not successful. He disposed of his land but not in individual building lots and much of the area remains 'undeveloped' to this day. Wiley had some success and it is on his portion that most of what is now the Township of Kangaroo Valley came into being.<sup>10</sup>

At the same time as the school and the two churches were being built on Osborne's land, the western end of 'Wiley's Paddock' was also being built on. Within a few years the area included:

*" two other churches, several stores, a smithy, a saddlery, a baker, a dressmaker, two banks, the Cosmopolitan Hall, two Hotels, the School of Arts and (in 1888) a Recreation Park of 10 acres. Later on it was the site also for the courthouse, the new police station and ultimately the A. & H. Pavilion and the new Show Ground on the area of the former Recreation Park."*

Just to the east of Wiley's Paddock there was the Post Office (1869) and Nugent's Store and just beyond that a "suburb" referred to on an old map as "a small township known as Maguire's". There were quite a few houses in this locality and the old Showground and the Cemetery.

The original school building of 1871 was dismantled in 1884 and re-erected opposite the showground. It was called the Union Hall or "Maguire's Hall" and was used for public meetings and entertainments.<sup>11</sup>

For several years there was rivalry between this locality and the developing Township at the other end of Wiley's Paddock. This rivalry finally was settled in 1909 when the postal department decided to move the Post Office from Nugent's Store to a building of Wiley's at the side of the Commercial Hotel (The Friendly Inn).<sup>12</sup>

The first industry in the Valley was cedar cutting but this was short-lived and it soon became obvious that the country was ideal for dairying. The first Butter Factory was opened in the Valley

<sup>7</sup> Griffith John, *A History of Kangaroo Valley Australia*, K.V.H.S. 1978, p.46

<sup>8</sup> Bayley William A., *Shoalhaven*, Shoalhaven Shire Council, Nowra, 1965, p.114

<sup>9</sup> Griffith, *A History of Kangaroo Valley*, op. cit. p.46

<sup>10</sup> Ibid

<sup>11</sup> Griffith, *A History of Kangaroo Valley*, op.cit. p. 47

<sup>12</sup> Kangaroo Valley Post Office Files held at The Australian Archives Office



in 1888 and a further four had been established by 1901. With the improvement of transport, they had all closed by 1925, but Kangaroo Valley continues to be an important dairying area.<sup>13</sup>

*“the valley reached a population peak during the period 1885 to 1895...at the height of the population peak there was probably 1400 residents in the Valley...it was at this time that the community became largely self sufficient”<sup>14</sup>*

The drought and depression of the 1890s, the rabbit plague, changes in the dairy industry, the opening up of new farming areas and the establishment of better paying industries elsewhere in the state contributed to the substantial decline in the area’s population in the early years of the twentieth century.<sup>15</sup>

Census Year	Male	Female	Total Population	Occupied dwellings
1891	318	234	552	90
1901	679	574	1,253	218
1911	497	438	935	169
1921	387	322	709	145
1933	407	303	710	171
1947	349	317	666	157
1954	348	290	638	167
1961	350	271	621	163

Population Figures for Kangaroo Valley, Upper Kangaroo River, Bendiela, Beaumont, Budgong, Barrengarry, and Broger’s Creek.

Source: Commonwealth Bureau of Census and Statistics

The closure of the Pioneer Hotel (1916) and Presbyterian Church (c.1925) reflected the decline in population and the demolition of both Campbell’s Hall (1928) and the Union Hall (1931).

The Shoalhaven Water Scheme, which began in 1970, caused the greatest population boom in the history of the Valley, and the resultant progress benefited the town.<sup>16</sup> In recent years a significant amount of land has been sub-divided into "hobby farms".

Kangaroo River is popular with campers, hikers and canoeists, while tourists cross the historic Hampden Bridge to visit the Pioneer Farm and Museum, which provides an interesting overview of life as it was a century ago.

## 2.2 Osborne Park Recreation Ground

Team games demanded a park but no land was reserved for recreational use in the village of ‘Osborne’ when it was privately laid out. No suitable Crown land was available.

In April 1886, residents of the Valley wished to secure a park and a deputation waited on the Minister for Mines to request that ten acres of suitable land be secured for recreational purposes.<sup>17</sup>

As a result of the deputation, an officer visited the Valley and selected a portion of ‘Wiley’s Paddock’ – ten acres fronting the road for two chains, ‘on the township side and to the rear of the Presbyterian Church’.<sup>18</sup>

The recreation ground ‘Osborne Park’ was gazetted on 27<sup>th</sup> March 1888 and named after the Osborne family, pioneers of the district. The Kangaroo Valley Progress Committee fenced the

<sup>13</sup> Green Annette, Kangaroo Valley Townscape Study prepared for Shoalhaven City Council 1991-92 p. 176

<sup>14</sup> Griffith, *A History of Kangaroo Valley*, op.cit. p. 50

<sup>15</sup> Griffith, *A History of Kangaroo Valley*, op.cit. p. 58

<sup>16</sup> Bayley, Kangaroo Valley, op.cit.p.23

<sup>17</sup> *The Broughton Creek Register of 10<sup>th</sup> April 1886*

<sup>18</sup> Bayley William A., *Kangaroo Valley*, Kangaroo Valley Historical Society, 1966, p. 64

recreation ground in the same year. Sports of all kinds, cricket, football and athletics appear to have been held on the park from that time.

### **2.3 The Osborne Family**

Henry Osborne of 'Marshall Mount', Dapto, established the Barrengarry Estate at Kangaroo Valley in 1838. He was the father of ten sons and three daughters. Henry Osborne arrived in Australia in 1829 settling at 'Marshall Mount' in the Illawarra. In 1837 Osborne applied for a secondary land grant, 2560 acres, in the Valley along Barrengarry Creek. By 1840 land ownership in the centre of the Valley was controlled by Osborne, Spark and Duguid. In 1843 Osborne acquired Duguid's land, while R Campbell acquired Spark's 'Glen Moray' (Glen Murray), later selling it to Osborne.

Alick Osborne, who was born on 8<sup>th</sup> March 1834, took over the management of the property in 1859. He soon gathered for himself most of the Osborne holdings at Barrengarry, which he took over entirely after the death of his father. With his brother Ben he began cattle breeding on a large scale.

The first home of the Osborne's, 'Barrengarry House', was built in 1862. It was described in the Town & Country Journal 16<sup>th</sup> September 1871 as occupying a commanding position. From it almost the whole of the valley could be surveyed. The big home was built in 1880 and has since been modernised, although it has long since passed from the Osbornes. The Estate lands were sold between 1911 and 1927.

In 1867, Alick Osborne gave the land for the township, the Anglican and Roman Catholic Churches and the public school. He was the prime mover in having the Anglican Church of the Good Shepherd built, contributing liberally to its erection and furnishing.

Perhaps Alick Osborne, more than any other person, brought about the development which resulted in the expansion of the valleys' agriculture and the growth of the village.

Initial moves were made in 1946 to plan a central levelled civic sports and showground and community hall, to replace the existing showground and pavilions, sports ground and School of Arts, all of which were becoming too small for district requirements.

The initial plan of action was through the Cambewarra Shire Council and it was not until 1947-1948 that a comprehensive plan was produced. The plan for Osborne Park was prepared to provide a level sports and showground, trotting track of four laps to the mile, tennis courts, bowling green and club rooms, children's playground and a larger hall at an estimated cost of £33,000 using the present School of Arts as part of the scheme.

In 1948, the Minister for Local Government, the Hon J. J. Cahill, dissolved seven Local Government bodies in Shoalhaven including the Cambewarra Shire Council and embodied them into what was the Shire of Shoalhaven.

Clr Henry O. Cox, former President of the Cambewarra Shire Council, was appointed to the Shire of Shoalhaven and was elected as the Shire President. Mr Cox was also President of the A & H Association, having been elected for his second term of office in 1945. He was fully conversant with what had transpired in relation to the sports ground, and he had the vision of what could be achieved in the future.<sup>19</sup>

The A & H Committee then decided that the Society would move to Osborne Park where a showground would be constructed.

Shoalhaven Shire Council, after amalgamation, approved the plan in principle and began the first stage of establishing the oval in March 1953 at an estimated cost of £4,000 using modern earth moving equipment.

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<sup>19</sup> Glass op cit p 14

After Council finished this stage of the work, the people of the Valley commenced their part in March 1954. The foundation work for the oval and track cost £4,600. This was financed by a Council grant of £1,000 and a loan of £3,600.

Following the levelling of the area by Shoalhaven Shire Council a local committee was formed delegated to Council to direct works and to raise funds for further construction of the grounds. H. O. Cox was president of the combined show society and Osborne Park works committee, J. Weaver, Treasurer and L. W. Vance, secretary.

As President of the committee, H. O. Cox gave considerable time to organising the work. He managed supply of materials, rostered labour and kept detailed records of costs. On his retirement in 1964 a public presentation was made to him in appreciation of his service.

During the development work, tree planting received attention and facilities erected included show and poultry pavilions, soft drink booth, public bar and committee room, broadcasting stand, hot and cold showers with dressing rooms and septic toilets served with water from the town supply. Cattle and horse exhibition facilities were provided together with well-grassed oval and trotting track. Electric power and light were installed. The project involved local residents in considerable hard work and expense, together with a splendid district effort in voluntary labour both by hand and with mechanical equipment lent for the job.

## **2.4 Site – Land Acquisition**

### **2.4.1 Police Department – Kangaroo Valley Court House & Police Station**

Land was resumed for Court House purposes on 24<sup>th</sup> January 1902. The subject land referred to as 'Police Station' DP 11616 and DP 200328.<sup>20</sup>

In March 1902 tenders were called for the erection of a new Court House incorporating a Police Station.<sup>21</sup> The building was erected using Kangaroo Valley Sandstone and *The Town & Country Journal* of 25<sup>th</sup> March 1903 reported that 'the new court house was in course of erection'. The building was completed by October 1904 when it was noted in the local press "*The court house is finished at last and First Class Constable Reid has taken possession without any official ceremony*".<sup>22</sup>

Court sittings were discontinued in 1972 and the courthouse was converted for use as the police station in 1986.<sup>23</sup>

### **2.4.2 School of Arts Hall 1907**

The land on which the building stands was part of a Grant of Land purchased by Charles Wiley, a farmer of Broughton Creek on 11<sup>th</sup> March 1862 for £1 per acre. The original grant consisting of 96 acres was a conditional purchase and therefore Charles Wiley did not become the full owner of the land until 3<sup>rd</sup> June 1876.

The weatherboard building was erected at a cost of £400 and was completed by May 1907. It was designed by James Thomas Burrill, Headmaster of Kangaroo Valley Public School, and erected by Richard Moore, local builders of Nowra.

In April 1907 the newly proclaimed Cambewarra Shire Council was offered the exclusive use of a room in the new School of Arts and use of the main hall for the holding of Council meetings. The first Council meeting was held on 15<sup>th</sup> May 1907 in the new building. The room occupied by the Shire Council was no longer required from the 31<sup>st</sup> March 1924.

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<sup>20</sup> SCC File 75/2007

<sup>21</sup> *Kangaroo Valley Times* March 1902

<sup>22</sup> *The News Leader* 21<sup>st</sup> October 1904

<sup>23</sup> Green Annette, *Kangaroo Valley Townscape Study* prepared for Shoalhaven City Council 1991-92 p. 183

The Trustees of the School of Arts applied to Shoalhaven Shire Council in August 1962 to transfer the building and assets to the Shoalhaven Shire Council. This transfer was completed the following year.<sup>24</sup>

#### 2.4.3 Swimming Pool

In 1974 the Kangaroo Valley Apex Club approached Shoalhaven Shire Council with a view to construct a swimming pool in Kangaroo Valley. Council investigated the proposal and decided that the most suitable site was at the rear of the Police Station on land adjoining Osborne Park.

Discussions were held with the Department of Justice and eventually the proposal was approved. The land was acquired from the Police Station property by way of exchange with other land. The new lot became Lot 3 DP 589396.

Shoalhaven Shire Council erected the Kangaroo Valley swimming pool for the resident in 1976 at a cost of \$61,000.00.

Through the efforts of the Kangaroo Valley Lions Club the local community had raised a great deal of money towards its cost. The pool came under the control of the School of Arts & Osborne Park Management Committee until 1999.

#### 2.4.4 Pony Club Grounds Kangaroo Valley Horse and Pony Club Inc

The Kangaroo Valley Pony Club was established by the family of Franz Mairinger for those interested in horses, ponies and riding. The Club is an educational based organisation, which teaches basic horsemanship skills, safety skills and equine care and is open for children and young adults between 8 to 21 years of age.

Over the years the club has grown steadily and by 1998 a Clubhouse was erected on the grounds to allow the Club to host gymkhanas, zone championships and camps.

In 1982 the Kangaroo Valley Pony Club made representations to Council with a view to increasing the area of Osborne Park. Investigations were carried out and it was resolved to purchase approximately 2 hectares of land adjoining Osborne Park being part Lot 2 DP 591021 from Mr and Mrs W Jarrett. The purchase of this addition land created Lot 1 DP 627807.<sup>25</sup>

The land would not only provide for off street public parking but would also be for the use of the Pony Club.<sup>26</sup> A new four-strand barbed wire boundary fence was erected on the eastern side of the land in December 1982.

### **2.5 Caretaker's Cottage and vacant land (former Presbyterian Church land)**

#### 2.5.1 The Presbyterian Church

The Presbyterian Church foundation stone was laid on 6<sup>th</sup> December 1878 on a three-quarter acre site given by Messrs Wiley of Broughton Creek; the site was a short distance east from the township. There were 400 present at the ceremony and in a cavity in the stone were placed Sydney and local papers and a statement about the building. The church was designed by John Tanner of Broughton Creek and built by Ritchie and Milligan.

The timber was cut by pit saws, as there were no sawmills in the valley at that time, and hauled by bullock teams over rough bush tracks to the site. Settlers gave their labour free in the preparation of materials. Swollen creeks often retarded delivery of timber to the site, as there was no bridge over the river then.

Rev Kinross formally opened the Church on Saturday 8th November 1879 with a morning service. Following the service tea was served in a large booth. Rev J W Dymock conducted the

<sup>24</sup> SCC File 74/1642

<sup>25</sup> NSWLTO Certificate of Title Volume 14932 Folio 237

<sup>26</sup> SCC File 82/1912

afternoon service. The secretary, Neil Harper, reported that the cost of the building was £453 and the pastor, Rev Dymock, presented the ornamental kerosene lamps.<sup>27</sup> The site was sold in 1934. It appears that the Caretaker's Cottage was built with some of the timber from the Church when it was demolished.<sup>28</sup>

### 2.5.2 Weatherboard Cottage

The weatherboard and fibro cottage was erected on stone piers and built c 1935 for Mr A E Brooks. The cottage with galvanised iron roof measured 10ft x 23ft with a timber floor. The garage was erected of galvanised iron with a galvanised iron roof and measured 10ft x 13ft. The building was timber framed with a concrete floor. Attached to the garage was a timber woodshed with galvanised iron roof. The toilet erected of weatherboard with a galvanised roof measured 4ft 6" x 4ft and had a concrete floor.

In 1972 the Osborne Park Committee by Delegation expressed interest in future improvements of the Osborne Park area and indicated that it would be an advantage if the block of land owned by Mr Brooks was consolidated with the park.

Before Shoalhaven Shire Council finalised the sale Mr Brooks died. Council purchased the property in 1972. With permission of the solicitors for the estate, the caretaker of Osborne Park was allowed to lease the property.<sup>29</sup>

## 2.6 Kangaroo Valley Agricultural & Horticultural Association

As with all settlements established in the colony of NSW, agricultural and pastoral development was encouraged in the valley by the farmers themselves who combined in the early 1880s to form the Kangaroo Valley Agricultural and Horticultural Association.

In 1881 James Campbell, a successful businessman, called a public meeting in the Church of England School room to consider forming a local Agricultural and Horticultural Association. The meeting was well attended, and it was resolved to call a further meeting, when it was resolved to form the Association.<sup>30</sup>

It was however, almost four years before the first show was staged in Kangaroo Valley.

## 2.7 First Showground Site

The first show is believed to have taken place in 1885 on a vacant piece of land on the bank of the river at the rear of what is now the Friendly Inn Hotel. The livestock exhibits were paraded there, while exhibits of fruit, farm produce etc were set out in the Church of England School Hall.<sup>31</sup>

The first annual show of the association was 'held at Osborne, the township of that district' on Thursday 4<sup>th</sup> and Friday 5<sup>th</sup> March 1886.<sup>32</sup>

The Association continued to stage attractive shows with people traveling great distances to be present. The want of a Showground was an early difficulty to the committee, which found "the erecting and pulling down of buildings and yards a serious drain on its resources".<sup>33</sup>

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<sup>27</sup> Bayley William A, *Shoalhaven*, Shoalhaven Shire Council, Nowra, 1965, p. 115

<sup>28</sup> Green Annette, *Kangaroo Valley Township Study*, Volume Two, February 1991, p 176

<sup>29</sup> SCC File 72/3009

<sup>30</sup> Glass Douglas, *Kangaroo Valley A & H Association – One Hundred Years of Achievement 1885-1985*, KV A & H Assoc, Nowra, 1985, p. 4

<sup>31</sup> Glass op. cit. p 6

<sup>32</sup> *The Shoalhaven Telegraph 11th March 1886*

<sup>33</sup> Bayley William A., *Kangaroo Valley*, Kangaroo Valley Historical Society, Kangaroo Valley, 1966, p.85

## 2.8 Second Showground Site

In 1888 the society sought to secure a permanent Showground where it could stage its annual exhibitions and build permanent structures including show pavilion, luncheon booth and cattle yards. Offers of land were made to the society by A. Osborne, Nugent, McGuire and Nelson, and the committee resolved to accept the offer of Osborne of ten acres opposite the General Cemetery.<sup>34</sup> The land was leased to the society from January 1889 for a period of twenty years at an annual rental of £10, with the first year being rent-free.<sup>35</sup>

Tenders were called and the ground fenced and stumped and Thomas Milligan erected the buildings for the Society.<sup>36</sup>

In 1911, the committee was looking to the future and, knowing that the showground site opposite the cemetery was offered for sale, an approach was made to the vendor, Mr S. F. Osborne, to see if he would consider giving the show committee an option to purchase the ground. Apparently the site was sold to the Trustees of the Kangaroo Valley A & H Society. The property was sold by the Trustees at a later date.

Ethel Merle 'Peggy' Synold was born at Barrengarry House, Barrengarry on 5<sup>th</sup> May 1915, one of eight children born to David Alexander Nelson and Ethel May Nelson. Peggy and her brothers and sisters grew up at Barrengarry House. Her father was a dairy farmer who ran a few sheep and the family were in the main self-sufficient, producing their own butter, cheese, fruit and vegetables. Peggy recalls: -

*Dad used to take us kids over to the old showground site opposite the cemetery and we would help get the ground ready for the show. After show was over we'd all go back over and clean up the site. We did that for years<sup>37</sup>.*

## 2.9 Third Showground Site – Osborne Park Civic Sports & Showground

In 1953 the A & H Committee decided that the Society would move to Osborne Park where a showground would be constructed. In May 1955 the Committee resolved to move the show buildings to Osborne Park and the old showground site was subsequently sold for £690.<sup>38</sup>

On the 19<sup>th</sup> May 1955 the Committee resolved that arrangements be made to shift the building etc from the site of the old ground to Osborne Park.

The oval fence containing 184 posts and 182 panels was erected at a cost of £364/12/-and was completed on the 1<sup>st</sup> June 1955. A working party of twelve ladies then painted the fence.

The pavilion was moved to the new ground and renovations were carried out 'to add to its presentation and utility'.<sup>39</sup>

The first tree planting on Osborne Park took place on 2<sup>nd</sup> August 1954 and the total cost was £144/14/-. A second tree planting cost £132/2/-.

The present showground was opened in 1956 by the Hon M O'Sullivan MLA.

Gateposts were erected "as a tribute to our pioneers", in 1956 by the Kangaroo Valley Historical Society.

<sup>34</sup> Bayley William A., *Kangaroo Valley* op cit p 36

<sup>35</sup> Bayley William A., *Kangaroo Valley* op cit p 36

<sup>36</sup> Bayley William A., *Shoalhaven* op cit p 154

<sup>37</sup> Interview with Peggy Synold 6<sup>th</sup> February 2004

<sup>38</sup> Glass op cit p 15

<sup>39</sup> Glass op cit p 15

## **2.10 Site Improvements**

### **2.10.1 Pavilion**

Erected by Thomas Milligan. Moved from the old showground site in 1955.

### **2.10.2 Poultry Pavilion**

Erected by Thomas Milligan. Moved from the old showground site in 1955. In August 1986 work commenced on improvements.<sup>40</sup>

### **2.10.3 Kiosk**

On the 6<sup>th</sup> December 1982 Council approved the construction of a Kiosk.<sup>41</sup>

### **2.10.4 Secretary's Office and Committee Room Building**

In January 1986 the Osborne Park Management Committee gave approval for the construction of a Secretary's Office and Committee Room Building and Shoalhaven City Council approved the construction of the building linking the existing kiosk and the bar.<sup>42</sup>

### **2.10.5 Dressing Sheds & Showers**

In January 1964 Shoalhaven Shire Council voted the sum of £1,300 for the construction of dressing rooms and hot and cold showers at Osborne Park. The dressing facilities were needed for footballers both home team and visiting players.<sup>43</sup>

### **2.10.6 Seating**

On the bank overlooking the arena. Constructed in 1969.

### **2.10.7 Horse Trough - Bob Chittick Memorial**

In May 1979 a plaque to the memory of Bob Chittick was attached to the horse trough located in the Park.

*"Erected in Memory of Bob Chittick, died 20<sup>th</sup> November 1955, by his brothers and sisters".*

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<sup>40</sup> SCC File 71/3442

<sup>41</sup> SCC File 71/3442

<sup>42</sup> SCC File 71/3442

<sup>43</sup> SCC 71/3442

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Figure No.3: Kangaroo Valley Show, 1907.



Figure No.4:  
Kangaroo Valley Show, 1953.



Figure No.5: Kangaroo Valley Showground, Osborne Park, at the first show held at the site in 1956.



Figure No.6:  
Agricultural Pavilion, 1956.



Figure No.7:  
Caretaker's Cottage, 1972.



Figure No.8:  
Caretaker's Cottage, 2000.



Figure No.9:  
Aerial photograph of Osborne Park, undated.

### 3.0 PHYSICAL EVIDENCE

The physical evidence of the subject site was investigated through non-intrusive observation of the fabric. Internal spaces have not been investigated.

#### 3.1 Streetscape

The subject site is located along the main road through Kangaroo Valley, Moss Vale Road, and is in the centre of the civic/community centre of town. The Kangaroo Valley School of Arts/Community Hall is located adjacent to the subject site to the west, as is the Kangaroo Valley Police Station (former Court House) and the Friendly Inn is also located along this stretch of road, backing onto the subject site. A caravan park is also located adjacent the subject site to the east. Parking for users of the site is in two locations within the site, through the entrance gates to Osborne Park off Moss Vale Road (west (main) entrance), and in the Council carpark within the site adjacent to the Friendly Inn. A Church is located directly opposite the site.



Figure No.10:  
Moss Vale Road looking  
towards the School of Arts  
and former Court House.



Figure No.11:  
Caravan Park adjacent the eastern side of the  
subject site, Osborne Park.



Figure No.12:  
Church opposite Osborne  
Park.



Figure No.13:  
Entrance gates to Osborne Park.

### **3.2 Subject Site**

The subject site consists of a jigsaw of eight Lots which zigzag around the Kangaroo Valley School of Arts Hall, the Police Station and Court House. These sites form part of the southern boundary of the site, along with Moss Vale Road. The site is bounded by a caravan park to the east, and the Friendly Inn site (purportedly the first showground site) to the west, and the Kangaroo River to the north. Refer Figure No.2.

The site is largely grassed with two carpark areas off Moss Vale Road. The site also contains the showground ring, including hockey field, cricket pitch and football field; the Agricultural Pavilion; a Poultry Pavilion; Cattle yard; Horse stalls; equestrian area; Judges booth; Kiosk; Bar; Caretaker's Cottage; Swimming pool; Toilet block & showers associated with swimming pool; and a new building adjacent the equestrian area.

### **3.3 Subject Buildings and site elements**

The site contains the following buildings and elements/areas:

- Showground ring, including hockey field, cricket pitch and football field, rodeo stockyards, fence and seating (E\*1);
- Agricultural Pavilion (E2);
- Poultry Pavilion (E3);
- Cattle yard, including the animal loading ramp, wash down area and the east entrance off Moss Vale Road (E4);
- Judges booth (E5);
- Woodchop area (E6);
- Horse stalls (E7);
- Pony Club area (E8);
- New Building (adjacent the Pony Club area) (E9);
- Kiosk (E10);
- A & H Office (E11);
- A & H Committee Room (E12);
- Bar & covered area (E13);
- Caretaker's Cottage including garage and shed (E14);
- Children's playground (E15);
- Swimming pool, toilet blocks and showers (E16);
- Carpark no1 and main entrance gates(E17);
- Carpark no2 (E18).

Refer Figure No.14.

Refer to Appendix B for a photographic survey of the subject site.

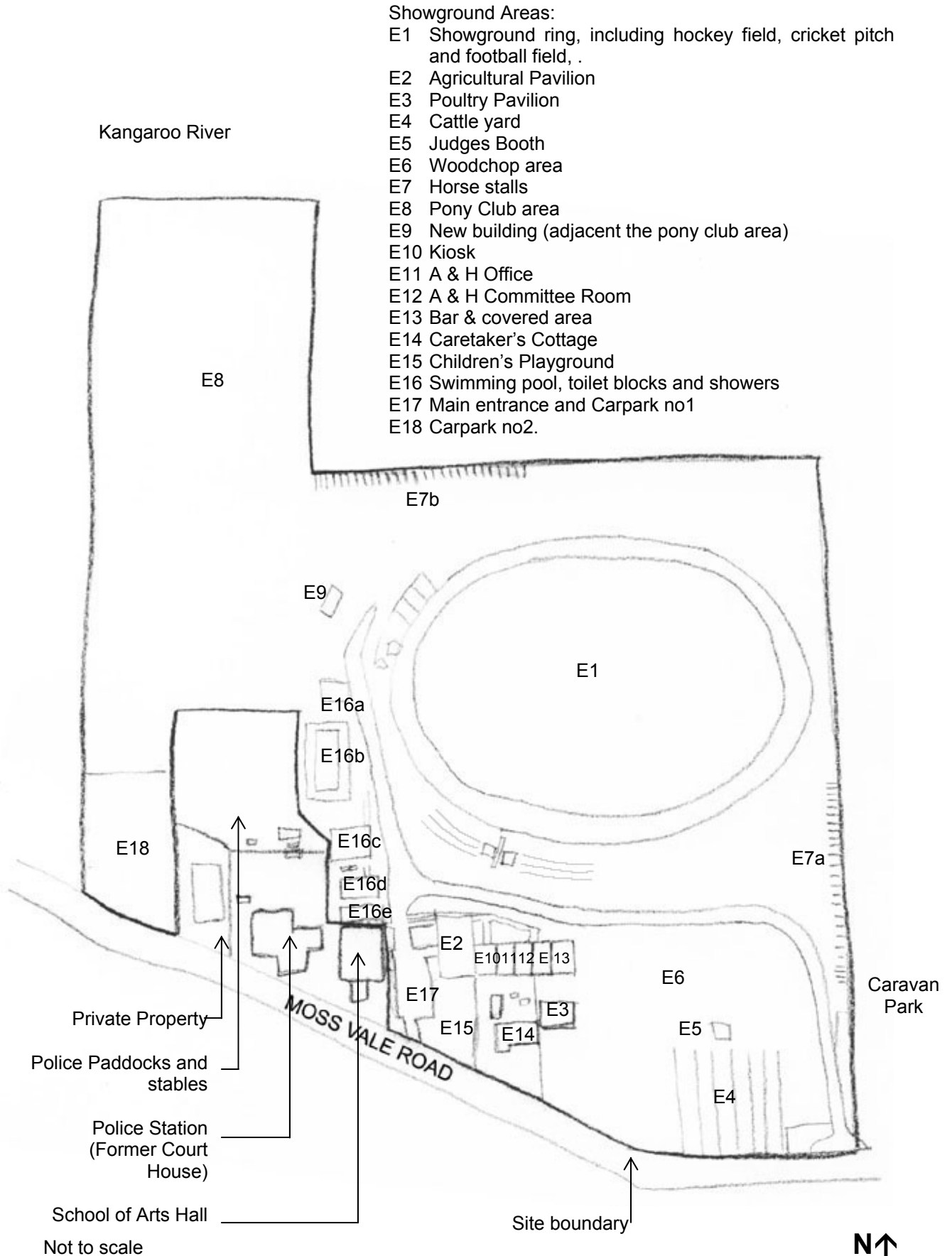


Figure No.14: Subject Buildings and Site Elements.

### 3.3.1 Showground Ring (E1)

#### General Description

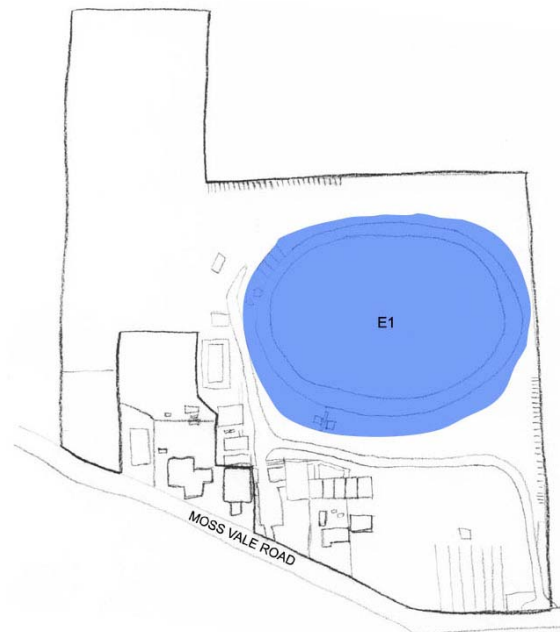
Large oval shaped ring with dirt track surrounding centre grassed area. The centre of the ring contains a cricket pitch and is also used as a hockey field and football field. The markings for these fields are visible on the grass, and hockey goals are located on the northern and southern ends of the ring.

A painted low timber rail fence runs around the perimeter of the showground ring. A concrete drain runs around the southern boundary of the showground ring. Concrete steps lead down the embankment on the southern side to the ring.

Timber seats on concrete steps are located in the embankment on the southern side of the showground ring. A timber rodeo yard is located on the western side of the ring.

A number of Cypress (*Cupressus* spp.) appear to have been planted around the perimeter of the ring, however many of these have died.

#### Location Plan



Not to scale N↑

#### Special Features

The showground ring. The ring has retained its original configuration and location.

#### Photographs



Figure No.15: General view of showground from the Agricultural Pavilion.



Figure No.16: Showground ring showing seating, steps, fence, drain, track, sports fields and hockey goals.



Figure No.17: Rodeo stands on the western side of the showground ring.

3.3.2 Agricultural Pavilion – External (E2)

**General Description**

The Agricultural Pavilion was relocated from the second showground site opposite the cemetery to Osborne Park in 1955.

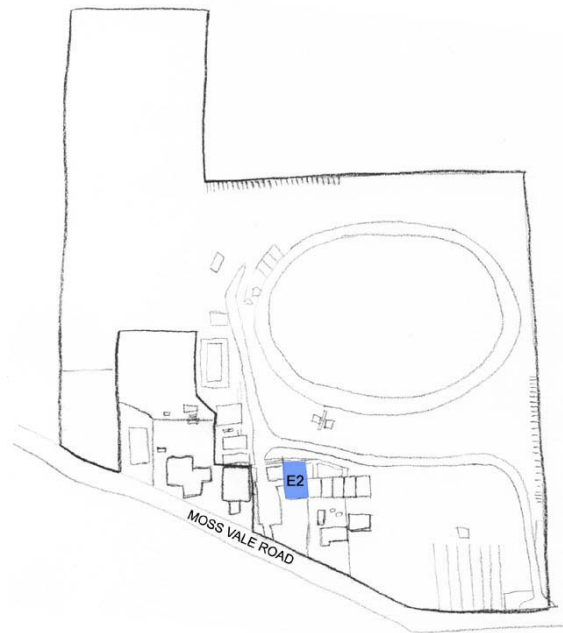
The Agricultural Pavilion is a large corrugated iron clad building with a concrete floor and timber framed windows and doors with some more recent aluminium framed windows.

The building is located adjacent the carpark off Moss Vale Road and directly opposite the Kangaroo Valley School of Arts community hall. It faces north, addressing the showground. The main section of the pavilion has a corrugated iron gable roof. Skillion roofed wings are located on the eastern and western elevations of the building.

The original main entrance is located on the north face of the building, and is sited under an awning. A concrete ramp leads up to and away from the entrance. However, this entrance is apparently no longer used. A metal roller door is located on the western face, and this appears to be the main entrance.

A kiosk has been constructed adjoining the eastern side of the Agricultural Pavilion (refer section 3.3.8).

**Location Plan**



Not to scale N↑

**Special Features**

Agricultural Pavilion structure in general.

**Photographs**



Figure No.18: Agricultural Pavilion and Kangaroo Valley School of Arts.



Figure No.19: Sign above the entrance door to the Agricultural Pavilion.



Figure No.20: Agricultural Pavilion, Kiosk, Pub, and Kangaroo Valley School of Arts from the showground ring.



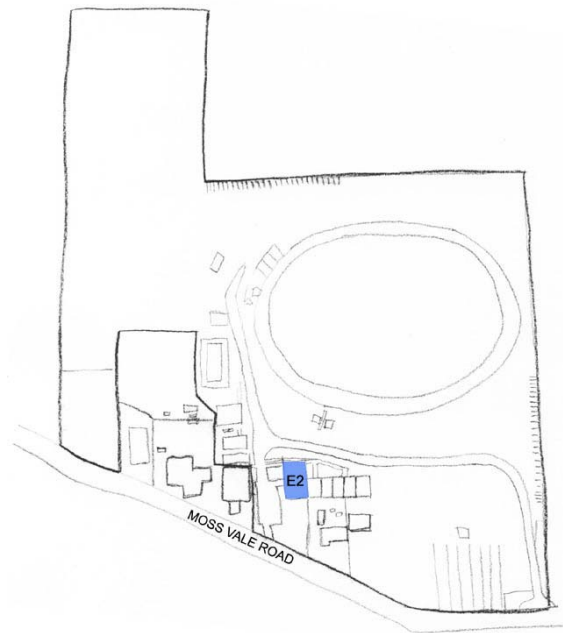
### 3.3.3 Agricultural Pavilion – Internal (E2)

#### General Description

The Agricultural Pavilion has a corrugated iron gable roof with exposed timber rafters and timber trusses. Timber posts support the ceiling internally. The Pavilion has a concrete floor. Fluorescent lights are suspended from the ceiling by chains. Fixed windows run along the eastern and western elevations.

Permanent timber stands are located along the walls and through the middle of the Pavilion and used as display areas during the show. Due to their permanent nature and the amount of space they take up, the stands limit the use of the hall.

#### Location Plan



Not to scale N↑

#### Special Features

Agricultural Pavilion structure in general.

#### Photographs



Figure No.21: Interior of Agricultural Pavilion and stands.



Figure No.22: Agricultural Pavilion interior.

3.3.4 Poultry Pavilion (E3)

**General Description**

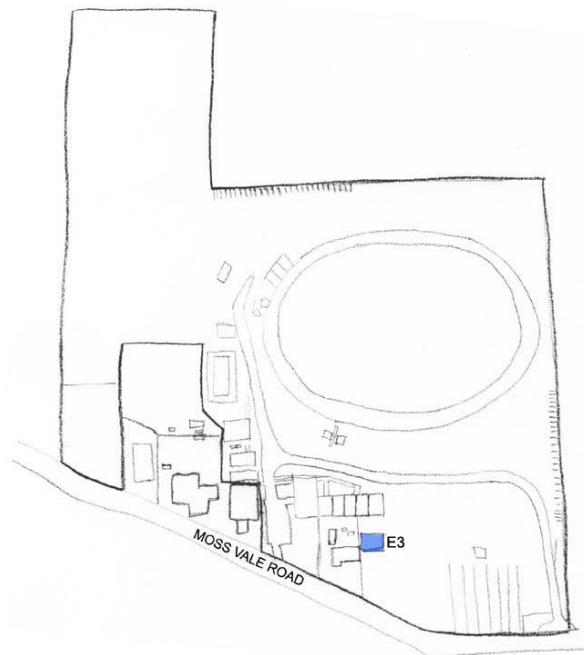
The Poultry Pavilion was relocated from the second showground site opposite the cemetery to Osborne Park in 1955.

The Poultry Pavilion is a rectangular corrugated iron clad building with a corrugated iron gable roof supported by bush posts with a lean to section on the north elevation. The pavilion is enclosed on all sides with corrugated iron but the northern side and a section of the eastern side (containing the entrance to the pavilion) which are enclosed with wire mesh with a metal framed mesh entrance gate on the eastern elevation.

The pavilion has an earth floor with a section of poor concrete at the entrance. The main section of the building is used as a poultry pavilion during the annual Agricultural and Horticultural Show and contains rows of cages around the perimeter and down the centre of the pavilion. The cages, built by locals, are supported on timber posts and/or brick piers and are two high, except along the northern side where they are three high. The cages are timber framed with wire fronts and also some sides, depending on their location within the pavilion, for ease of showing the poultry.

A small square-shaped addition sits on the eastern elevation and is used as a nursery during show time, and as a storage space the remainder of the year. It is accessed via a metal roller door on the northern elevation.

**Location Plan**



Not to scale N↑

**Special Features**

Poultry pavilion generally. Cages.

**Photographs**



Figure No.23: Poultry Pavilion and nursery building, north and east elevations.



Figure No.24: Poultry Pavilion, rear (south) elevation.



Figure No.25: Poultry Pavilion, interior.



Figure No.26: Poultry Pavilion, interior.

3.3.5 Cattle Yard (E4)

**General Description**

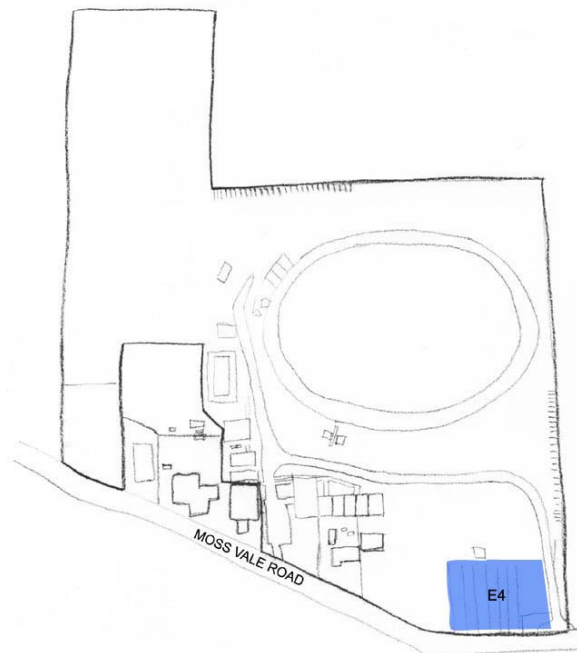
The cattle yards are located along the southern boundary of the site, adjacent to Moss Vale Road. This area includes the cattle yards, the animal loading ramp, wash down area and the west entrance into the site. A small judges box is also located in this area. (Refer section 3.3.6).

The cattle yard contains six (6 no) rows of trees to shade the cattle. Metal fences separate each row. These fences contain rings to tie the cattle. Some trees located in the yard include maples (*Acer sp.*), elms (*Ulmus sp.*), cypresses (*Cupressus sp.*, possibly *C. funebris*) and eucalypts (*Eucalyptus sp.*). A row of various species of pines (*Pinus sp.*) are also located in this area. Two large concrete water tanks are also situated in this area.

A concrete animal loading ramp is located to the east of the cattle stand, as is a wash down area.

An entrance to the showground is located in this eastern corner however, although it is the more picturesque entrance, the main entrance is located further west adjacent the children's playground. This southern side of the showground is bound by a metal mesh fence along Moss Vale Road with a metal gate at the entrance, and a metal pipe rail fence along the eastern boundary adjacent the caravan park.

**Location Plan**



Not to scale N↑

**Special Features**

Mature trees.

**Photographs**



Figure No.27: Cattle yard and judges box.



Figure No.28: Cattle yard and fence.



Figure No.29: Animal loading ramp adjacent to cattle yard.



Figure No.30: View from east entrance into showground.



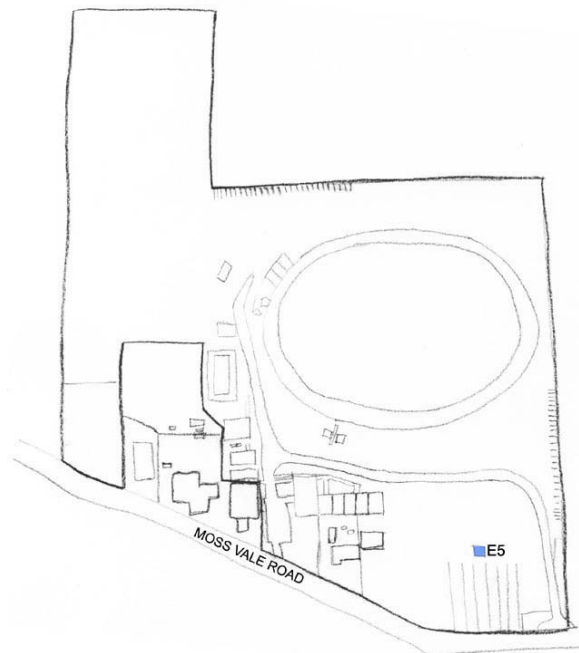
Figure No.31: East entrance and southern boundary fence.

### 3.3.6 Judges Booth (E5)

#### General Description

The judges booth is a small, square, weatherboard clad building raised on round timber piers with timber steps. It is located adjacent to the cattle yard and the woodchop area. The booth has window openings on each side with wire mesh in place of glass and a corrugated metal skillion roof. The building is accessed via an ill-fitting timber door on the southern elevation. The door appears to be an internal door that has been reused as the external door for the judges booth.

#### Location Plan



Not to scale N↑

#### Special Features

Judges booth.

#### Photographs



Figure No.32: Judges booth, west and north elevations.



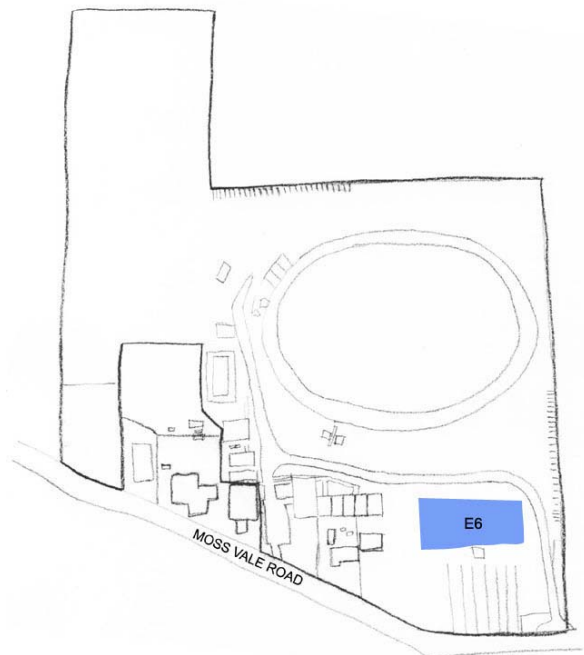
Figure No.33: Judges booth, southern elevation.

### 3.3.7 Woodchop Area (E6)

#### General Description

The woodchop area is located adjacent the judges booth and cattle yard. It is an open grassed area with concrete squares on the ground indicating where each competitor is located.

#### Location Plan



Not to scale N↑

#### Special Features

Woodchop area in general.

#### Photographs



Figure No.34: Woodchop area.

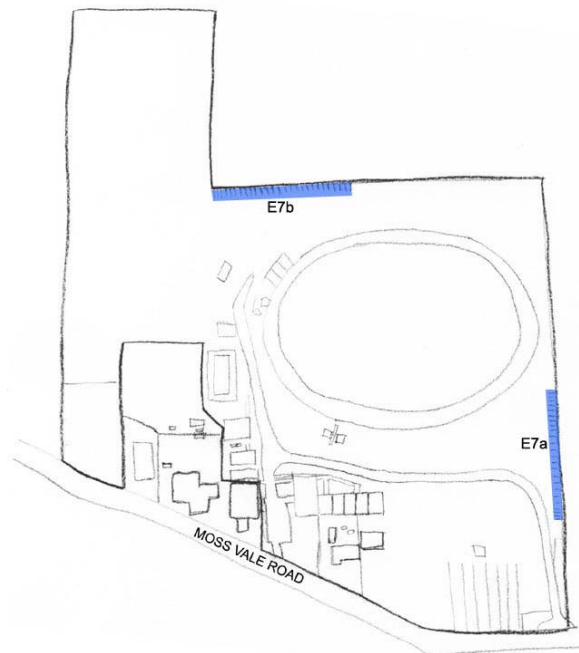
3.3.8 Horse Stalls (E7a & b)

**General Description**

The horse stalls are located along part of the eastern and northern boundaries. The stalls along the northern boundary (E7b) are metal post and rail enclosures with some plantings between the enclosures. The stalls along the eastern boundary (E7a) are generally timber post and rail enclosures, with some metal enclosures.

A brick horse trough is also located along the eastern boundary.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**



Figure No.35: Horse stalls along the eastern boundary.



Figure No.36: Horse stalls along the northern boundary.

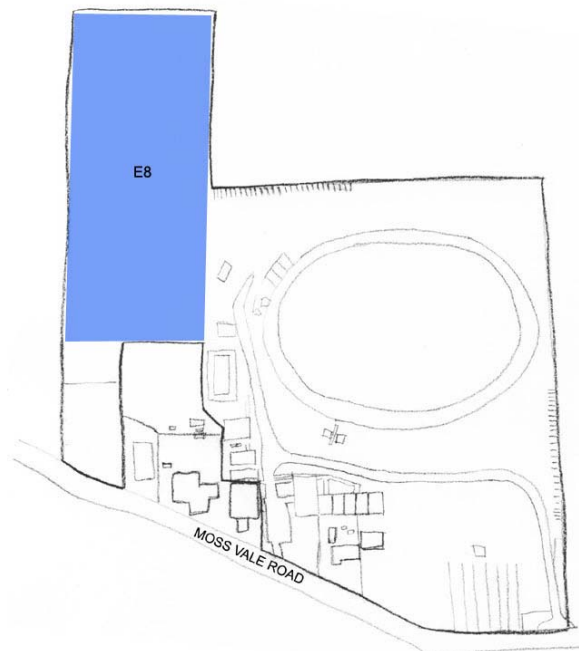
### 3.3.9 Pony Club area (E8)

#### General Description

The Pony Club area is an open grassed area along the western boundary of the showground site. It is bound by the Kangaroo River to the northern boundary. The area is used by the local pony club on a regular basis. This area is also used as a sports ground as required and as a show area during the annual Agricultural and Horticultural Show.

The mature *Eucalyptus sp.* (refer Figure No.38) tree in this area is significant as one of the few remaining mature native trees on the site.

#### Location Plan



Not to scale N↑

#### Special Features

Remnant native vegetation (*Eucalyptus sp.*).

#### Photographs

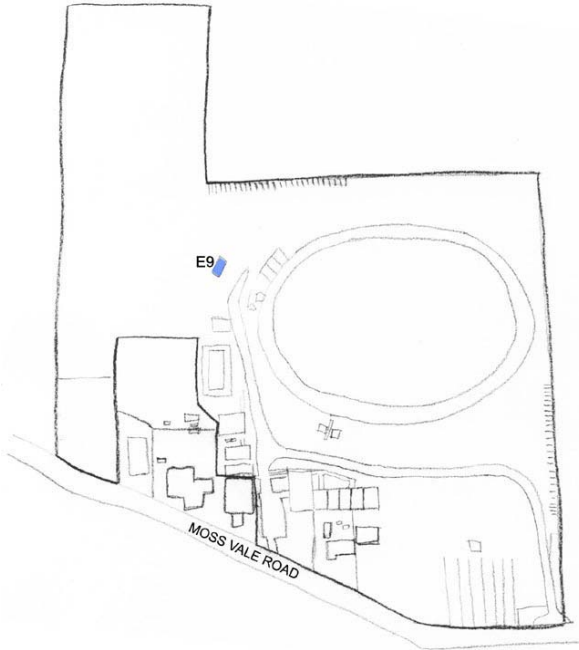




Figure No.37: Pony area towards Kangaroo River.



Figure No.38: Remnant native vegetation.

3.3.10 New building (E9)

<p><b>General Description</b></p> <p>This building was under construction during the course of this survey. It is located adjacent the Pony Club area and has a corrugated metal skillion roof, steel frame, timber walls and a concrete floor.</p>	<p><b>Location Plan</b></p>  <p>Not to scale N↑</p>
	<p><b>Special Features</b></p> <p>N/A</p>
<p><b>Photographs</b></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;">   </div> <div style="width: 45%;"> <p>Figure No.39: New building.</p> <p>Figure No.40: New building under construction, western façade.</p> </div> </div>	



3.3.11 Kiosk – Exterior (E10)

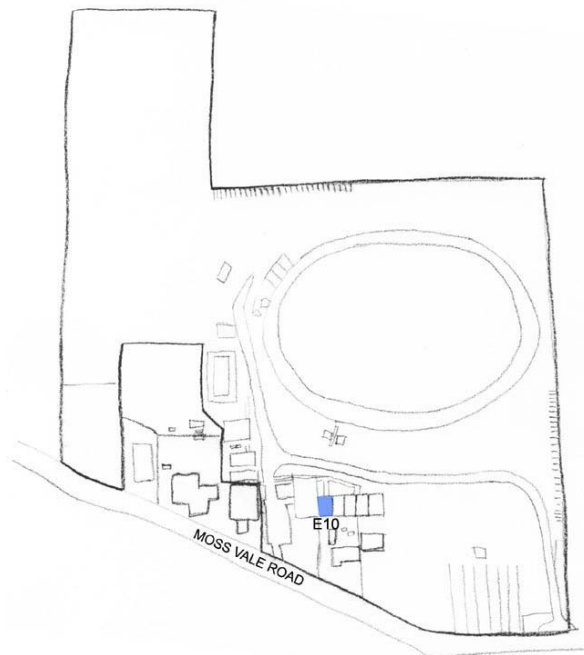
**General Description**

The kiosk is a recent brick structure with a concrete floor. The kiosk, A & H rooms and the bar extension have been built between, and set back from, the Agricultural Pavilion and the bar and all are housed under the one corrugated metal gable roof. A verandah runs along the length of the building on the northern elevation and under the main roof.

A serving area with metal roller shutters that can be opened as required is located on the northern façade. The kiosk is accessed via a timber door from the northern façade.

Refer to 3.3.12 for an internal description.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**



Figure No.41: Buildings from left to right: Covered area and bar, A & H Committee room, A & H Office and the kiosk.



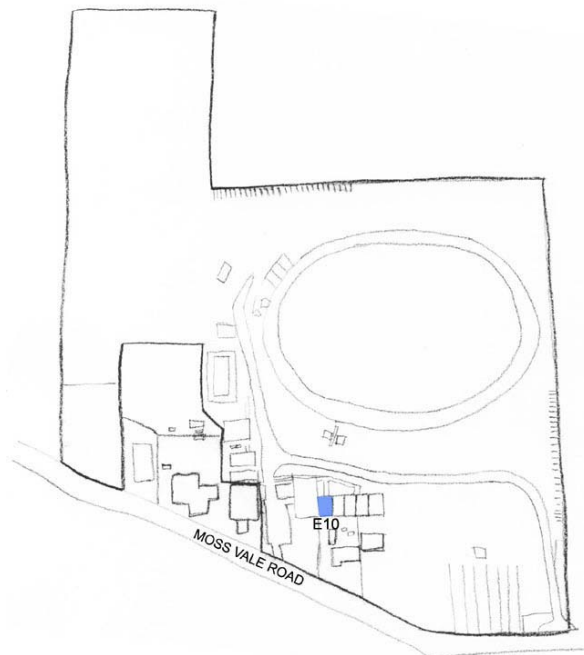
Figure No.42: Kiosk serving area.

3.3.12 Kiosk – Interior (E10)

**General Description**

The kiosk has a concrete floor, exposed brick walls and a plaster ceiling with fluorescent lights and ceiling fans. A commercial oven/stove is located on the eastern wall. Stainless steel benches are located along the walls and through the middle of the kitchen. Fixed aluminium framed windows are located on the southern wall.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**



Figure No.43: Kiosk looking west.



Figure No.44: Kiosk looking east.

3.3.13 A & H Office – Exterior (E11)

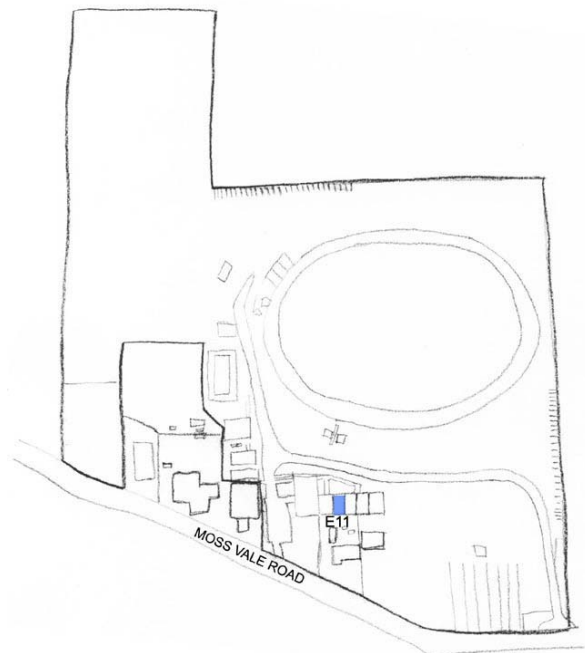
**General Description**

The A & H Office is a recent brick structure with concrete floor. The kiosk, A & H rooms and the bar extension have been built between, and set back from, the Agricultural Pavilion and the bar and all are housed under the one corrugated metal gable roof. A verandah runs along the length of the building on the northern elevation and under the main roof.

The office is accessed via a timber door from the northern façade. Large aluminium framed windows are located on the north façade.

Refer to 3.3.14 for an internal description.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**



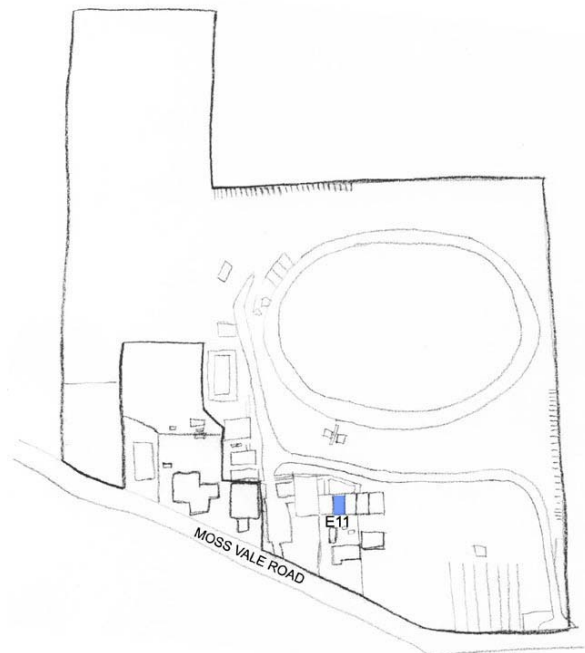
Figure No.45: Buildings from left to right: Covered area and bar, A & H Committee room, A & H Office and the kiosk.

3.3.14 A & H Office – Interior (E11)

**General Description**

The A & H Office has an exposed concrete floor, exposed brick walls and a plaster ceiling with fluorescent lights and ceiling fans. The office and committee room are also air conditioned. A timber door is located on the eastern wall of the office which leads into the committee room. Fixed aluminium framed windows are located on the northern and southern walls of the office.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**



Figure No.46: Office interior looking south.



Figure No.47: Office interior looking north.

3.3.15 A & H Committee Room – Exterior (E12)

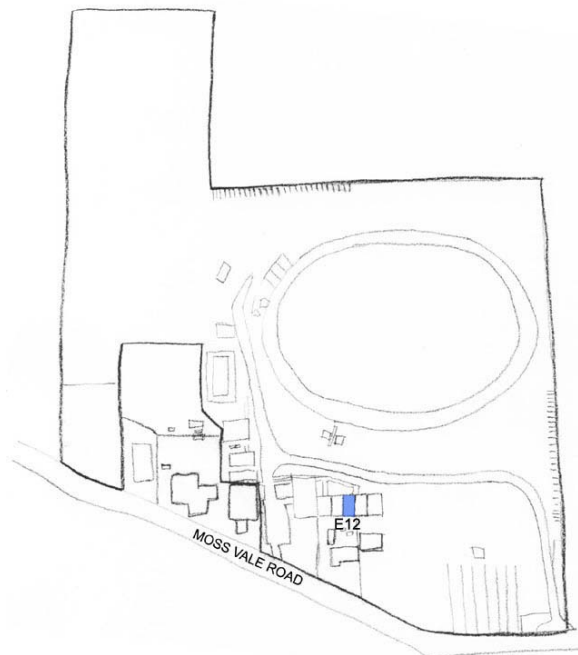
**General Description**

The A & H Committee Room is a recent brick structure with concrete floor. It is located adjacent the A & H Office and the bar. The kiosk, A & H rooms and the bar extension have been built between, and set back from, the Agricultural Pavilion and the bar, and all are housed under the one corrugated metal gable roof. A verandah runs along the length of the building on the northern elevation and under the main roof.

The committee room is accessed via a timber door from the northern façade. It can also be accessed internally through a timber door connecting the office and committee room.

Refer to 3.3.16 for an internal description.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**

A & H Committee Room



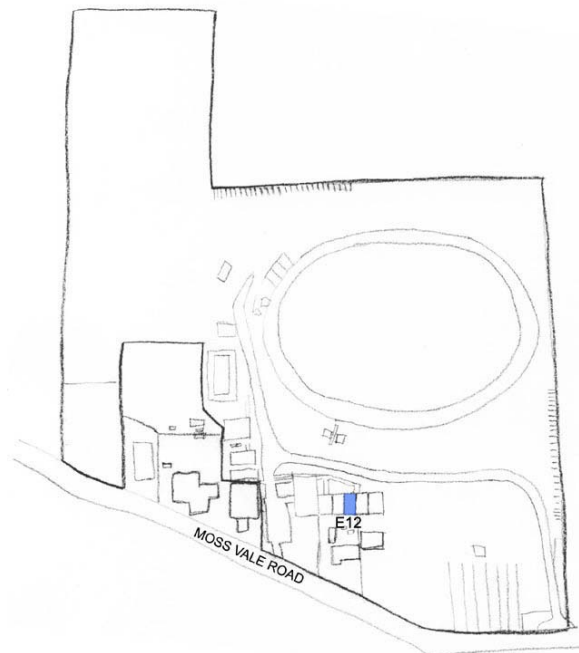
Figure No.48: Buildings from left to right: Covered area and bar, A & H Committee room, A & H Office and the kiosk.

3.3.16 A & H Committee Room – Interior (E12)

**General Description**

The A & H Committee Room has an exposed concrete floor, exposed brick walls and a plaster ceiling with fluorescent lights and ceiling fans. The office and committee room are also air conditioned. A timber door is located on the western wall of the committee room which leads into the office. Fixed aluminium framed windows are located on the northern and southern walls of the committee room. The room also contains a number of early photographs of the showground sites, as well as past committee members.

**Location Plan**



Not to scale N↑

**Special Features**

Interpretive materials (photographs etc).

**Photographs**



Figure No.49: A & H Committee Room interior.

3.3.17 Bar & covered area – Exterior (E13)

**General Description**

The bar is a small weatherboard building with a corrugated iron gable roof. A brick extension was added to the western elevation of the bar at the same time as the kiosk and A & H rooms were constructed. The extension sits under the same roof as the kiosk and A & H rooms.

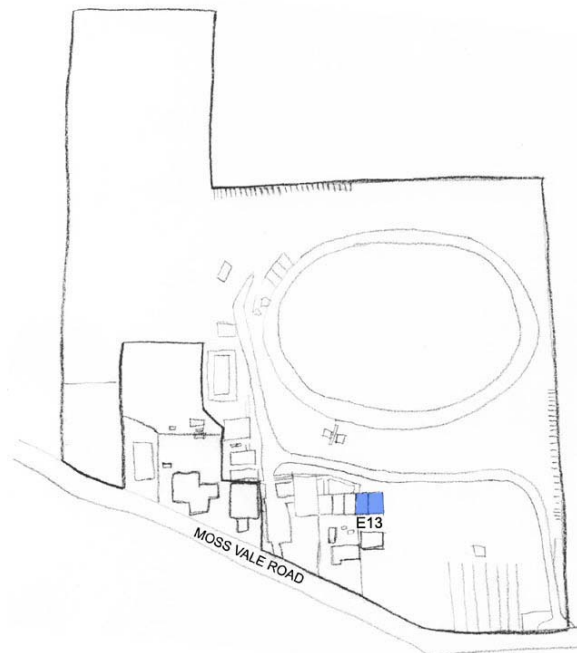
A covered verandah area is located on the western elevation. This area has a corrugated metal skillion roof supported by timber posts and a concrete floor. The posts have small timber platforms or shelves built around them at chest height for patrons to place their drinks. Some timber seating is stored in this section and is placed around the showground as needed.

The weatherboard section is the main serving area and has timber shutters over the openings on the northern, eastern and western elevations which can be raised when the bar is open. The brick extension section also has a shuttered section that can be opened as required.

The weatherboard section of the bar was most likely relocated from the second showground site opposite the cemetery.

Refer to 3.3.18 for an internal description.

**Location Plan**



Not to scale N↑

**Special Features**

Main weatherboard section.

**Photographs**



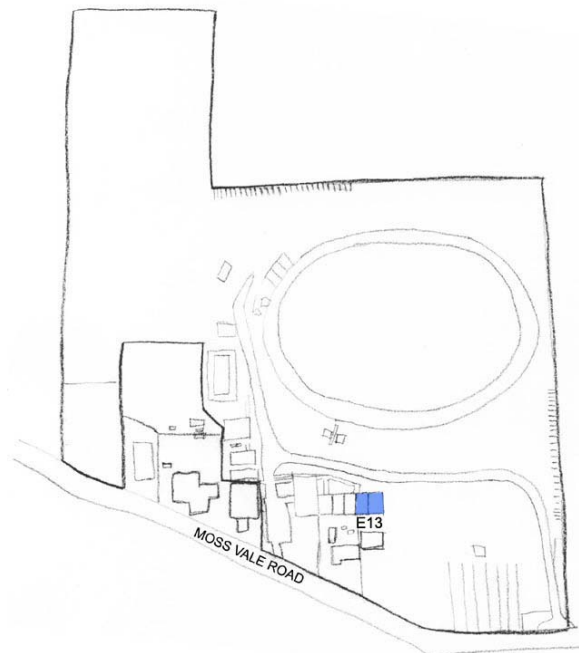
Figure No.50: Bar external.

3.3.18 Bar & covered area – Interior (E13)

**General Description**

The main (weatherboard) section of the bar has a timber board covered floor and weatherboard lined walls. The brick extension has a concrete floor and exposed brick walls. Timber counters are located along the serving area walls. A cool room is located in the south-west corner of the bar with brick walls and a heavy timber door. The bar has a painted plaster ceiling with fluorescent lights.

**Location Plan**



Not to scale N↑

**Special Features**

Main weatherboard section.

**Photographs**



Figure No.51: Serving area of bar.



Figure No.52: Cool room.



3.3.19 Caretaker's Cottage (E14)

**General Description**

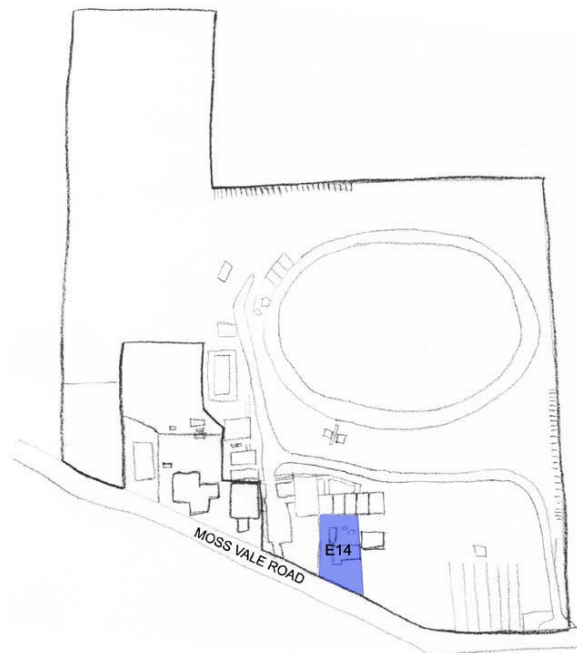
The Caretaker's Cottage was built c1935 from the timbers of the Presbyterian Church that formerly stood on this site. It is an Inter-War weatherboard L-shaped cottage built on stone piers. The cottage has a corrugated metal gable roof and a brick chimney. A verandah is located on the front (south) elevation under the main roof. An awning over the kitchen window on the rear (north) elevation extends over a small landing with steps which lead down to the rear yard.

Modifications to the cottage include: its extension in the 1970s (which is easily discernable from the difference in weatherboards), and the replacement of, and changes to, some windows. The cottage and garage have also been recently painted.

Recent works to the interior of the cottage include replacing the fence post floor with timber floorboards. (It should be noted that the interior of the cottage was not investigated during this project.)

A weatherboard garage is located on the western side of the Lot and is set back from the cottage. The garage has a corrugated metal gable roof. It has also possibly been extended to the rear. Vehicular entrance is through a metal garage door on the southern elevation. Two timber doors are located on the eastern elevation as are two double hung windows. A shed with a corrugated metal gable roof is located directly behind the garage.

**Location Plan**



Not to scale N↑

**Special Features**

Cottage, garage and shed.

**Photographs**



Figure No.53: Caretakers Cottage, front elevation.



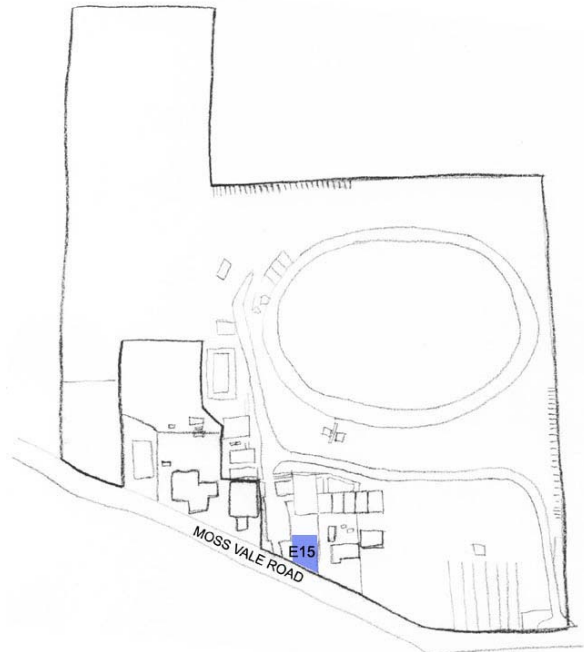
Figure No.54: Caretaker's Cottage, rear elevation.

3.3.20 Children's Playground (E15)

**General Description**

The children's playground is located at the main entrance to the showground. It contains some play equipment (e.g. swings, slide, etc) and the area is fenced with a low metal fence. The area is accessed via a metal gate from the carpark at the main (west) entrance to the showground.

**Location Plan**



Not to scale N↑

**Special Features**

N/A.

**Photographs**



Figure No.55: Children's playground.



Figure No.56: Children's playground.

3.3.21 Swimming Pool (E16a, b, c, d & e)

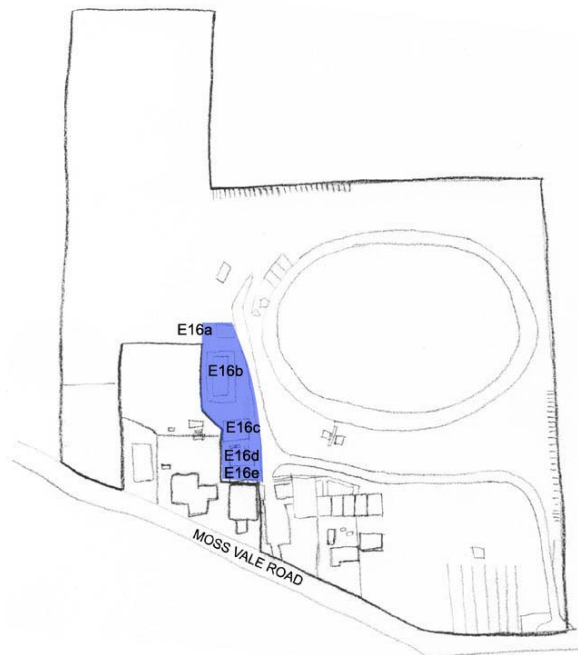
**General Description**

The swimming pool (1976) area is located on the south-western boundary of the site and contains two swimming pools (E16b & c) with shade structures over them and an administration building (E16a). The pool area is enclosed with a cyclone fence topped with barbed wire.

The male and female toilets (E16e) to the south of the swimming pools are a pre cast concrete structure built in 1956. They are utilised by all visitors to the swimming pool, showground and the Kangaroo Valley School of Arts Hall. They are currently in poor condition and inadequate to cater to all patrons to the site.

A pre cast concrete shower block/dressing shed (E16d) is also located to the south of the swimming pools. A small barbeque area, with two sheltered picnic tables and a brick barbeque, is located along the south fence of the pool area and in front of the showers.

**Location Plan**



Not to scale N↑

**Special Features**

Precast concrete toilets.

**Photographs**



Figure No.57: Swimming pool area.



Figure No.58: Swimming pools and shade structures.



Figure No.59: Barbeque area.



Figure No.60: Toilets.



Figure No.61: Showers.

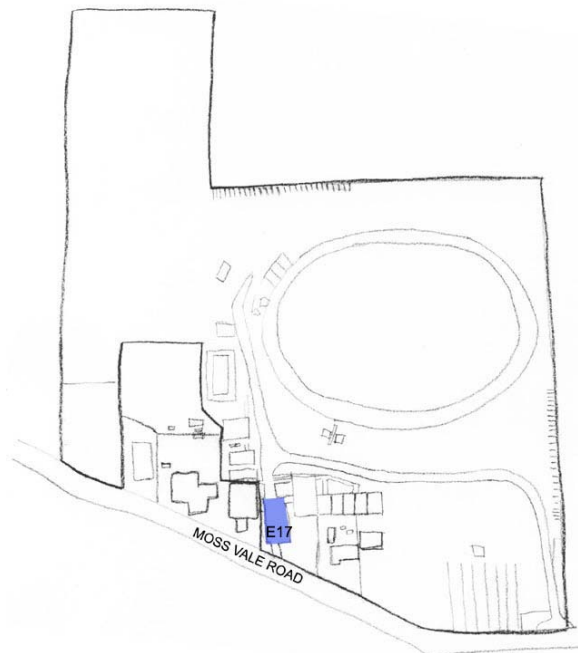
3.3.22 Main Entrance and Carpark No1 (E17)

**General Description**

The main (west) entrance to Osborne Park is located off Moss Vale Road between the Agricultural Pavilion and the Kangaroo Valley School of Arts hall. The entrance is flanked by brick pillars which were built in 1956 by the Kangaroo Valley Historical Society as a tribute to the pioneers of the valley.

The bitumen carpark is located immediately inside the entrance between the Agricultural Pavilion and the Kangaroo Valley School of Arts. The northern boundary of the carpark is bound by a low brick fence with brick pillars and metal gates. The gates contain initials, reputedly of locals who died in the second World War.

**Location Plan**



Not to scale N↑

**Special Features**

Entrance gates.

**Photographs**



Figure No.62:  
Entrance piers.



Figure No.63:  
Entrance piers.



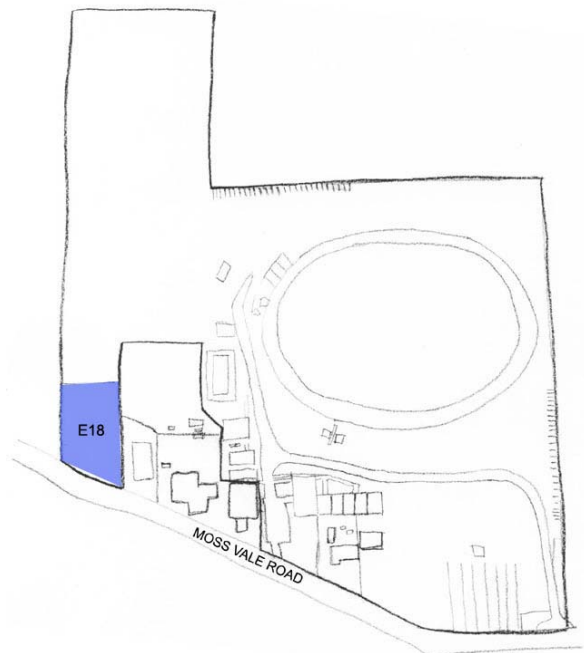
Figure No.64:  
Gates and brick fence and pillars at the northern end of the carpark.

3.3.23 Carpark No2 (E18)

**General Description**

This landscaped carpark is located adjacent the Friendly Inn. It has a semi-sealed surface.

**Location Plan**



Not to scale N↑

**Special Features**

N/A

**Photographs**

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## **4.0 ANALYSIS OF DOCUMENTARY AND PHYSICAL EVIDENCE**

### **4.1 Analysis of Documentary Evidence**

A substantial amount of documentary evidence has been discovered as a result of research undertaken for the purposes of this report. The information has been somewhat contradictory in part and has had to be pieced together. Information has been discovered which identifies that the existing showground site is the third location for the Kangaroo Valley Showground. Title documents (refer Appendix A) and some historic photographs support this.

Documentary evidence has been found indicating the original 10 acres of Osborne Park (part of Osborne's land) was set aside as a Recreation Park in 1888, however, the showground was not located here. Documentary evidence has also been found supporting the previous locations of the showground (the first behind what is now known as the Friendly Inn, and the second opposite the cemetery) as well as how the current showground site has grown. (Refer Figure Nos. 65 & 66).

Original construction drawings for the Agricultural Pavilion and the Poultry Pavilion have not been found. Drawings for the construction of the kiosk and A & H Rooms have been found however, as have drawings for the extensions to the Poultry Pavilion and the bar and the construction of the swimming pools.

Refer to Appendix A: Historical Figures and Documentation.

### **4.2 Analysis of Physical Evidence**

Analysis of the physical evidence of the site has revealed no great changes to the original buildings of the site since they were relocated there in 1954. The physical evidence of the site confirms the documentary evidence found.

No great changes have been made to the Agricultural Pavilion since it was relocated to this site in 1954.

A structure, incorporating the Kiosk, and A & H Committee Room and Office, and additions to the existing bar, was constructed between the Agricultural Pavilion and the existing bar in 1985. A new structure is in the process of being constructed adjacent the pony club area. (Refer Appendix A).

Inspection of the external physical fabric of the Caretaker's Cottage confirms the documentary evidence regarding the extension from the 1970s.

### **4.3 Comparative Analysis**

Generally Agricultural Showgrounds were established much earlier than the subject site, quite often in the late 1800s. Many showgrounds had land set aside for them when the towns were being planned and have occupied these same sites since that time, contrasting to the Kangaroo Valley Showground which has had three different locations. It was also not unusual for the showground land to be set aside by major local landholders (e.g. Berry Showground).

The Kangaroo Valley Showground, Osborne Park, differs from many showgrounds in that it was established at its current location in 1954, with the first show held there in 1956. Osborne Park is the third location for the Kangaroo Valley Showground. The temporary showground firstly occupied the land behind what is now known as the Friendly Inn and a more permanent showground was then located near the cemetery before being moved to its current location at Osborne Park in the 1950s. It is unusual for a showground to have had so many different locations.

Osborne was a major landholder and important figure in the Kangaroo Valley area, and the park was set aside from his land. However, its original use was intended as a Recreational Park, rather than the showground.

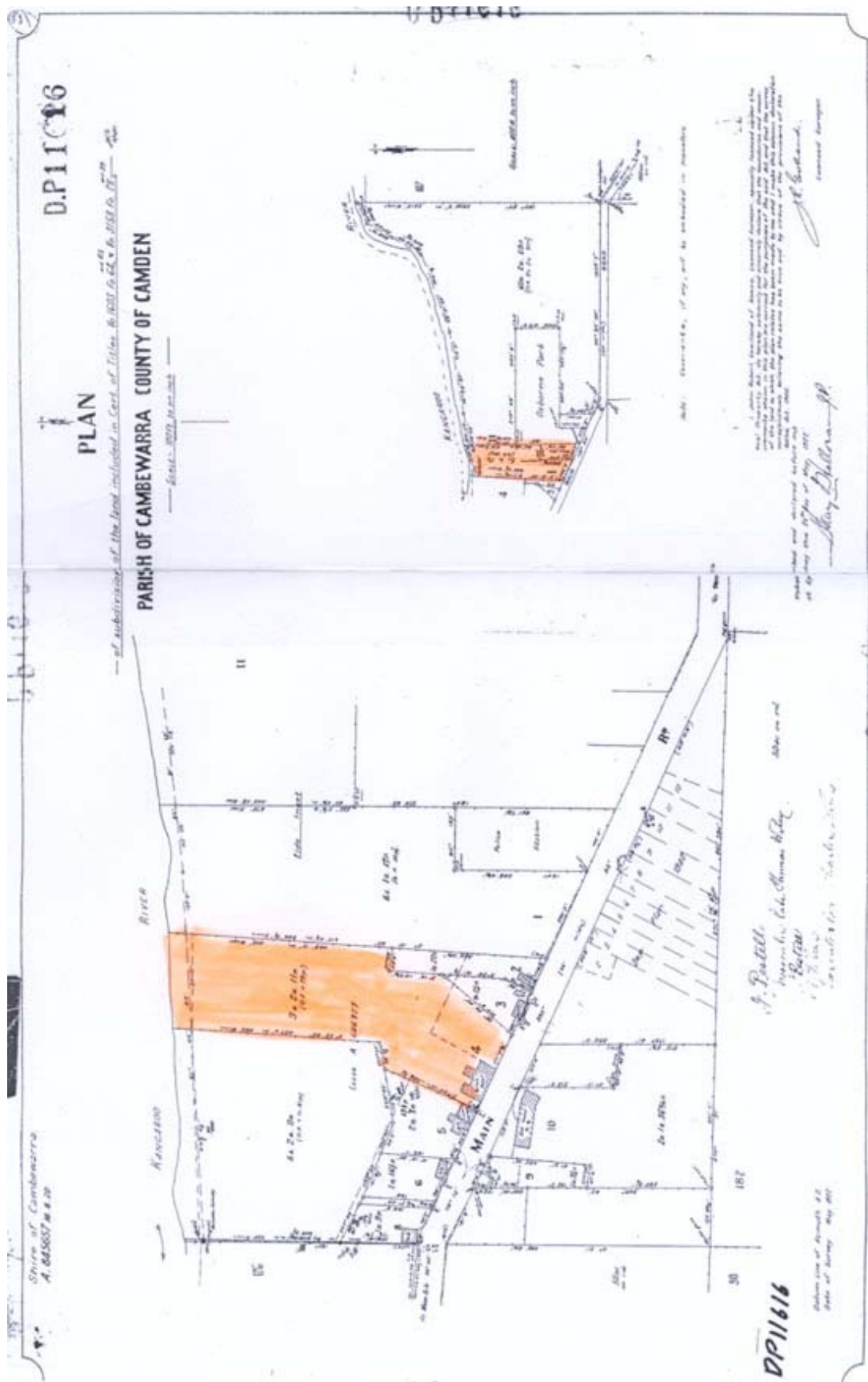
The following structures and areas were typically provided in a showground, and Osborne Park is no exception:

- Agricultural Pavilion
- Poultry Pavilion
- Wood Chop Area
- Showground Ring
- Cattle and Horse areas

A typical showground feature that Osborne Park does not contain is a grandstand. However, seating has been installed in the southern embankment of the ring in lieu of a grandstand.

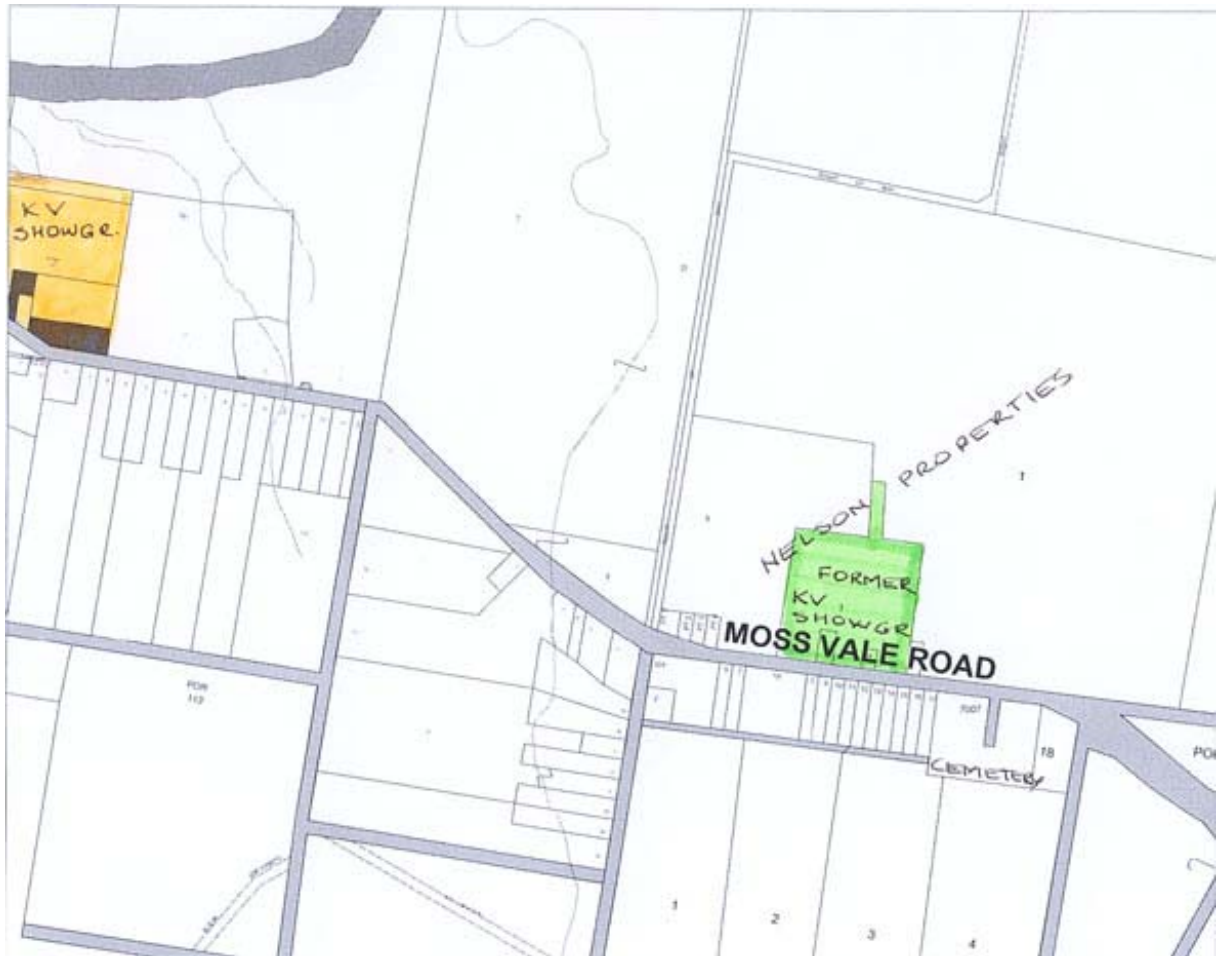
As with many other showgrounds in the Shoalhaven, Osborne Park has grown to accommodate the growing needs of the community. A swimming pool and additional buildings have been constructed on the site to service the community. Various parcels of land have been added to the site to provide more recreational area and area for use during the annual Agricultural & Horticultural Show. All of these improvements and additions ensure the continued use of the showground.





N←

Figure No.65: 1922 survey showing the original showground site behind the Inn. The existing showground site is adjacent to the eastern side of this site.



N↑

Figure No.66: Current plan showing the location of the second showground site opposite the cemetery in relation to the existing showground site.

## **5.0 ASSESSMENT OF CULTURAL SIGNIFICANCE**

### **5.1 NSW Heritage Assessment Criteria**

This assessment of cultural significance for the Kangaroo Valley Showground, Osborne Park, has been based on the following criteria and guidelines contained in the NSW Heritage Manual produced by the NSW Heritage Office and NSW Department of Urban Affairs and Planning.

**State** significance means significance to the people of NSW.

**Local** significance means significance within the local government area.

An item will be considered to be of state (or local) heritage significance if, in the opinion of the Heritage Council of NSW, it meets **one or more** of the following criteria.

- Criterion (a)** - an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural and natural history of the local area);
- Criterion (b)** - an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural and natural history of the local area);
- Criterion (c)** - an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);
- Criterion (d)** - an item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons;
- Criterion (e)** - an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);
- Criterion (f)** - an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);
- Criterion (g)** - an item is important in demonstrating the principal characteristics of a class of NSW's
  - cultural or natural places; or
  - cultural or natural environments.(or a class of the local area's
  - cultural or natural places; or
  - cultural or natural environments.)

An item is not to be excluded from the Register on the ground that items with similar characteristics have already been listed on the Register

## 5.2 Statement of heritage significance

The Kangaroo Valley Showground, Osborne Park, has historical, social, aesthetic and technical significance at a local level in the Kangaroo Valley area for the following reasons:

Statement	Criterion
5.2.1 The subject site continues to be used for its original function as a showground. This use first took place in 1954 on this site. The first show was held nearby the existing site in 1885, to the rear of the Commercial Hotel, now the Friendly Inn. The second, more permanent, location for the show was opposite the cemetery.	a
5.2.2 Historically, the subject site and buildings were significant to the residents of Kangaroo Valley as the showground venue which hosted an annual showcase of the agricultural and horticultural activities of the area which was also an important social event. The annual show gave the district farmers a chance to meet and discuss farming methods with neighbours and to learn what was going on outside their own parcel of land.	a b e
5.2.3 The subject site and buildings remain significant to the Shoalhaven area through their continued use for community purposes, recreational activities and as part of the annual Kangaroo Valley Agricultural and Horticultural Show.	a b d
5.2.4 The subject site is a community facility associated with the lifestyle, industry and growth of the area.	a b d
5.2.5 The subject buildings and areas within the subject site continue to be used for community and recreational purposes, as intended when first established.	a
5.2.6 The Agricultural Pavilion has significance as an early building associated with the site. The building was moved from the second showground site to its current location in 1954.	a c
5.2.7 The Poultry Pavilion has significance as an early building associated with the site. The building was moved from the second showground site to its current location in 1954.	a c
5.2.8 The subject site has significance for its association with prominent local families, i.e. Osborne, Nelson.	a b
5.2.9 The subject site, set in the Kangaroo Valley, has high aesthetic significance. The Kangaroo Valley itself is listed as being of State Significance. The relationship between the Showground site and its setting within the Kangaroo Valley and the views into, out of and through the showground to the surrounding landscape has high aesthetic significance.	

## 5.3 Nature of significance

### 5.3.1 Historical Significance

The subject site continues to be used for its original purpose, as a showground and community and recreational facility. The land was first set aside for recreational purposes in 1888. The first show to be held on the site was in 1956.

The Agricultural Pavilion, the Poultry Pavilion and the bar have historic significance as the earliest buildings on the site, all of which were built on and relocated from the second showground site opposite the cemetery, east of the subject site, on Moss Vale Road.

### 5.3.2 Aesthetic Significance

The subject site is located in the State Significant landscape setting of Kangaroo Valley. The location of the showground site, along Moss Vale Road and backing onto the Kangaroo River, features a lush backdrop and views to the mountains surrounding the site which are prominent landmarks in the district. The largely grassed open nature of the showground site and the location of the buildings along Moss Vale Road aid in providing and maintaining views to the mountains beyond. Major vistas to the mountains to the north are visible from the entrances to the Showground off the main road and also from within the showground. 360° views to the surrounding landscape are also possible from the showground ring and throughout the subject site.

### 5.3.3 Social Significance

The Kangaroo Valley Show has been an important social function since the first show was held in 1888 behind the Commercial Hotel, now the Friendly Inn. The subject site has continued to be an important social meeting place since the first show was held at this location in 1956.

Many of the buildings on the site are socially significant through their use during the Kangaroo Valley Show. Much of the spaces and buildings within the showground are also socially significant through their use by the community e.g. touch football, rugby, cricket and hockey matches, functions, etc (refer Section 6.6.2 for uses of the site).

### 5.3.4 Technical/Research Significance

The Showground is significant as a group of agricultural buildings purposely constructed as a showground complex in a small township. The buildings are representative of construction techniques for the period. The majority of the buildings have remained in their original location on the site and retain much of their original fabric.

## 5.4 **Items of significance**

5.4.1 Following are individual elements located on the subject site which are considered to be of heritage significance:

- Agricultural Pavilion
- Poultry Pavilion
- Caretaker's Cottage
- Showground ring
- Cattle Yards and associated trees
- Horse stalls
- Views and vistas to surrounding landmarks
- Mature *Eucalyptus sp* trees
- Showground entrances

5.4.2 Individual elements of the subject buildings which are considered to be of heritage significance include, but are not limited to, the following:

- Agricultural Pavilion
  - Structure generally
- Poultry Pavilion
  - Structure generally
  - Cages
- Caretaker's Cottage
  - Structure generally, including weatherboarding from Presbyterian Church
  - Associated garage and shed
- Showground entrances
  - Memorial entrance pillars and gates to main entrance
  - Views and vistas to and through showground to landscape beyond

## 5.5 Heritage Assessment Matrix

Value	Representative	Rare
Historical	<b>Local</b>	<b>Local</b>
Aesthetic	<b>Local</b>	
Social	<b>Local</b>	
Technical/Research	<b>Local</b>	

## 5.6 Grading of Significance

Considering the physical and documentary evidence gathered, the Statement of Significance and various constraints, requirements and opportunities, the grading of significance is possible.

This grading of significance has been based on the NSW Heritage Manual provided by the NSW Heritage Office and NSW Department of Urban Affairs and Planning.

**Exceptional significance** (Fulfil criteria for local or State listing)

Rare or outstanding item of local or State significance.

High degree of intactness.

Item can be interpreted relatively easily.

**High significance** (Fulfil criteria for local or State listing)

High degree of original fabric.

Demonstrates a key element of the item's significance.

Alterations do not detract from significance.

**Moderate significance** (Fulfil criteria for local or State listing)

Altered or modified elements.

Elements with little heritage value, but which contribute to the overall significance of the item.

**Little significance** (Does not fulfil criteria for local or State listing)

Alterations detract from significance.

Difficult to interpret.

**Intrusive** (Does not fulfil criteria for local or State listing)

Damaging to the item's heritage significance.

### 5.6.1 Subject Site

The zones of significance are indicated on the site plan and are rated according to intactness from the highest level, one (1), down to the lowest, five (5).

- Exceptional Significance (Category 1)
- High Significance (Category 2)
- Moderate Significance (Category 3)
- Little Significance (Category 4)
- Intrusive (Category 5)

Generally:  
 Views and vistas to surrounding mountains throughout the showground site: 2  
 Views and vistas to surrounding mountains from entrances: 2  
 Entrance gateposts and gates: 2  
 Plantings in cattle yard: 2 (refer Figure No.68)  
 Mature native trees within the site: 2 (refer Figure No.68)  
 Relationship with the Kangaroo Valley School of Arts Hall: 3  
 Relationship with former showground sites: 3

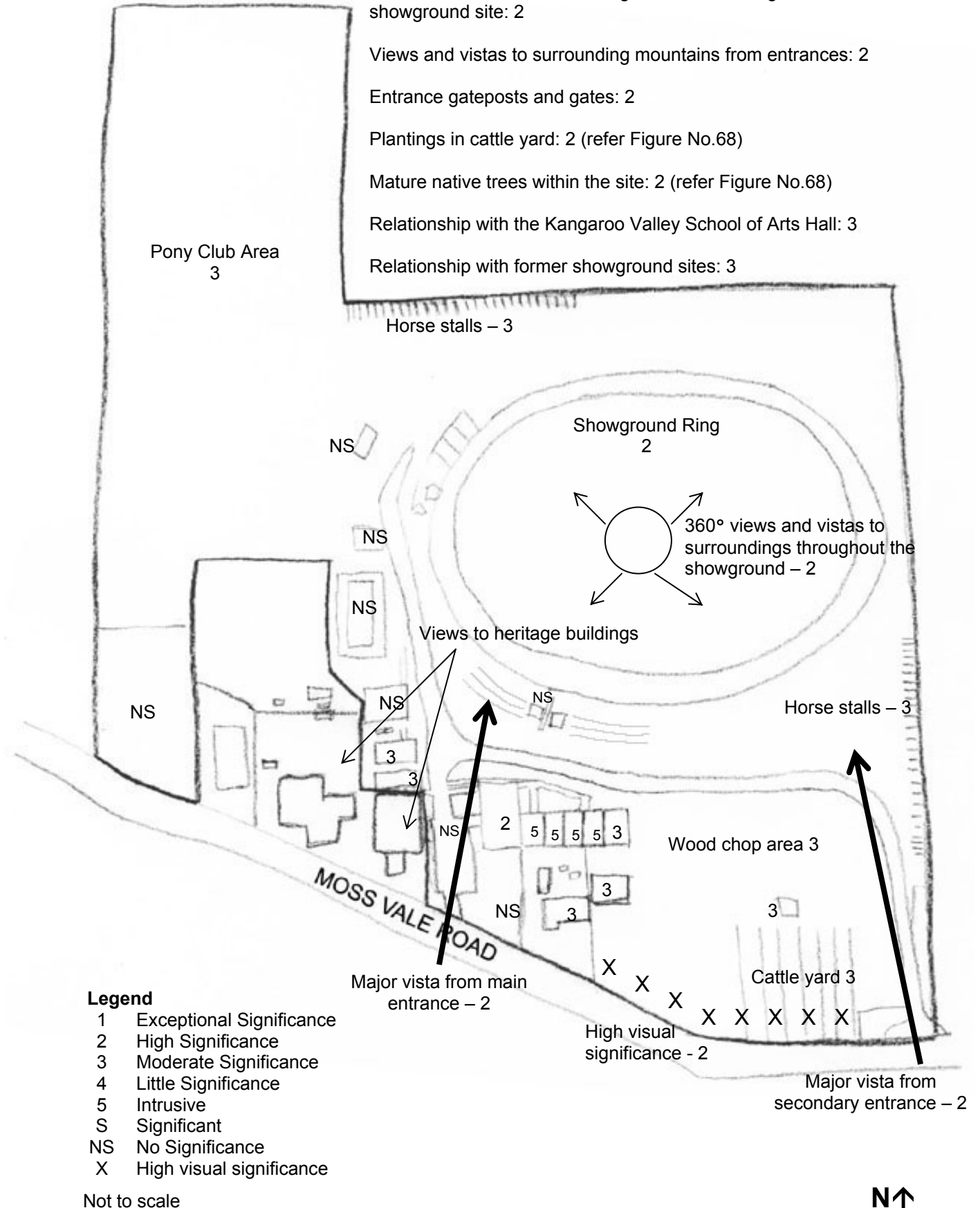


Figure No.67: Levels of Significance – Subject Site

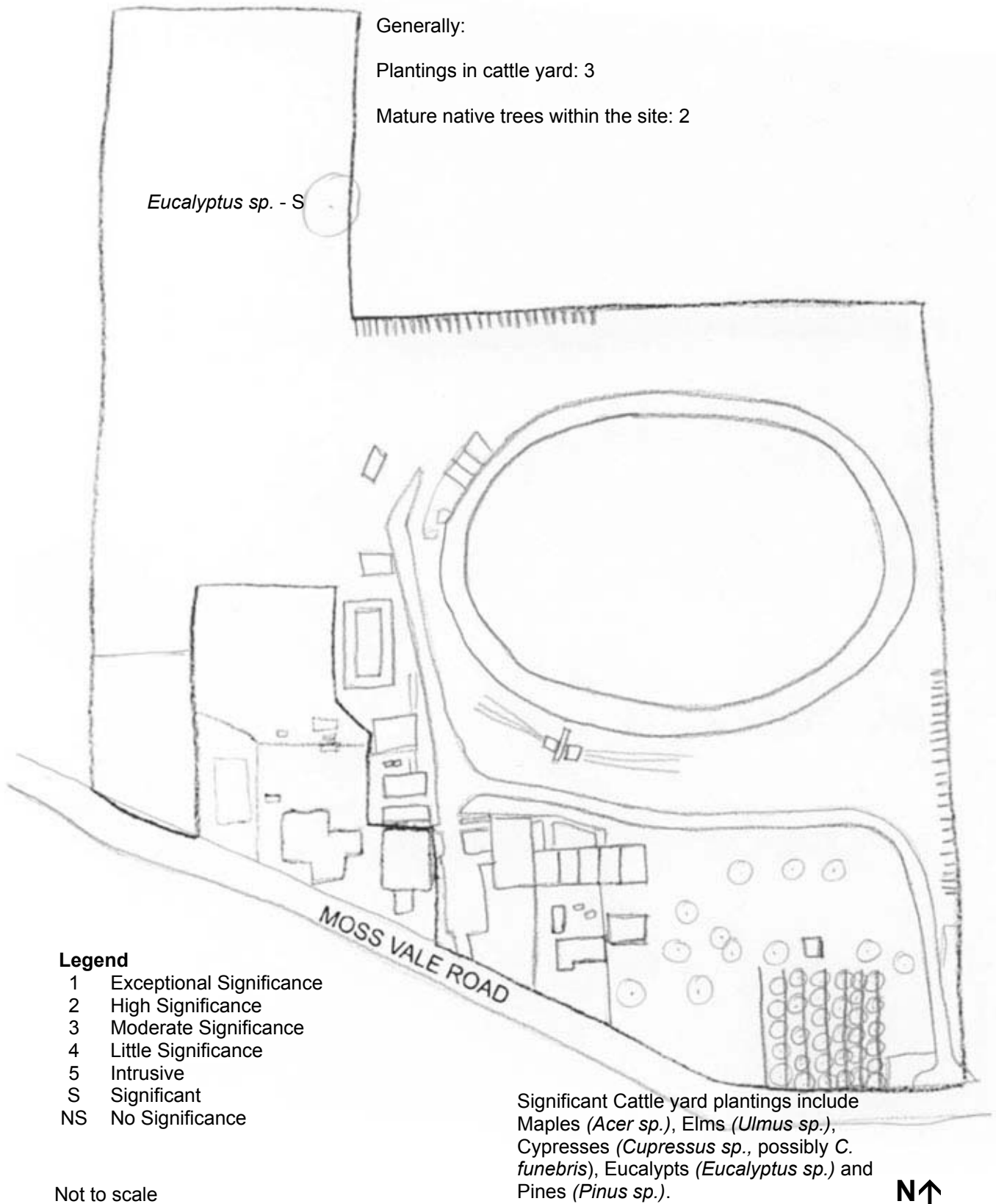


Figure No.68: Levels of Significance – Subject Site Landscape elements.  
 Significant trees have been indicated on this plan.  
 It should be noted that this survey is not inclusive as a Landscape Survey was not  
 conducted as part of this study (refer 7.4.2).



## 5.7 Definition of curtilage

The existing boundary of the subject site defines an appropriate immediate curtilage for the site. (Refer to Figure No.2).

The subject site, Osborne Park, is also located within the Kangaroo Valley Town Centre Conservation Area. An appropriate extended curtilage for the subject site follows part of the southern boundary of this Conservation Area, but continues further down Moss Vale Road and extends back to the Kangaroo River. The visual curtilage of the subject site extends to the surrounding mountains that form the valley. Please refer to Figure No.69.

The significance of the conservation area is stated as follows (from the Shoalhaven Heritage Inventory No.2390455):

*The urban landscape of Kangaroo Valley is important both as an example of a private township and as a township associated at the junction of river flats and foothills. The township retains the essential domestic and public structures and spaces which characterise late nineteenth century rural townships in an appropriate rural landscape setting.*



Not to scale N↑

Figure No.69: Extended curtilage of the Kangaroo Valley Showground, Osborne Park.

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## **6.0 CONSTRAINTS AND OPPORTUNITIES**

This section outlines the main constraints and opportunities which need to be addressed in the conservation management policy for the subject site and buildings.

### **6.1 Physical constraints and requirements arising from the statement of significance**

- 6.1.1 No activity/development should be allowed on the site that will confuse the fact that the Kangaroo Valley Showground, Osborne Park, constitutes an important component of the cultural development of the Kangaroo Valley area.
- 6.1.2 The subject site's early planning, detailing and design features that identify it as a showground site should be conserved. This includes, but is not limited to, the configuration of the Showground and relationship between the Showground buildings and areas, the Showground ring, Agricultural Pavilion, Poultry Pavilion, Cattle Yards, etc.
- 6.1.3 Significant landscape elements and plantings should be retained and conserved. This includes, but is not limited to, the remnant native vegetation, mature eucalyptus species, the cattle stand trees, etc. For significant landscape elements and plantings refer to Section 5.4 of this report.
- 6.1.4 Significant buildings and features of the site should be retained and conserved. These include, but are not limited to: the Agricultural Pavilion; the Poultry Pavilion, the showground ring, etc. Refer to Section 5.4.1 of this report.
- 6.1.5 Significant fabric should be retained in-situ and conserved. Fabric may be removed to reveal fabric which is identified to be more significant however a sample should be retained in-situ for interpretation purposes.
- 6.1.6 No activity should take place which could destroy a potential archaeological resource. This applies to the areas below and in the vicinity of the subject site, and to the previous showground sites.
- 6.1.7 Any new building, services, landscaping or activities on the site or in the vicinity of the site should have regard to the setting and design of the property and to the scale, style and character of adjacent development.
- 6.1.8 The subject buildings should continue to be used for their original purpose where possible and generally for community and recreational use.
- 6.1.9 The subject site should continue to be used for recreational, sporting and community purposes, and for the annual Agricultural and Horticultural Show.

### **6.2 Procedural requirements (conservation methodology)**

Since the subject site is of cultural significance, any work at the site or in the vicinity of the site should be done in accordance with the principles of the Australia ICOMOS Burra Charter. In particular the following procedural requirements (conservation methodology) should be noted.

#### **Burra Charter**

- Article 3-** *Conservation work should be based on a respect for existing fabric. It should not distort the evidence provided by the fabric.*
- Article 13-** *Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric and only if returning the fabric reveals the cultural significance of the place.*
- Article 15-** *Restoration is limited to the reassembling of displaced components or removal of accretions in accordance with Article 16.*
- Article 16-** *Contributions of all periods must be respected.*
- Article 20-** *Adaptation is acceptable where the conservation of the site cannot otherwise be achieved, and where adaptation does not substantially detract from its cultural significance.*

- Article 23-** *Existing fabric should be recorded before any disturbance.*  
**Article 24-** *Study of the site by any disturbance of the fabric or by archaeological excavation should be undertaken where necessary to provide data essential for decisions on the conservation of the place.*

### **6.3 Constraints and requirements arising from the physical and documentary evidence**

It is reasonable to assume that more evidence, both physical and documentary may come to light as a result of further research or during the implementation of major conservation works at the site. This may include information on early decorative schemes, archaeological information, or further evidence revealed, for example, by intervention to the fabric or from other resources. This new information should be taken into account when making any decisions regarding the future of the item.

### **6.4 Constraints and requirements arising from the physical condition**

#### **6.4.1 Generally**

Generally, the subject buildings retain sufficient of their fabric to allow interpretation of their early configuration. Many early design features remain in place.

#### **6.4.2 Structural Stability**

The general condition of the buildings located on the subject site appears to be sound. It should be noted that a detailed structural engineers study has not been prepared in conjunction with this study. Regular monitoring and repair of damaged structures as necessary is essential.

#### **6.4.3 Water Damage**

Water damage is not evident in the subject buildings. It should be noted that a detailed pest infestation study has not been prepared in conjunction with this study.

#### **6.4.4 Pest Infestation**

No evidence of pest infestation has been able to be detected. It should be noted that a detailed pest infestation study has not been prepared in conjunction with this study.

#### **6.4.5 Pedestrian Access**

Pedestrian access to the site is currently available from Moss Vale Road.

#### **6.4.6 Vehicle Access, Car Parking And Delivery**

Vehicle and delivery access and car parking is currently available off Moss Vale Road and in the two car parks off Moss Vale Road.

#### **6.4.7 Access and Mobility**

The subject buildings are partially accessible. However, consideration should be given to upgrading the roadways and pathways linking the buildings, as well as access into the buildings.

## **6.5 External constraints**

### **6.5.1 Statutory Heritage Constraints**

Approval from the following authorities is required before major changes are made to the items included in their heritage registers.

#### **6.5.1.1 *NSW Heritage Council***

The subject site is listed on the State Heritage Inventory. The site also falls within the Kangaroo Valley Town Centre Conservation Area.

#### **6.5.1.2 *Shoalhaven City Council***

The subject site is not listed in the Shoalhaven City Council Local Environment Plan 1985.

#### **6.5.1.3 *Department of Urban Affairs and Planning***

The subject site is not listed in the Illawarra Regional Environmental Plan.

### **6.5.2 Non-Statutory Heritage Constraints**

The following are non-statutory lists with no legally binding requirements. However, a listing on these registers is generally regarded as being an authoritative statement about the heritage significance of an item.

#### **6.5.2.1 *Australian Heritage Commission***

The subject site is not listed on the Register of the National Estate. However Kangaroo Valley itself is listed.

#### **6.5.2.2 *National Trust of Australia (NSW)***

The subject site is not listed on the National Trust Heritage Register.

## **6.6 Opportunities and constraints arising out of ownership and use**

### **6.6.1 Ownership**

Refer Figure No.70.

**Lot 127 DP 751264**, comprising an area of 2.73ha, is owned by the State of New South Wales being a Reserve for Public Recreation – Proclaimed P580015. Shoalhaven City Council is the appointed Manager of the Reserve Trust.

**Lots 1 and 2 DP 210368**, comprising an area of 12,601m<sup>2</sup>, are owned by the State of New South Wales being a Dedication for Public Recreation, dedicated D580016. Shoalhaven City Council is the appointed Manager of the Reserve Trust.

**Lot A DP 376259 and Lot D DP 409219**, with a combined area of 6,620m<sup>2</sup>, are owned by Shoalhaven City Council.

**Lot 1 DP 627807**, comprising an area of 2.004ha, is owned by Shoalhaven City Council. The land is zoned as “operational” in accordance with the Local Government Act 1993.

**Lot B DP 376259**, comprising an area of 1,113m<sup>2</sup>, is owned by Shoalhaven City Council and was purchased in 1975 from A. E. Brooks. The cottage is under lease to the Showground Caretaker, J. L. Lenz. The land is classified as “community”, category: general community use, in accordance with the Local Government Act 1993.

**Lot 3 DP589396** is owned by the State of New South Wales and was added to the Dedication for Public Recreation (Osborne Park) D580016, Government Gazette 19<sup>th</sup> October 1965. The land was acquired by Council for the swimming pool site and was later included in the Dedication for Osborne Park. The lot has a Village Zoning, as per the rest of the subject site.



Not to scale N↑

Figure No.70: Subject site.

Shoalhaven City Council requires maximum use of the site whilst retaining and conserving the heritage significance and values.

The whole of the Showground has a Village zoning under the Shoalhaven Local Environment Plan 1985 Amendments as at 6 February 2004 and the site is under the control of a Management Committee by delegation pursuant to Section 377 of the Local Government Act 1993. Part of Lot 1 DP 627807 is also zoned 1(g) Rural (Flood Liable).

The objectives of the Village Zoning are:

*to provide a village lifestyle with a range of residential accommodation and support urban facilities.*

The objectives of Zone 1(g) Rural (Flood Liable) are:

- (a) to limit the erection of structures on land subject to periodic inundation;*
- (b) to ensure that dwelling-houses are erected on land subject to periodic inundation only in conjunction with agricultural use;*
- (c) to ensure that the effect of inundation is not increased through development;*
- (d) to restrict development and how it is carried out so that its potential to have an adverse impact on site and off site on acid sulfate soils is reduced or eliminated; and*
- (e) to conserve and maintain the productive potential of prime crop and pasture land.*

## 6.6.2 Uses

### 6.6.2.1 *Lot 127 DP 751264*

This Lot comprises of the main area of the showground. It contains the showground ring itself, rodeo yards, the southern entrance to the showground and the swimming pools, barbeque area, toilet facilities and showers.

Regular uses of the showground ring/oval include:

- Touch Football – 9 teams utilise the field every Monday night from October through to March;
- Hockey – training on Thursday nights, games on Saturdays each fortnight, playing Southern Highlands competition from April to September;
- Cricket – occasional matches with Sydney teams;
- Rugby League – training on Wednesday afternoons, matches every Saturday morning from March to September;
- Soccer – training on the field only;
- Archery – each Sunday afternoon;
- Kangaroo Valley Show – for one week every year;
- Family gatherings/picnics;
- General public use.

Other “one-off” uses include:

- Environmental days;
- Fire Brigade field days;
- Car shows.

### 6.6.2.2 *Lot 1 DP 210368*

This Lot runs along part of the northern boundary and contains some of the horse stalls that are located on the site which are used during the Kangaroo Valley Show.

### 6.6.2.3 *Lot 2 DP 210368*

This Lot is located between the showground ring area and the cattle yard area. It contains the woodchop area which is generally only used during show time. The area is also partly used for the sideshows during the annual A & H Show.

**6.6.2.4 Lot A DP 376259**

This Lot contains the Children's Playground and the Agricultural Pavilion. The Pavilion is used generally only during the annual A & H Show as a display area, and occasionally by the C.W.A., by the Cubs and for Landcookery days.

**6.6.2.5 Lot B DP 376259**

This Lot, at 179 Moss Vale Road, contains the Caretaker's Cottage and associated sheds (a garage and a shed). The weatherboard and fibro cottage with galvanised iron roof constructed on the land was said to be approximately 37 years old when purchased by Council. It is leased by the Kangaroo Valley Showground caretaker.

**6.6.2.6 Lot D DP 409219**

This Lot contains the cattle yards, loading ramp, wash down area and the announcer's box. The cattle yards are generally only used during the A & H Show but is also used to prepare for the Sydney Royal Easter Show and the junior beef cattle.

**6.6.2.7 Lot 1 DP 627807**

This Lot was purchased in 1982 for amalgamation with Osborne Park and for development of an off street car parking facility. The main section of this Lot is used by the Pony Club on a regular basis. It is also used for touch football and other sports when the oval is not in good condition. District horse carnivals and dog shows are also held in this area of the showground.

**6.6.2.8 Lot 3 DP 589396**

This Lot partly contains the swimming pools. The pool is under Licence to the Kangaroo Valley Lions Club. This licence expires at the end of March 2004.

## **6.7 Opportunities and options for future use**

The feasibility of these options should be investigated with close reference to the constraints and requirements of this Conservation Plan and the conservation policies contained in Section 8 of this report.

### **6.7.1 Generally**

Generally, any use of the subject site should support the existing use as an agricultural showground, community, sporting and recreational facility.

### **6.7.2 Continue Existing Use**

The existing use of the subject site as a showground, community, sporting and recreational facility is appropriate and should continue. Osborne Park has been a recreational facility since it was proclaimed for public recreation in 1888. The site has been used as a public park since 1953 and as a showground since 1955. It is therefore appropriate that these uses should continue.

### **6.7.3 Opportunities**

The opportunity exists to expand the use of the Agricultural Pavilion. Currently the Pavilion is used largely only during the annual A & H Show as a display area, and occasionally by the C.W.A., by the Cubs and for Landcookery days. These latter uses are somewhat restricted due to the permanent nature of the display structures within the pavilion. The opportunity exists to make the displays moveable so as to accommodate more uses within the Pavilion (i.e. as a meeting space, functions, classes, etc). Care should be taken so that the building is fully utilised to ensure that it remains maintained.

The opportunity exists to construct ticket booths or shelters at the two entrances off Moss Vale Road. Currently the hockey goals are used with tarpaulins placed over them to provide some shelter.



## **7.0 CONSERVATION POLICY**

The following conservation policies arise out of the statement of significance, the physical condition and other constraints (Refer Section 3.0, 5.0 and 6.0). An approach should be chosen for the subject site that allows as many as possible of these conservation policies to be implemented to ensure appropriate future management that will retain and enhance significant fabric and allow clear interpretation of the significance of the site.

The purpose of this policy is to determine how the subject site should be managed in terms of future development, use and maintenance in order to retain the cultural significance of the place, the objective being to retain and incorporate significant elements of the place within the framework of a viable appropriate future use for the site.

The implementation of this policy will allow the clear interpretation of the significance of the site and the most appropriate way of caring for the significant fabric.

The policies intend to:

- retain and enhance the cultural significance of the place;
- ensure the retention of significant fabric, planning approach and landscape setting of the site;
- allow adaptation, alterations and new works which are consistent with the cultural significance of the place and which promote a viable appropriate use of the site;
- define guidelines for new development within the curtilage of the site;
- indicate an approach to the future management and maintenance of the site, by qualified persons.

### **7.1 Conservation procedures at the site**

#### 7.1.1 Burra Charter Conservation Methodology

*Generally, treat the site as being of cultural heritage significance, and consequently guide works and activities at the site by the provisions of the Australia ICOMOS Burra Charter.*

#### 7.1.2 Management of the Site

*Manage the site in a way which allows the maximum of this policy to be implemented and followed. The policies outlined in this document should be adopted as the guide to future planning and work at the site.*

#### 7.1.3 Conservation Team

*Personnel skilled in disciplines of conservation practice, including professionals, skilled building and engineering trades, etc should be engaged as appropriate to advise or implement conservation works at the site. Personnel involved in the documentation and implementation of works at the site should be recorded for future reference.*

#### 7.1.4 Systematic Record

*Carry out, catalogue and archive systematic surveys of the site, before, during and after any works in accordance with NSW Heritage Office and NSW Department of Urban Affairs and Planning Guidelines.*

*Any new information that comes to light during and after works at the site shall be recorded in a report, a copy of which shall be held at the archive of the site.*

#### 7.1.5 Archive of the Site

*Assemble, catalogue and make readily available for public inspection, copies of all known historical drawings, pictorial documents and written records relating to the site in a permanent archive of the site.*

#### 7.1.6 Review this Conservation Management Plan

*This Conservation Management Plan should be revised after major works have been carried out at the site and otherwise at regular intervals, firstly five (5) years from its adoption.*

#### 7.1.7 Documentation of Conservation Works

*Any proposed works to heritage items shall be documented in a way that allows scrutiny by others before they are executed and can be retained for posterity. The documentary or physical evidence upon which conservation decisions are made for each part of the element should be cited. A copy of the documentation, including schedules and drawings, shall be held at the archive of the site.*

#### 7.1.8 Archaeological Finds

*Assemble, catalogue and safely house any archaeological finds that have been or are in the future removed from the site.*

#### 7.1.9 Interpretation

*The subject site and buildings should be easily interpreted as being a showground and community, sporting and recreational facility. Any future uses should assist this interpretation. The existing memorabilia in the A & H Committee Room should be incorporated into an interpretation display and made accessible to the public.*

#### 7.1.10 Community Involvement

*The local community should be given the opportunity to participate in and contribute to decisions which are made about the use and management of the site.*

#### 7.1.11 Funding

*Avenues for funding and sponsorship should be explored.*

Discussion: Shoalhaven City Council may be eligible for grant funding to assist them to meet the costs of conservation at the site. Possible sources of funding include:

- Local Council grants
- Department of Land and Water Conservation

## **7.2 Subject site**

### **7.2.1 General**

- 7.2.1.1 *The character of the subject site, which is that of an Agricultural Showground, should be conserved and maintained.*
- 7.2.1.2 *The relationship between Osborne Park and the streetscape should be conserved.*
- 7.2.1.3 *The views to Osborne Park from the approach into Kangaroo Valley and from the town centre should be conserved.*
- 7.2.1.4 *Any buildings added to the subject site should be sympathetic to the subject buildings and elements and should not intrude on their significance.*
- 7.2.1.5 *Any development in the vicinity of the subject site should be carefully considered to ensure that it does not negatively impact on the significance of the subject site.*
- 7.2.1.6 *An Interpretation Plan should be prepared for the Kangaroo Valley Showground (Osborne Park) site.*
- 7.2.1.7 *An interpretive display should be installed on the site, possibly within the Agricultural Pavilion, relating to the history of the showground (including the previous showground sites).*
- 7.2.1.8 *Interpretive devices (e.g. signs) should be considered at key points throughout the site. Any landscaping features such as fencing and pathways should also be interpretive, reflecting features and layouts of the site.*
- 7.2.1.9 *The relationship between the subject buildings and areas located in the showground complex should be retained.*

Discussion: In particular, the relationship between the subject buildings and the showground ring (particularly the Agricultural Pavilion); between the Poultry Pavilion and the showground site; and between the cattle yards/horse stalls and the subject site, etc should be retained and conserved.

- 7.2.1.10 *The lighting to the site should be checked over and upgraded where necessary.*
- 7.2.1.11 *The fence to the perimeter of the subject site should be replaced, ideally with a timber post and rail fence in keeping with the rural nature of the area.*
- 7.2.1.12 *The existing metal fence to the perimeter of the Caretaker's Cottage is intrusive and should be removed. A timber picket fence should be constructed in its place.*

Discussion: A picket fence is more in keeping with the character of the place and should be considered in this location. For added security and privacy for the residents of the cottage, a timber paling fence would be appropriate to enclose the rear yard of the cottage. Refer to Figure No.7.

- 7.2.1.13 *Maintain the existing roadways on the site.*

Discussion: The roadways should not be formalised by guttering, etc.

7.2.2 Use of the site

7.2.2.1 *The subject site should continue to be used as a Showground in keeping with the historical uses of the site.*

7.2.2.2 *The subject site should continue to be used for community, sporting, recreational and/or agricultural purposes in keeping with the historical uses of the site.*

7.2.2.3 *Use of the site by various sporting groups is appropriate and should be encouraged to continue.*

7.2.2.4 *Use of the site by the Pony Club is appropriate and should be encouraged to continue.*

7.2.2.5 *Use of the showground site by schools on sports days or for sports carnivals should be encouraged.*

7.2.3 Parking

7.2.3.1 *The existing car parking areas off Moss Vale Road should be maintained as sealed areas.*

7.2.3.2 *The existing car parking facilities should not be increased on the site.*

7.2.3.3 *If additional car parking is required, it should take the form on-street parking.*

### **7.3 Subject buildings and elements**

#### **7.3.1 General**

##### **7.3.1.1 *Original and early significant fabric should be conserved.***

Discussion: Original and early significant fabric of the site includes, but is not limited to, the following (refer Section 5.4):

- Agricultural Pavilion
- Poultry Pavilion
- Caretaker's Cottage
- Showground ring
- Cattle Yards and associated trees
- Horse stalls
- Views and vistas to surrounding landmarks
- Mature *Eucalyptus sp* trees

##### **7.3.1.2 *Any new use of the subject buildings should relate to the historical use of the site as a showground and community, sporting and recreational facility.***

##### **7.3.1.3 *Any new works to the buildings should be carefully designed so as not to interfere with the significance of the subject buildings and have limited impact on significant fabric.***

##### **7.3.1.4 *New interventions, including repairs, should be reversible, sympathetic and clearly interpreted, by means of introduced interpretative devices or by method of style of construction, as new work.***

##### **7.3.1.5 *Any concrete paving or walkways located on the subject site should not abut the subject buildings to allow for drainage of water away from the buildings. Any paving which currently abuts the subject buildings should ideally be removed. If this is not practicable, Council's Building Managers should closely monitor this issue and undertake any maintenance necessary as required.***

##### **7.3.1.6 *Regular maintenance should be undertaken on the subject buildings and elements.***

#### **7.3.2 Showground Ring**

##### **7.3.2.1 *Maintain and conserve the configuration and location of the showground ring.***

##### **7.3.2.2 *Maintain the showground ring as a fenced section of open ground.***

##### **7.3.2.3 *The existing timber post and rail fencing around the ring is appropriate and should be maintained.***

##### **7.3.2.4 *Maintain the spectator seating on the southern embankment adjacent the showground ring.***

##### **7.3.2.5 *Sympathetically designed shade structures may be erected over the spectator seating if required.***

Discussion: The shade structures should be basic structures, similar to, but not mimicking, the existing buildings and structures on the site, e.g. they could be constructed with corrugated iron flat/skillion rooves supported by timber posts. The shade structures should be carefully designed so as not to obstruct the views to the showground ring or through the site to the surrounding landscape.

##### **7.3.2.6 *Maintain the continued use of the ring for sporting, community and recreational activities. This includes its use during the Agricultural Show.***

- 7.3.2.7 *Maintain the significant views and vistas between the ring and the significant buildings and elements located on the site and adjacent the site, as well as the prominent landmarks outside the site.*
- 7.3.2.8 *Maintain and conserve early lighting installed around the perimeter of the ring.*
- 7.3.2.9 *Any new lighting works should be of an appropriate design to respect the heritage significance and character of the site, and be installed in addition to, not in place of, the remaining early lighting.*
- 7.3.3 Agricultural Pavilion
- 7.3.3.1 *The Agricultural Pavilion should be maintained and conserved as an integral component of the accommodations at the showground.*
- 7.3.3.2 *The relationship between the Agricultural Pavilion and the showground ring should be maintained.*
- 7.3.3.3 *The relationship between the Agricultural Pavilion and the Kangaroo Valley School of Arts Hall should be maintained.*
- 7.3.3.4 *Significant fabric and features of the Agricultural Pavilion should be conserved and maintained. (Refer section 5.4.2).*
- 7.3.4 Poultry Pavilion
- 7.3.4.1 *The Poultry Pavilion should be maintained and conserved as an integral component of the accommodations at the showground and of the importance of this aspect of farming activity to the community in the area.*
- 7.3.4.2 *This building should be maintained and conserved as one of the few rudimentary buildings on site.*
- 7.3.4.3 *Significant fabric and features of the Poultry Pavilion should be conserved and maintained. (Refer section 5.4.2).*
- 7.3.5 Cattle and Horse stands at the southwest corner of the site
- 7.3.5.1 *These areas and associated structures should be conserved and maintained as integral components of the showground and of the importance of these aspects of farming activities to the community in the area.*
- 7.3.5.2 *Significant fabric and features of these areas and associated structures should be conserved and maintained. (Refer section 5.4).*
- 7.3.5.3 *Conserve the significant trees in these areas.*
- 7.3.6 Wood Chopping Arena
- 7.3.6.1 *This area and associated structures should be conserved and maintained as an integral component of the showground and as a representation of the importance of the past logging industry to the area.*

7.3.7 Judges Booth

7.3.7.1 *The Judges Booth should be conserved and maintained.*

7.3.7.2 *The door to the booth should be replaced.*

Discussion: The existing door to the Judges Booth is an internal door. It should be replaced with an external door to provide added security to the building.

7.3.7.3 *Windows should be installed in the openings of the Judges Booth.*

7.3.8 Pony Club area

7.3.7.1 *Maintain the character of the Pony Club area as an open grassed area adjacent to the show ring.*

7.3.7.2 *Continue use of the area by the Pony Club and the district horse carnivals and dog shows.*

7.3.7.3 *A low key power box, sympathetic to the setting and character of the pony club area (refer 7.3.7.1) and the showground as a whole, could be installed in the paddock.*

7.3.8 Kiosk

7.3.8.1 *The kiosk should be maintained.*

Discussion: The kiosk is a recent (1980s) addition to the showground and therefore of no heritage significance. However, it is a regularly used facility of the showground and adds to the amenity of the grounds for the various user groups.

7.3.9 A & H Office & Committee Room

7.3.9.1 *The A & H Office and Committee room should be maintained.*

Discussion: The A & H Office and Committee room are a recent (1980s) additions to the showground and therefore of no heritage significance. However they are regularly used by the A & H Society and add to the amenity of the grounds.

7.3.10 Bar & Covered area

7.3.10.1 *The bar and covered area should be conserved and maintained.*

Discussion: The weatherboard section of the bar and the covered area are significant, but the recent brick addition has no significance. However, they are regularly used by patrons to the site and add to the amenity of the grounds.

7.3.11 Caretaker's Cottage

7.3.11.1 *The caretaker's cottage should be maintained and conserved.*

7.3.11.2 *Use of the cottage by the caretaker of the showground is appropriate and should continue.*

Discussion: With the caretaker residing at the cottage, it provides added security for the showground.

- 7.3.11.3 *An internal fabric survey should be undertaken on the caretaker's cottage to determine any significant fabric.*

Discussion: The exterior of the Caretaker's Cottage only was inspected during the course of this project.

- 7.3.11.4 *The existing metal fence to the front boundary of the Caretaker's Cottage should be removed and replaced with a timber picket fence.*

Discussion: A timber picket fence is more in keeping with the character of the area and the showground. A timber picket fence was formerly in this location (refer Figure No.7).

### 7.3.12 Children's playground

- 7.3.12.1 *The children's playground should be maintained.*

- 7.3.12.2 *The location of the playground on the site is appropriate and should continue.*

Discussion: The children's playground is of no heritage significance. However, it is a regularly used facility of the showground and adds to the amenity of the grounds.

### 7.3.13 Swimming Pool

- 7.3.13.1 *The location of the Swimming Pool complex is intrusive to the Showground and steps should be taken to minimise its intrusion.*

Discussion: Although the recent (1976) swimming pool complex is intrusive to the showground, it is a popular community facility located within a larger community activity precinct. Its removal or relocation is not indicated.

Steps to minimise the intrusion of this facility on the Showground could include removal of the existing chain link and barbed wire fence enclosing the swimming pool complex and replacing it, for example, with a metal palisade fence. To improve the visual amenity of the pool from the showground, a hedge could be planted adjacent to the pool fence. Note: All fencing should comply with the relevant Australian Standards.

- 7.3.13.2 *The swimming pool complex should not expand further into the showground site.*

### 7.3.14 Toilets & Showers

- 7.3.14.1 *The toilets and showers/dressing shed should be maintained and conserved.*

Discussion: The toilets are in need of repair (refer Appendix C).

- 7.3.14.2 *Additional toilet facilities could be constructed on the site.*

Discussion: The requirement of additional facilities should be investigated. If toilet facilities are only inadequate during peak usage periods of the showground (e.g. during the annual A & H Show), a temporary solution may be to hire Port-a-loos for the site during these times. If the number of facilities is inadequate to cater for the number of users on a daily basis, it may be possible to construct additional facilities.



7.3.15 Showground Entrances

- 7.3.15.1 *The entrance gates and brick pillars to Osborne Park should be maintained and conserved.*

Discussion: This includes the brick pillars at the primary entrance immediately off Moss Vale Road, as well as the gates and pillars at the end of this carpark.

- 7.3.15.2 *Sympathetic ticket booths/shelters could be constructed at the entrance gates to Osborne Park, depending on demand for such structures.*

Discussion: These ticket booths/shelters could be similar to those at Berry Showground, for example small weatherboard structures with flat or skillion rooves.



Figure No.71:  
Ticket booth at Berry Showground.  
This type of booth could be constructed  
at the Kangaroo Valley Showground  
entrances.

#### **7.4 Subject landscape**

7.4.1 *A Landscape Master Plan should be prepared for the entire Kangaroo Valley Showground site.*

7.4.2 *A survey of the site should be undertaken to determine locations of plantings, as well as identifying the plantings and their condition and their significance.*

7.4.3 *The mature landscape of the site should be conserved and maintained.*

Discussion: This includes, but is not limited to, the configuration and the layout of the site, the significant stands of trees, and the tree canopy.

7.4.4 *Original and early significant fabric and features should be conserved.*

Discussion: This includes, but is not limited to, the following:

- Showground ring;
- Moss Vale Road entrances;
- Mature trees at the cattle and horse yards and elsewhere on the site;
- Remnant native landscape.

7.4.5 *Regular maintenance of the plantings on the site should be undertaken as required.*

Discussion: This should take the form of a regular inspection by an arborist and pruning where necessary.

7.4.6 *Any significant trees which appear to be declining should have a replacement planted before they are removed.*

Discussion: This replacement should ideally be from the original stock (a plant propagated from the original tree).

## **8.0 IMPLEMENTATION STRATEGY**

This implementation strategy is not prescriptive, rather it is intended as a set of recommendations for the implementation of the conservation policy. Any other proposals for the site should comply with the conservation policies contained in Section 7.0 of this report.

### **8.1 Immediate Works**

8.1.1 *General conservation works should be undertaken immediately by Council to prevent further deterioration of the significant fabric of the subject buildings.*

8.1.2 *The works should follow the recommendations of the Schedule of Maintenance Works contained in Appendix C of this report. All works should be done in accordance with the conservation policies contained in Section 7.0 of this report.*

8.1.3 *General maintenance should be undertaken on a regular basis, beginning immediately, including regular inspection and repair of buildings and structures and pruning of trees when necessary.*

8.1.4 *Check over all buildings and repair where necessary.*

8.1.5 *Check over horse and cattle pens/tie ups and repair where necessary.*

### **8.2 Future Works**

8.2.1 *Adopt the proposed colour scheme for the site which is contained in Appendix D of this report.*

8.2.2 *Construct ticket booth shelters to the two entrances off Moss Vale Road.*

### **8.3 Landscaping**

8.3.1 *Landscaping of the site should be undertaken in accordance with the conservation policies contained in Section 7.0 of this report, as follows:*

- Prepare a Landscape Master Plan for the entire Kangaroo Valley Showground site (7.4.1);
- Conduct a survey of the site to determine locations of plantings, as well as identifying the plantings and their condition (7.4.2);
- Conserve and maintain the mature landscape of the site (7.4.3);
- Conserve and maintain early significant fabric and features (7.4.4);
- Undertake regular maintenance of plantings on the site (7.4.5);
- Replace any declining trees before they are removed and ideally from original stock (7.4.6).

### **8.4 Options for future use**

8.4.1 *The feasibility of the options listed in Section 6.7 of this report should be investigated with close reference to the constraints and requirements of this Conservation Management Plan and the conservation policies contained in Section 7.0 of this report.*

8.4.2 *The future use of the subject site and buildings should continue to be community based. This includes use of the site as a showground and a recreational and sporting facility.*

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## **9.0 ASSET MANAGEMENT GUIDELINES**

### **9.1 Management**

- 9.1.1 *Treat the site as being of high cultural significance, and consequently guide any activities at the site by the provisions of the Australia ICOMOS Burra Charter.*
- 9.1.2 *Manage the subject site in a way that allows the maximum amount of this Conservation Management Policy to be implemented.*
- 9.1.3 *A clear structure setting out the responsibility for the day-to-day maintenance and care of the fabric of the site should be developed and made available to all persons involved in the care of the site. This should include the interior, exterior and landscape of the site.*
- 9.1.4 *Personnel skilled in disciplines of conservation practice shall be engaged as appropriate to advise on both minor and major works and implement conservation aspects at the site.*
- 9.1.5 *In the event that any disturbances have to take place within the site a suitable qualified conservator shall be engaged to supervise, monitor and record the material being removed.*
- 9.1.6 *Carry out, catalogue and archive systematic photographic surveys of the site, before, during and after any major works in accordance with NSW Heritage Office and NSW Department of Infrastructure, Planning and Natural Resources (DIPNR) Guidelines.*
- 9.1.7 *This Conservation Management Plan shall be consulted and specific proposals for the site assessed in the light of what is recommended in previous sections of these policies.*
- 9.1.8 *Future day-to-day management of the site should be undertaken in close consultation with the local community. This will empower the community and enable Shoalhaven City Council to determine the best use of the subject site.*

### **9.2 Statutory approvals**

- 9.2.1 *The relevant consent authorities (i.e. Shoalhaven City Council and/or the NSW Heritage Office) should be contacted and approval obtained prior to any works.*
- 9.2.2 *To carry out works to an item listed on the State Heritage Register, a Section 60 application will need to be prepared and submitted to the NSW Heritage Office for approval. A Heritage Impact Statement and Conservation Management Plan will generally need to be prepared to accompany the application.*
- 9.2.3 *Should any disturbance to an archaeological site be required during any development works, an excavation permit (Section 140 application) will be required from the NSW Heritage Office.*

### **9.3 Maintenance**

- 9.3.1 *The Schedule of Conservation Works contained in Appendix C of this report should be instigated as soon as possible so that conservation works may begin to prevent further deterioration to the subject buildings and significant fabric.*
- 9.3.2 *The Schedule of Conservation Works should be checked over and updated as required.*
- 9.3.3 *Items should be checked over regularly, say every six months, by a person experienced in heritage conservation. Any repairs required should be undertaken immediately to prevent deterioration to significant fabric.*
- 9.3.4 *Maintenance should be the responsibility of the owner.*

#### **9.4 Exemptions**

- 9.4.1 *If works to be undertaken at the site are minor (such as maintenance and repair) they can be carried out in accordance with section 57(2) of the Heritage Act without requiring the approval of the Heritage Council. Refer to the NSW Heritage Office for standard exemptions information series.*

## **10.0 MONITORING AND REVIEW**

### **10.1 General – Monitoring and Review of Documentation**

10.1.1 *Review and revise this Conservation Management Plan at regular intervals (i.e. 5-7 years), firstly say, five years from its adoption.*

10.1.2 *This Conservation Management Plan should be endorsed by the NSW Heritage Office.*

10.1.3 *Copies of this Conservation Management Plan should be held at the archive for the site, placed in a public archive such as a library and should be made publicly available.*

10.1.4 *Monitor and review the Schedule of Conservation Works at regular intervals, say annually, to ensure its effectiveness and adapt where necessary.*

### **10.2 Monitoring and Review of Subject Site**

10.2.1 *The subject site should be checked over on a regular basis for repair and maintenance (refer section 8.0, 9.0 and Appendix C).*

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**Appendix A**  
Historical Figures and Documentation

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Figure No.A1: Kangaroo Valley Show, 1907.  
Figure No.A2: Kangaroo Valley Show, 1953.  
Figure No.A3: Agricultural Pavilion, 1956.



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Figure No.A4: The first Kangaroo Valley Show at Osborne Park, 1956.  
Figure No.A5: The Pony Club, undated.  
Figure No.A6: Aerial of the showground, undated.



Figure No.A7: The caretaker's cottage, 1972.  
Figure No.A8: The caretaker's cottage, 2000.

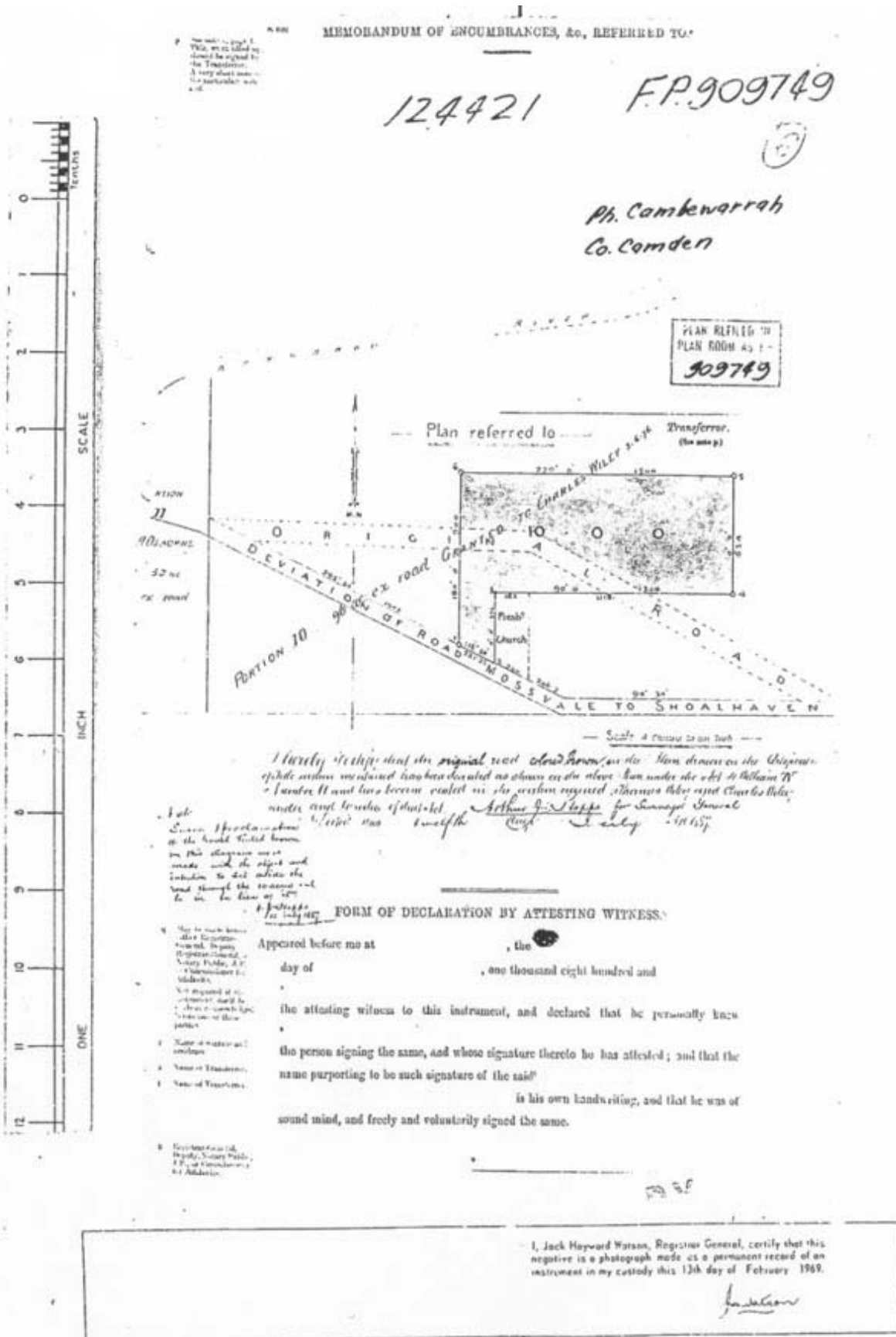


Figure No.A9: C1887 survey of Osborne Park.



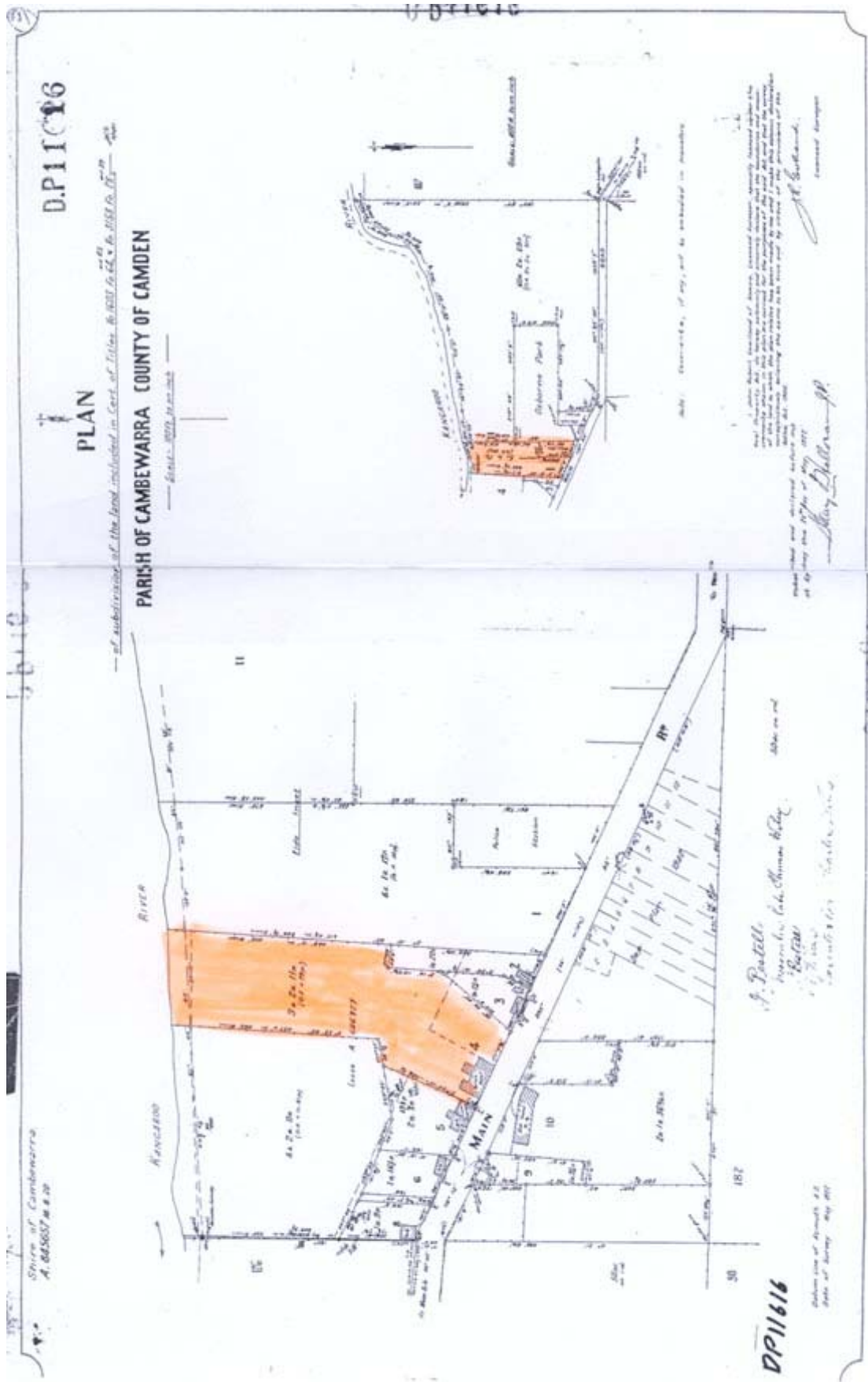
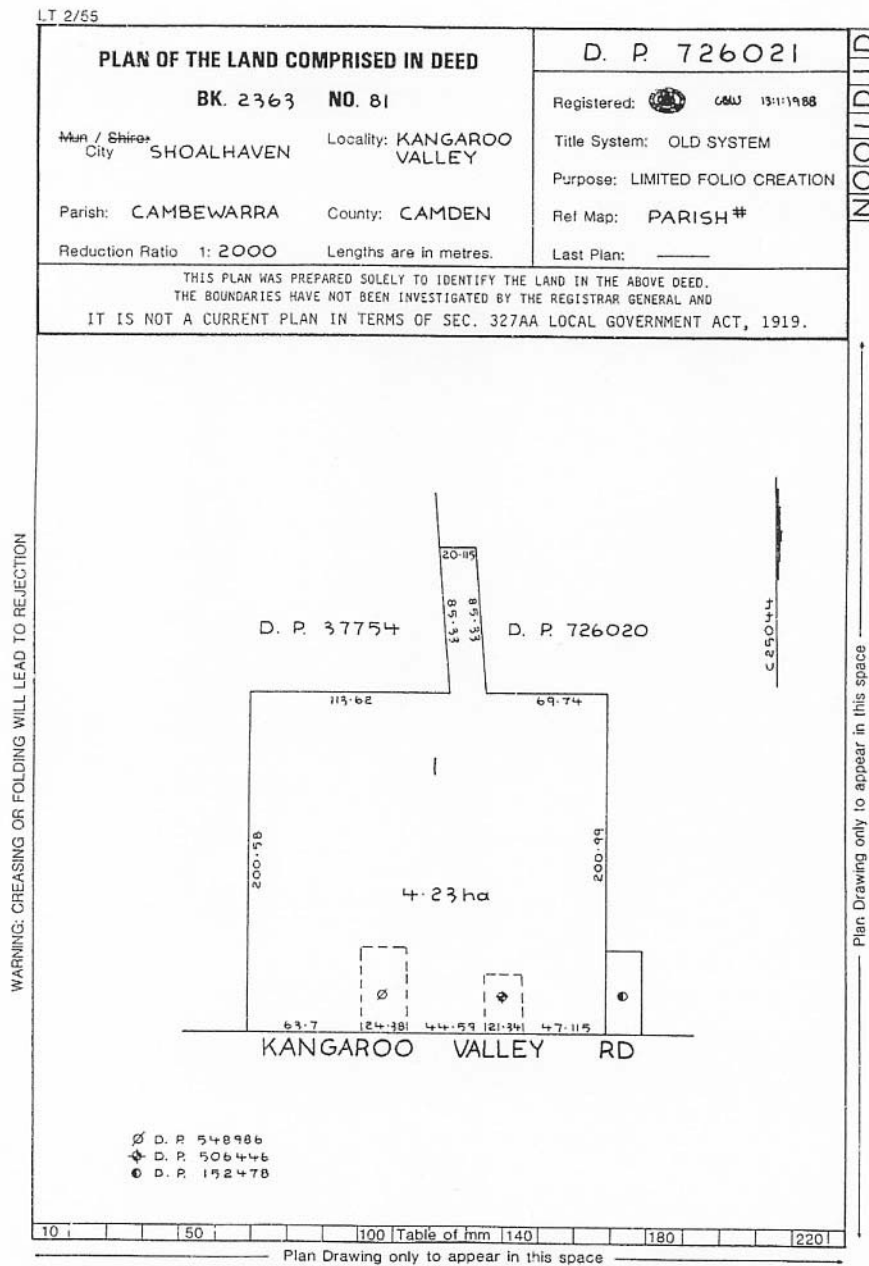


Figure No.A11: The first showground site behind the inn, indicated on 1922 survey.

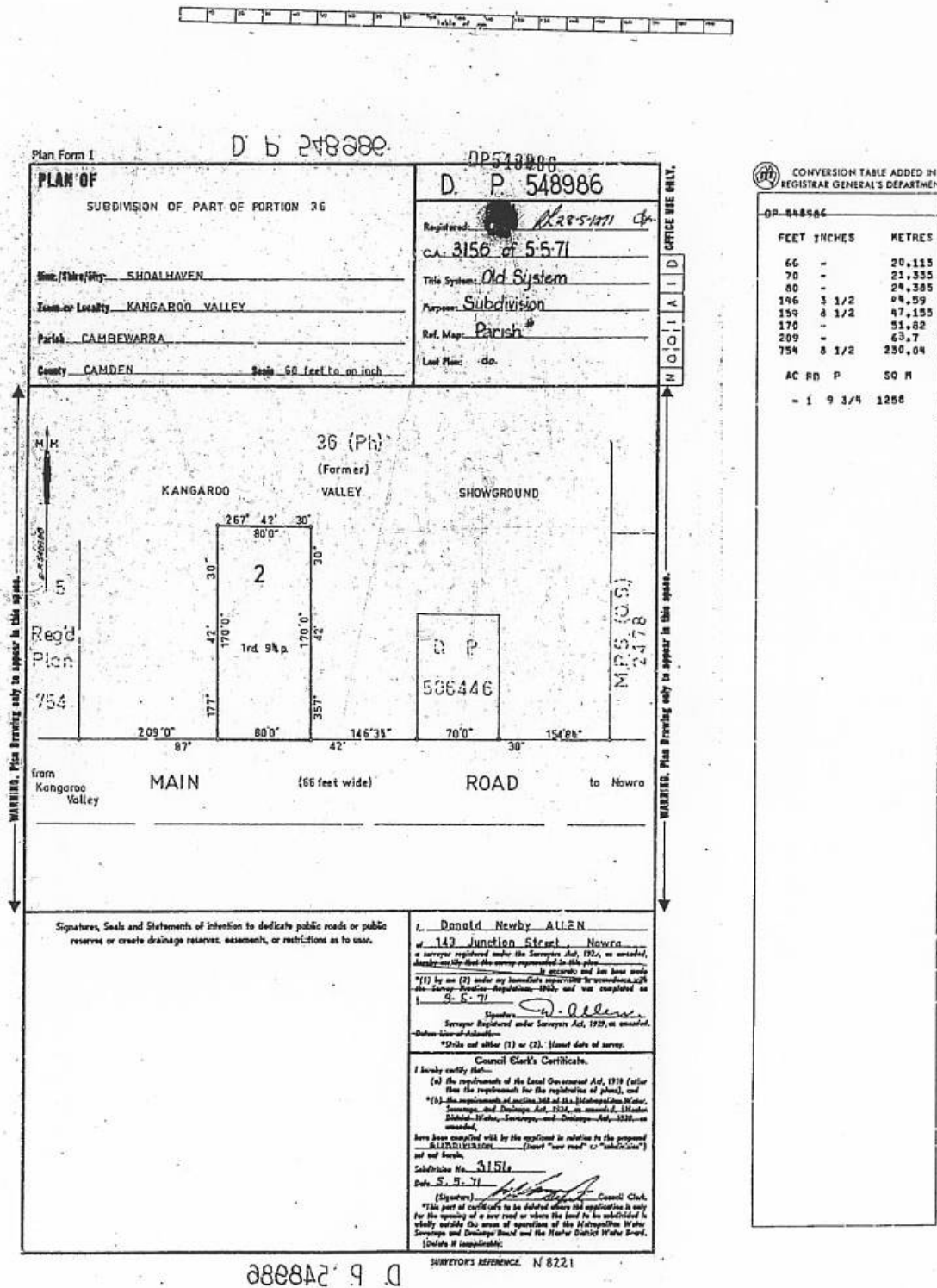




	This negative is a photograph made as a permanent record of a document in the custody of the Registrar General this day.
	13th January, 1988

10	20	30	40	50	60	70	Table of mm	110	120	130	140
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Figure No.A12: The second showground site located opposite the cemetery.



I, Jack Hayward Watson, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 10th day of August, 1976.

*[Signature]*

Figure No.A13: Subdivision plan of part of the second showground site.

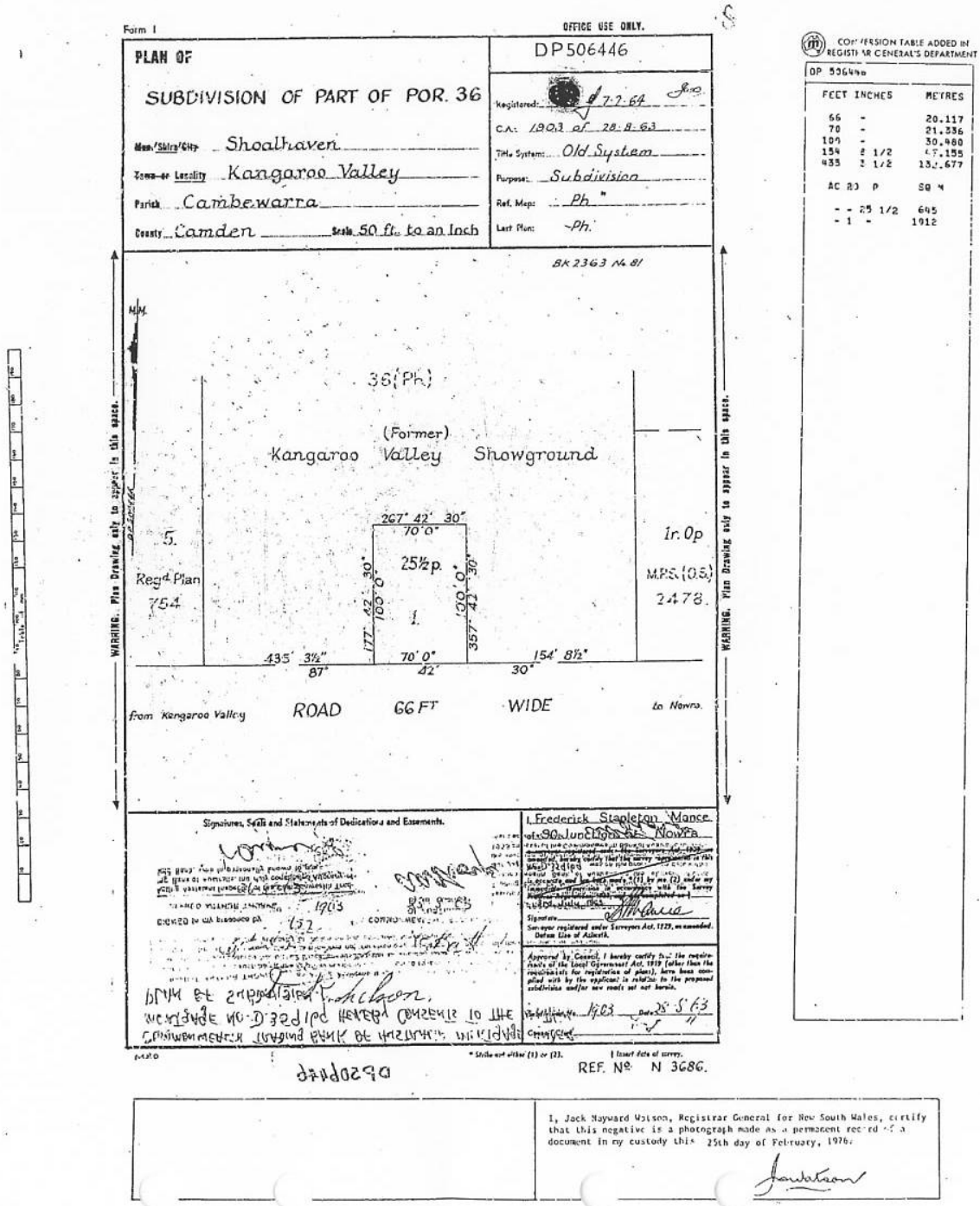


Figure No.A14: Subdivision plan of part of the second showground site.

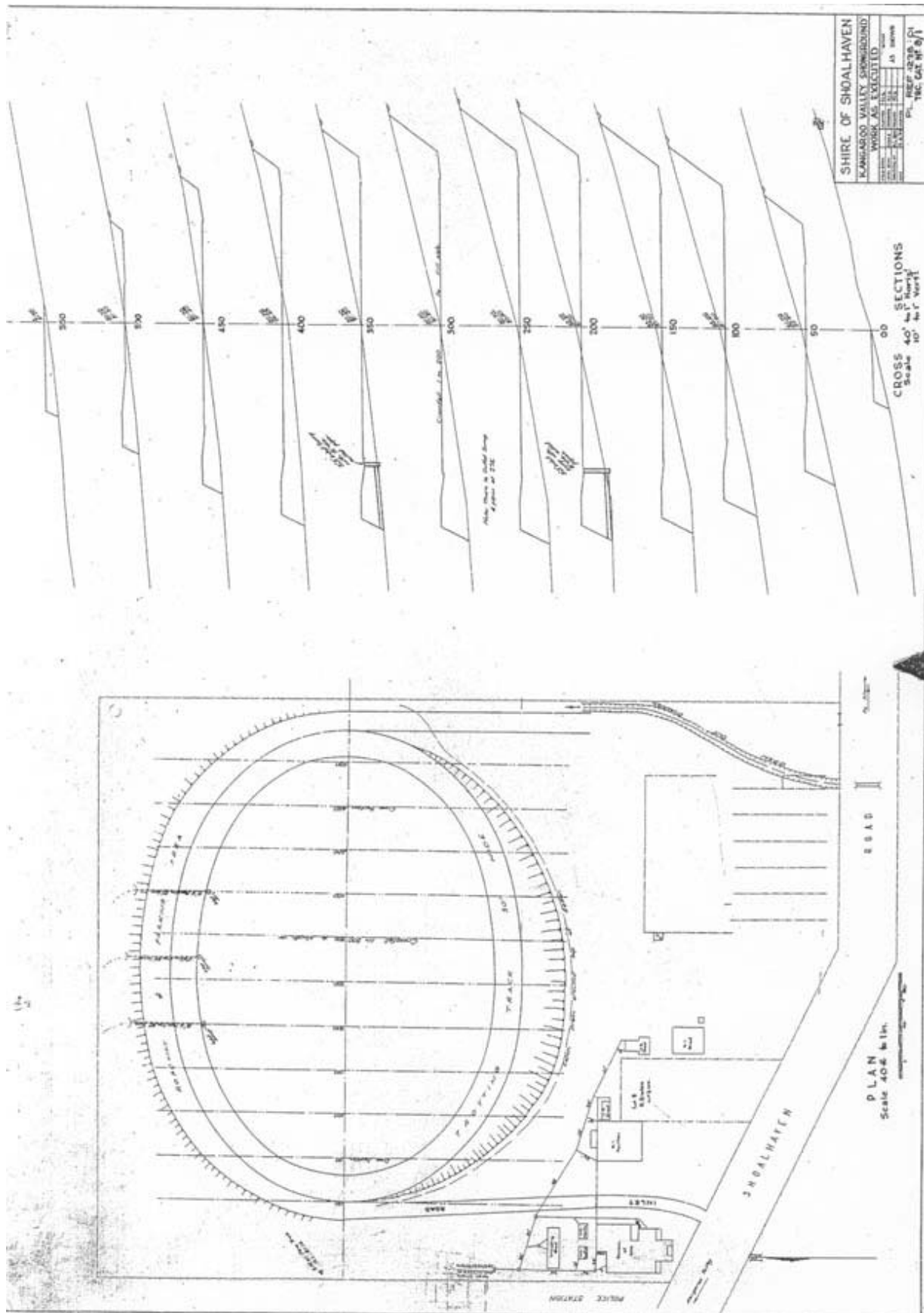


Figure No.A15: 1956 survey.

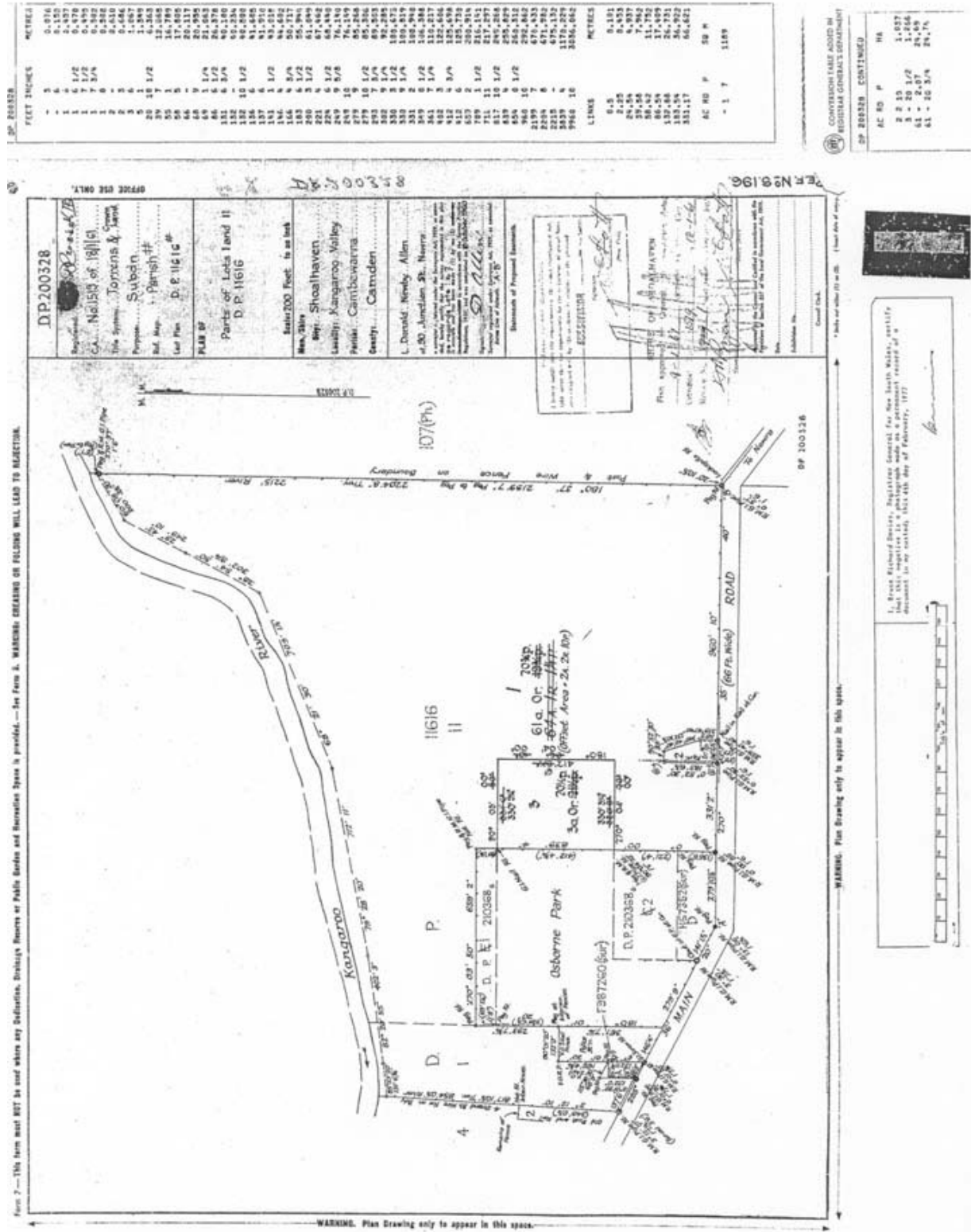


Figure No. A16: 1961 survey.

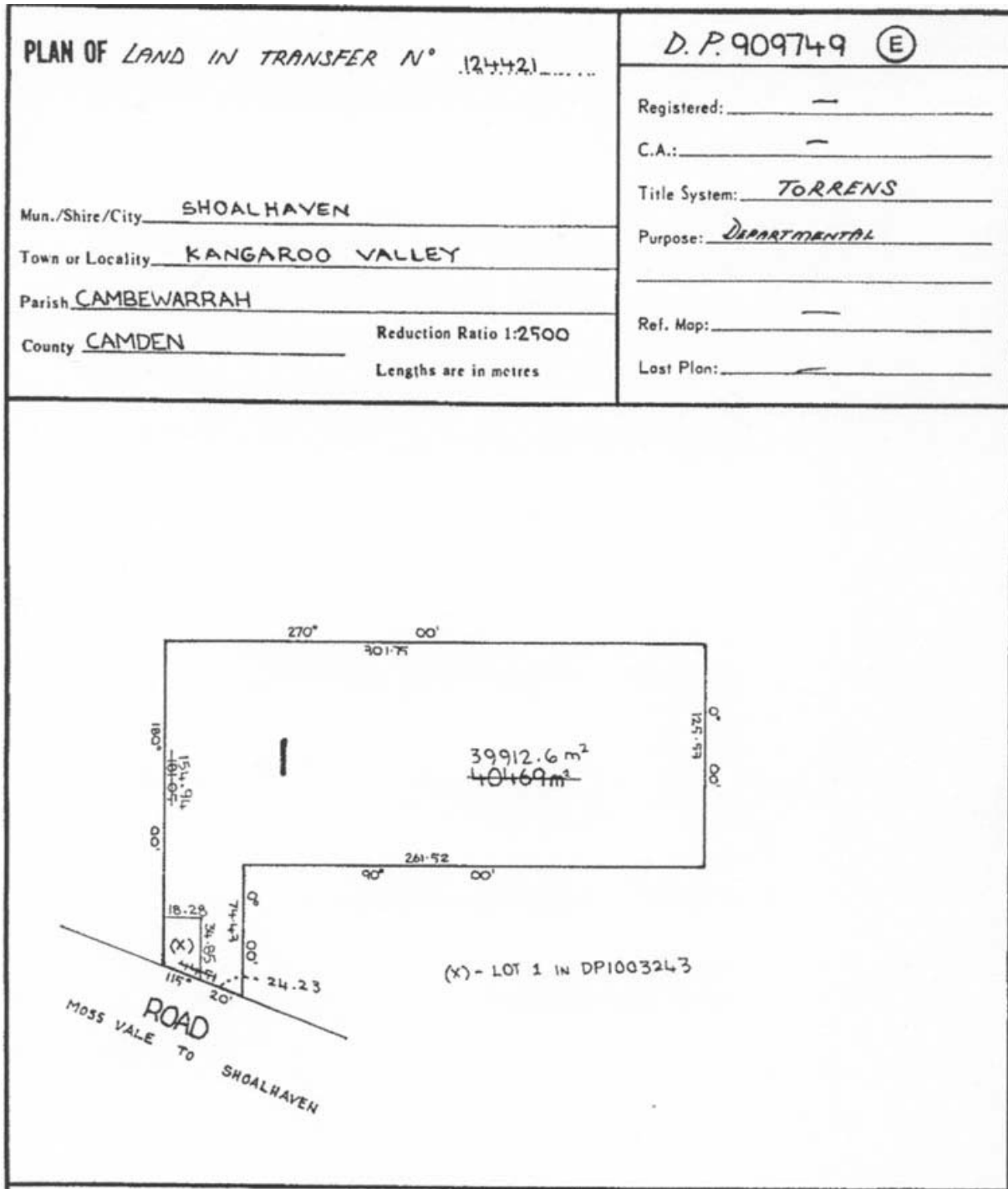


Figure No.A17: 1987 survey.

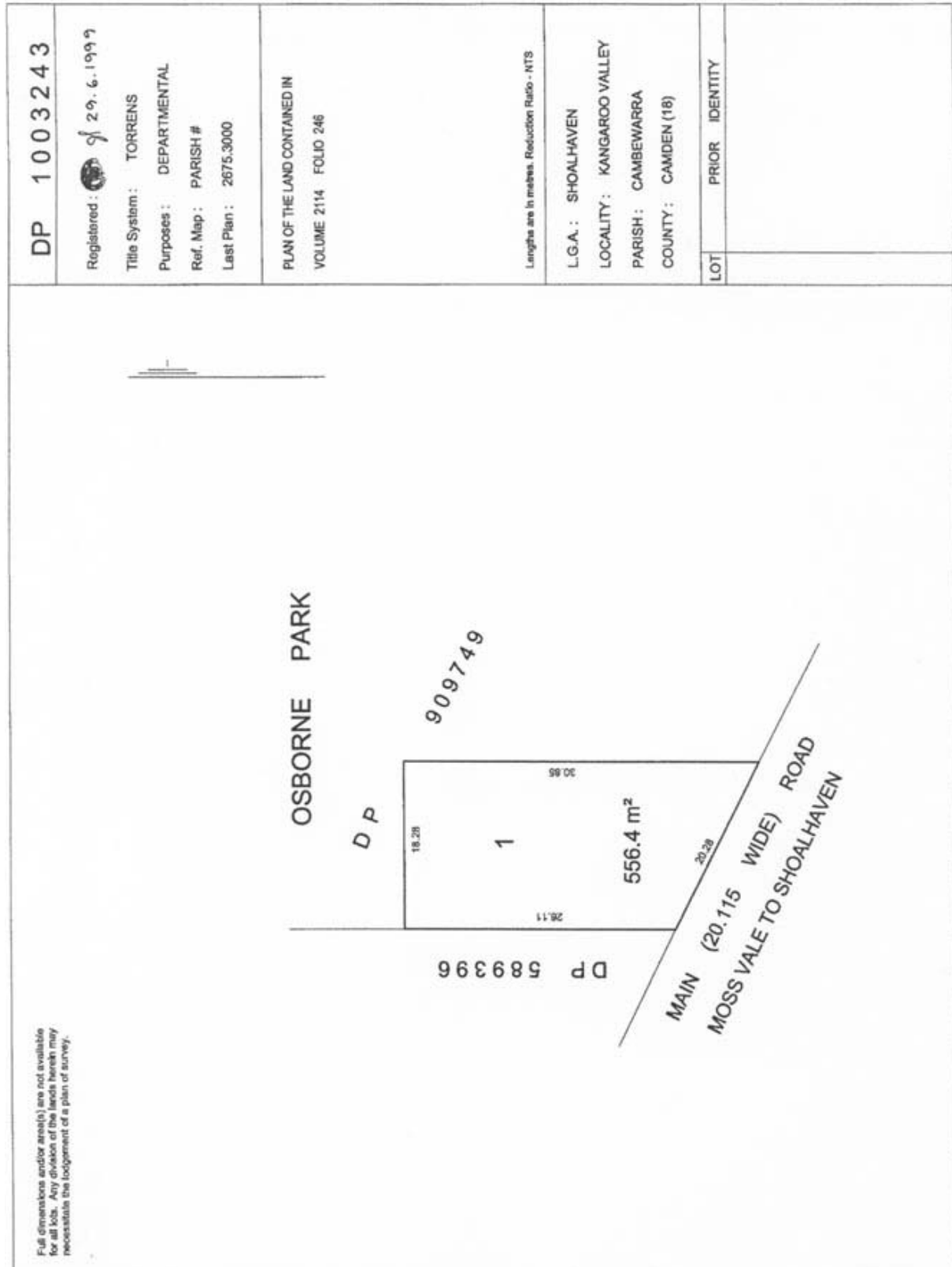


Figure No.A18: 1999 survey.

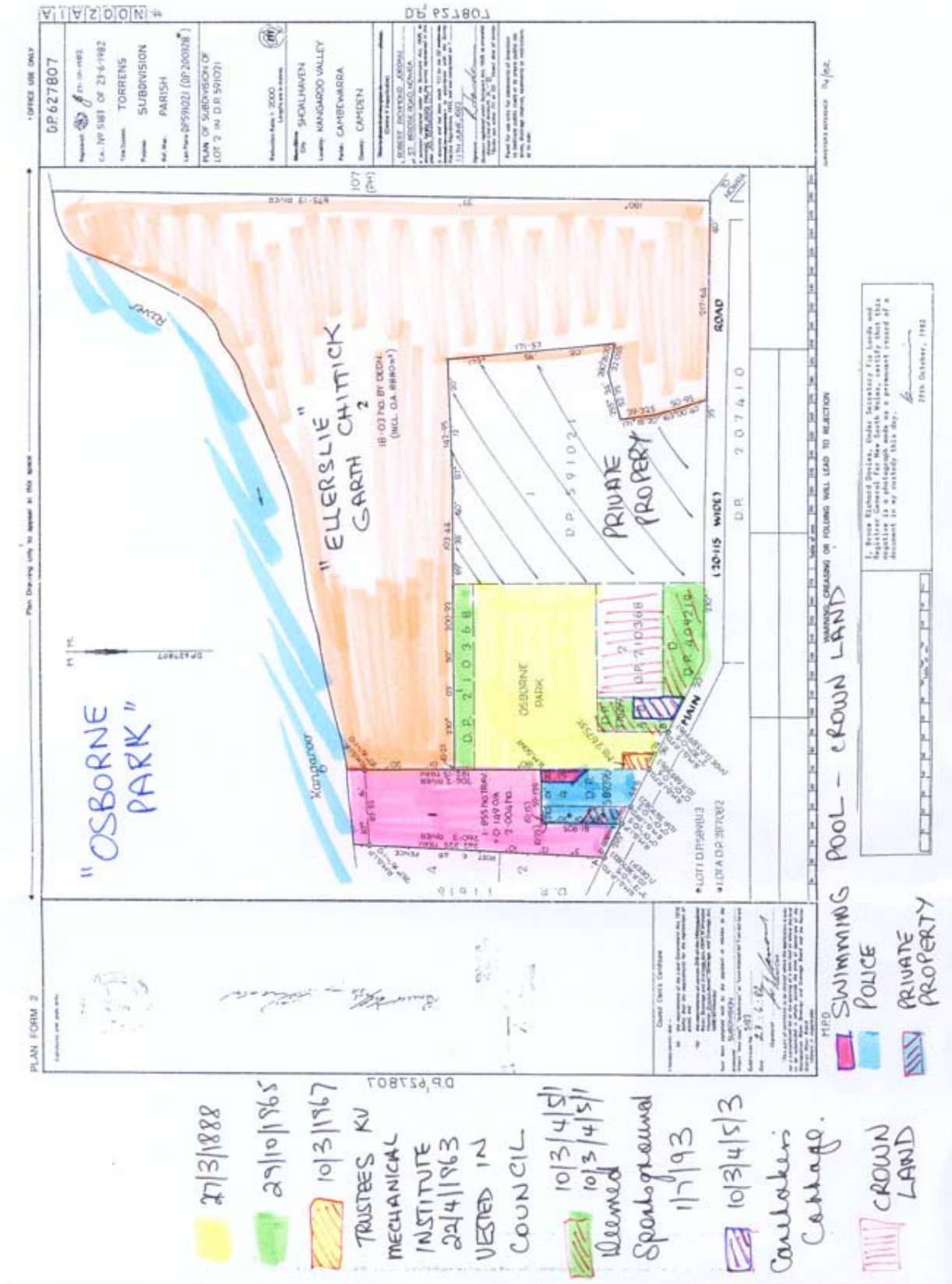


Figure No.A19: Growth of the site.





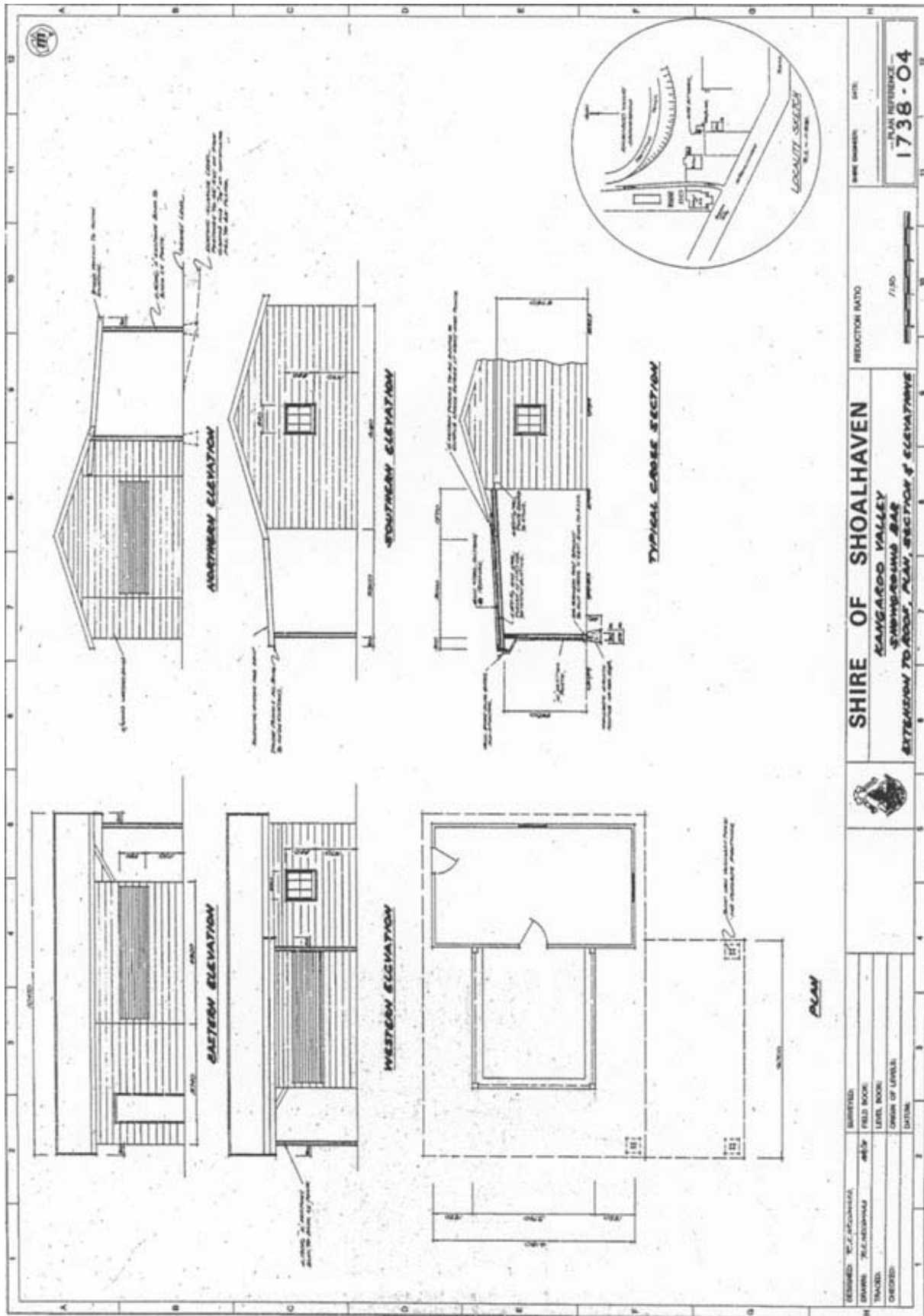


Figure No.A21: 1978 plan of extensions to the bar.

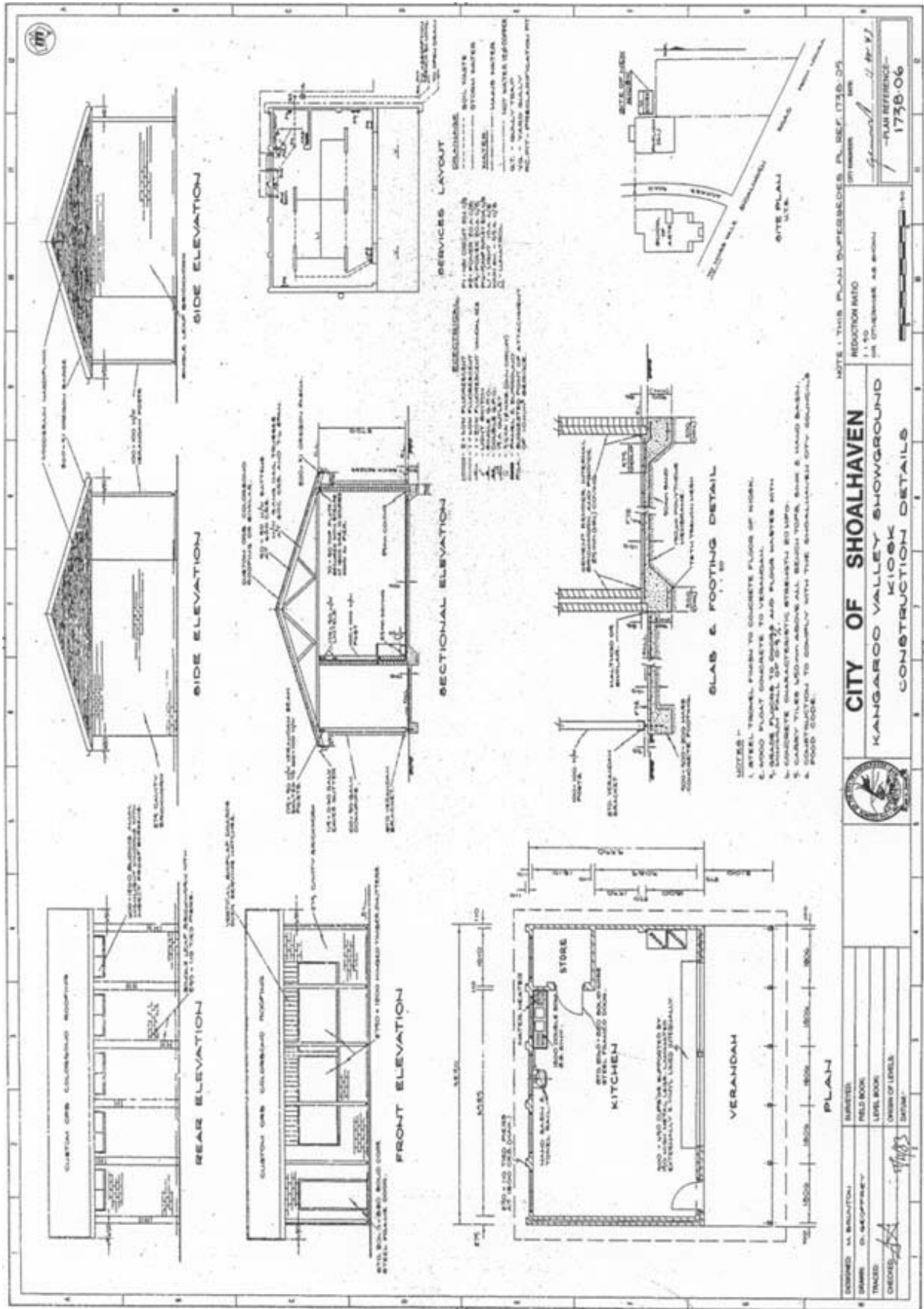


Figure No.A22: 1983 plan of the kiosk.

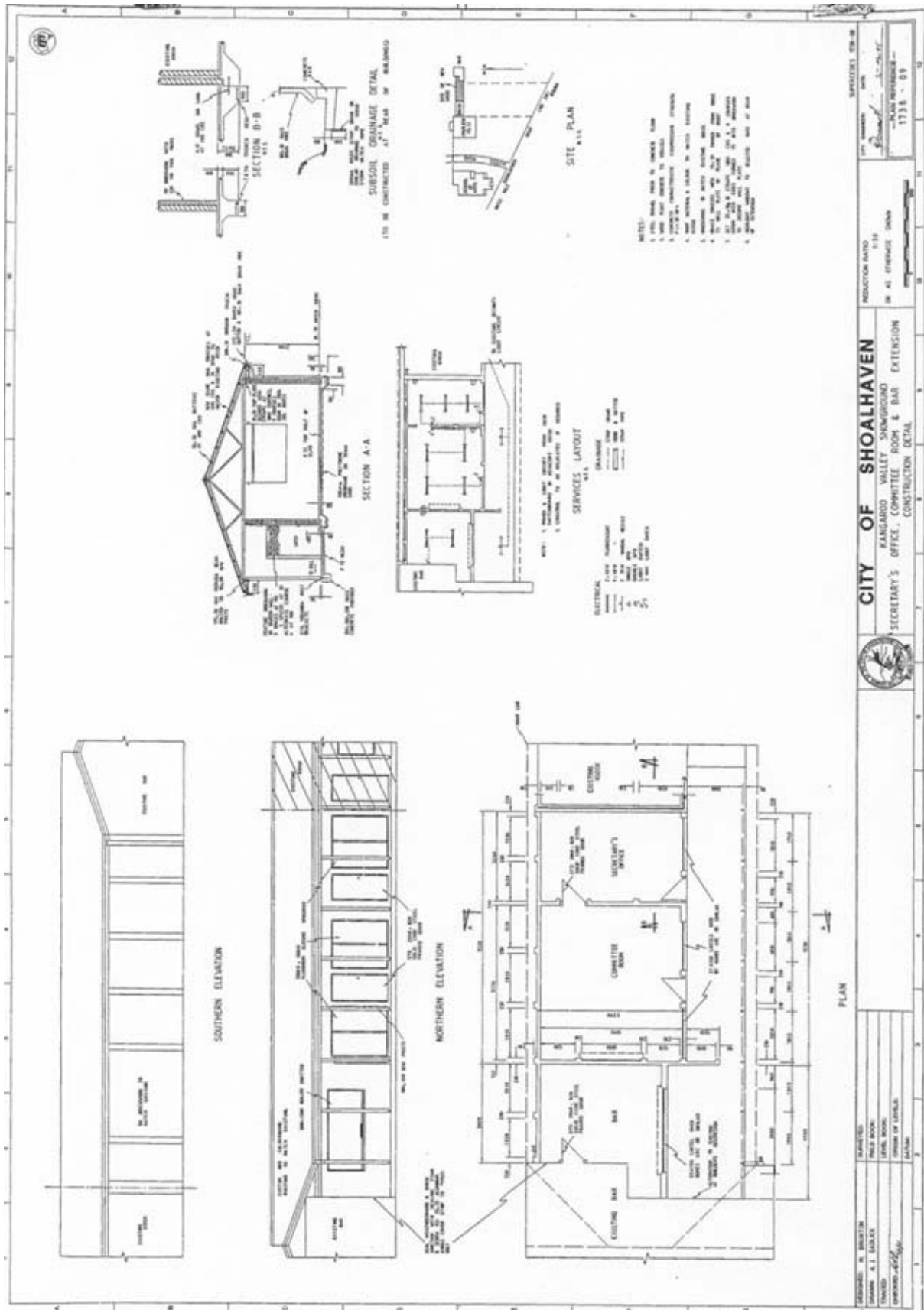


Figure No.A23: 1986 A & H Rooms and bar extension.

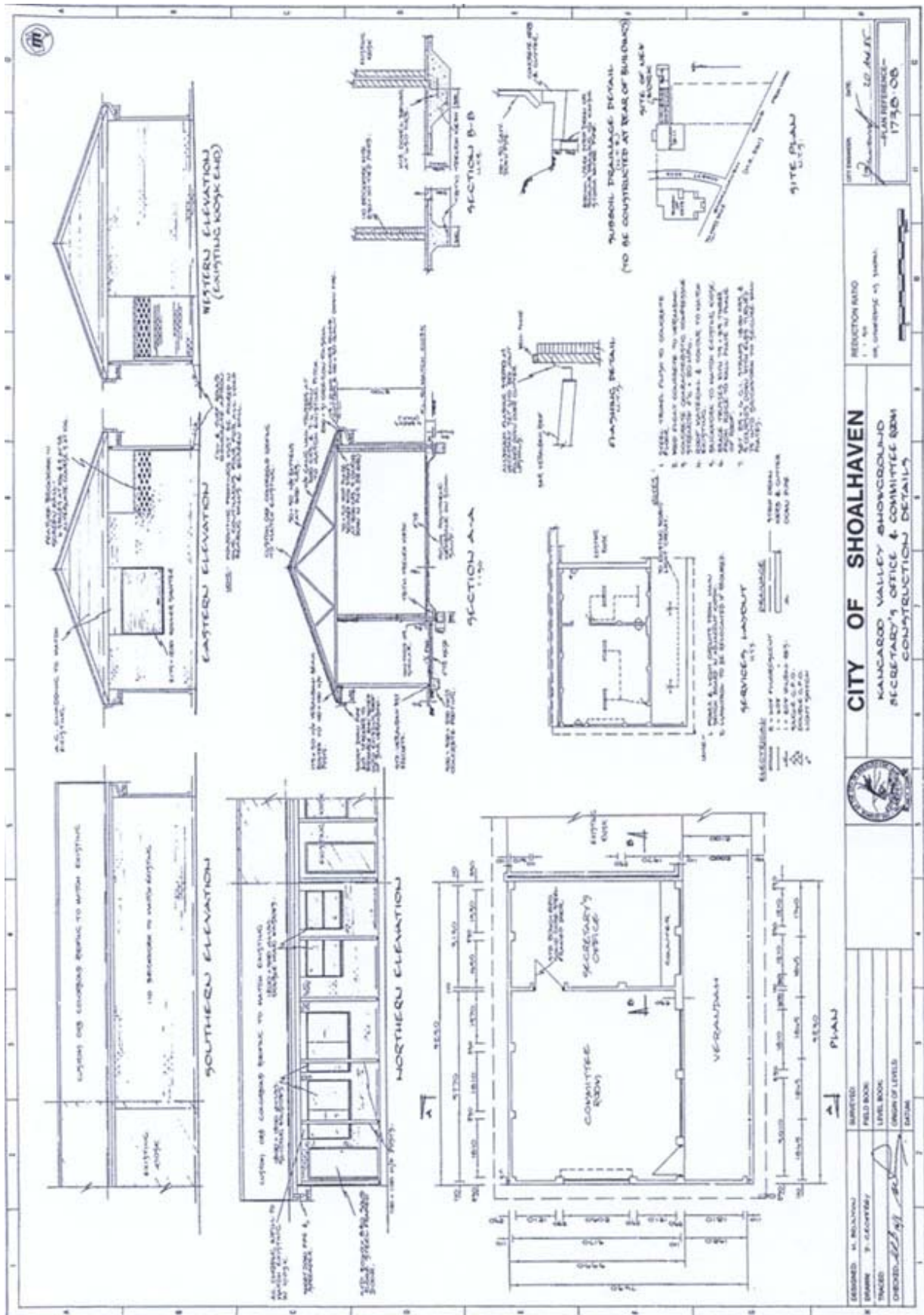


Figure No.A24: 1986 A & H Rooms.

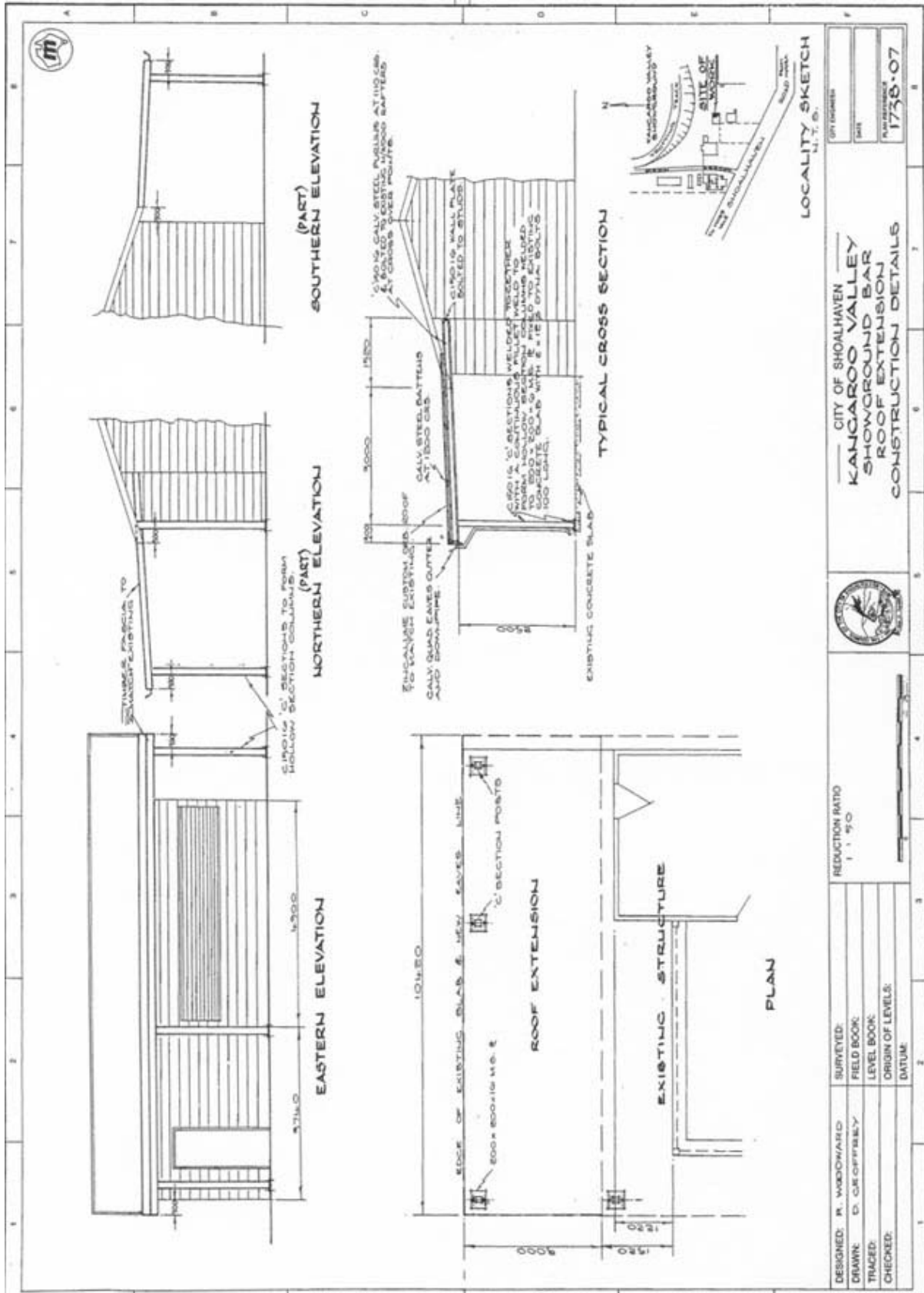


Figure No.A25: Bar extensions 1980s.



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**Appendix B**  
Photographic Survey

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Figure No.B1: Moss Vale Road looking west towards the School of Arts building and the Police Station (former Court House).

Figure No.B2: Detail of School of Arts and Police Station buildings.



Figure No.B3: East elevation of the School of Arts building, as viewed from the carpark of Osborne Park.

Figure No.B4: Church opposite Osborne Park.



Figure No.B5: Caravan Park adjacent the east boundary of Osborne Park.

Figure No.B6: Fence to the caravan park along Moss Vale Road. The existing fence to Osborne Park could possibly be replaced with a fence similar to this.



Figure No.B7: View of the Caretaker's Cottage and the Cattle Yard from Moss Vale Road.  
Figure No.B8: View of the playground from Moss Vale Road.



Figure No.B9: Front (south) elevation of the Caretaker's Cottage.  
Figure No.B10: Rear (north) elevation of the Caretaker's Cottage.



Figure No.B11: Garage and sheds to the rear of the Caretaker's Cottage.  
Figure No.B12: East elevation of the Caretaker's Cottage.





Figure No.B13: Main entrance (west) gates to Osborne Park.  
Figure No.B14: Osborne Park brick pillar detail.

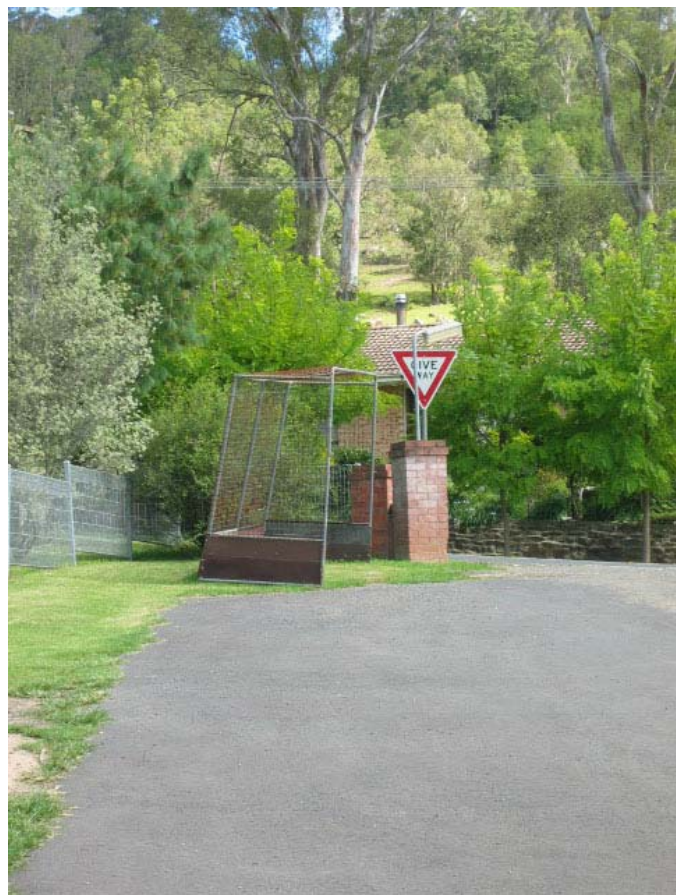


Figure No.B15: Osborne Park brick pillar detail.

Figure No.B16: Osborne Park entrance gates. The hockey goals are placed at the two entrances off Moss Vale Road to be used as ticket booths during the Kangaroo Valley Show.



Figure No.B17: Secondary gates to the main (west) entrance to Osborne Park (these gates are located at the end of the carpark).

Figure No.B18: Detail of gates to secondary entrance.



Figure No.B19: View from main entrance off Moss Vale Road.



Figure No.B20: Second (east) entrance to Osborne Park and Moss Vale Road looking west.  
Figure No.B21: View from second (east) entrance to Osborne Park.



Figure No.B22: Playground area at west entrance to Osborne Park.  
Figure No.B23: Playground area at west entrance to Osborne Park.



Figure No.B24: Osborne Park Agricultural Pavilion with the School of Arts in the background.  
Figure No.B25: Agricultural Pavilion.



Figure No.B26: Sign above the no longer used northern entrance door to the Agricultural Pavilion.

Figure No.B27: General view of the interior of the Agricultural Pavilion looking north showing permanent display shelves.





Figure No.B28: General view of the interior of the Agricultural Pavilion looking north.  
Figure No.B29: General view of the interior of the Agricultural Pavilion looking north.



Figure No.B30: General view of interior of Agricultural Pavilion.  
Figure No.B31: Detail of post.



Figure No.B32: Agricultural Pavilion interior showing trusses and roof.

Figure No.B33: Agricultural Pavilion interior showing trusses and roof and ceiling windows.



Figure No.B34: Agricultural Pavilion ceiling.  
Figure No.B35: Agricultural Pavilion ceiling.



Figure No.B36: View of the main showground buildings from the north side of the showground ring.

Figure No.B37: Recent buildings, including the bar, A & H rooms, the kiosk and the Agricultural Pavilion.



Figure No.B38: Recent buildings, including the bar, A & H rooms, the kiosk.  
Figure No.B39: Exterior of the kiosk.



Figure No.B40: Kiosk interior.  
Figure No.B41: Kiosk interior.



Figure No.B42: Kiosk interior.  
Figure No.B43: Interior of the A & H Office.





Figure No.B44: Interior of A & H Office.  
Figure No.B45: Interior of A & H Committee Room.



Figure No.B46: Bar exterior.

Figure No.B47: Rear (south) elevation of the bar.



Figure No.B48: Interior view of serving area of the bar.  
Figure No.B49: General view of bar interior.



Figure No.B50: General view of bar interior.  
Figure No.B51: General view of bar interior.



Figure No.B52: General view of bar interior.  
Figure No.B53: General view of bar interior.



Figure No.B54: Poultry Pavilion.  
Figure No.B55: Poultry Pavilion.



Figure No.B56: Poultry Pavilion, north elevation.

Figure No.B57: Poultry Pavilion, north elevation, cages detail.



Figure No.B58: Poultry Pavilion, south elevation.  
Figure No.B59: Poultry Pavilion interior.





Figure No.B60: Poultry Pavilion, interior.  
Figure No.B61: Damage to roof of Poultry Pavilion.



Figure No.B62: Poultry Pavilion interior.



Figure No.B63: General view of the showground ring from the Agricultural Pavilion.



Figure No.B64: Showground ring and seating.  
Figure No.B65: Showground ring looking west.



Figure No.B66: Views across the showground ring looking north.  
Figure No.B67: Views across the showground ring looking north.



Figure No.B68: Cattle yard and judges booth looking south.  
Figure No.B69: Cattle yard and judges booth looking east.



Figure No.B70: Trees in cattle yard.  
Figure No.B71: Trees in cattle yard.



Figure No.B72: Trees in cattle yard.

Figure No.B73: Detail of weeping Cyprus in the cattle yard.



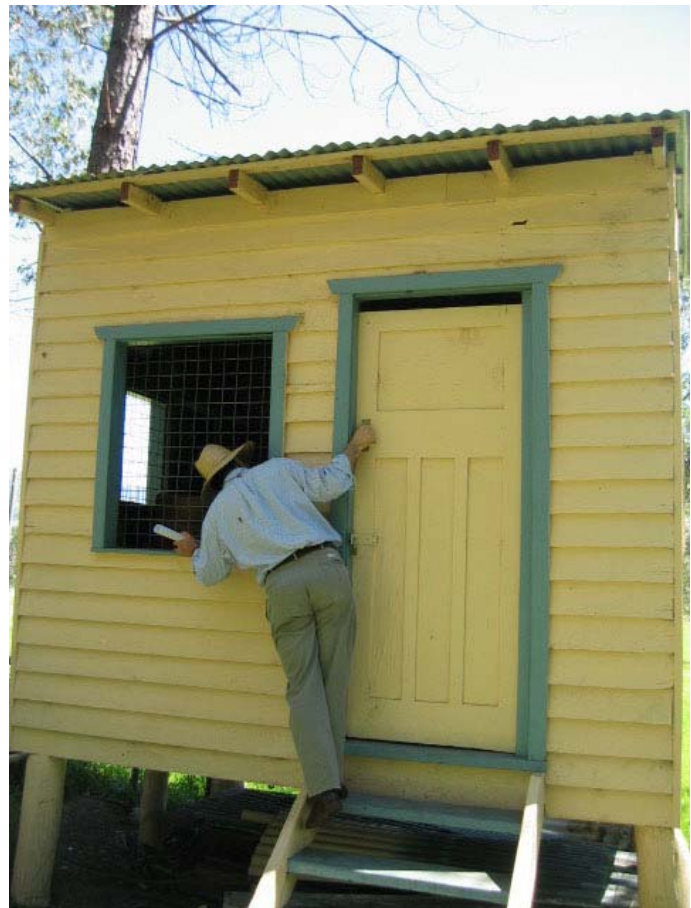


Figure No.B74: Judges Booth, northern and western elevations.  
Figure No.B75: Judges Booth, rear (south) elevation.



Figure No.B76: Detail of rings used to tie cattle in the cattle yards.

Figure No.B77: Cattle loading ramp adjacent the cattle yard and the east entrance off Moss Vale Road.



Figure No.B78: View to Woodchop area in front of the cattle yard.  
Figure No.B79: Detail of woodchop area.



Figure No.B80: Animal wash down area at the east entrance to Osborne Park.  
Figure No.B81: Horse stalls along the eastern boundary of the site.



Figure No.B82: Horse trough along east boundary.  
Figure No.B83: Detail of sign on horse trough.



Figure No.B84: Horse stalls along the north elevation.

Figure No.B85: Rodeo stalls on the north-east side of the showground ring.



Figure No.B86: New building behind the rodeo stalls, adjacent the pony club area.  
Figure No.B87: New building behind the rodeo stalls, adjacent the pony club area.



Figure No.B88: Rear section of pony club area looking towards the river.  
Figure No.B89: Dam in pony club area.





Figure No.B90: View over the pony club area towards the showground buildings.  
Figure No.B91: Remnant native tree in the pony club area.



Figure No.B92: General view of the swimming pool area.  
Figure No.B93: Shade structures over the swimming pools.



Figure No.B94: General view of swimming pool.  
Figure No.B95: Pool administration building.

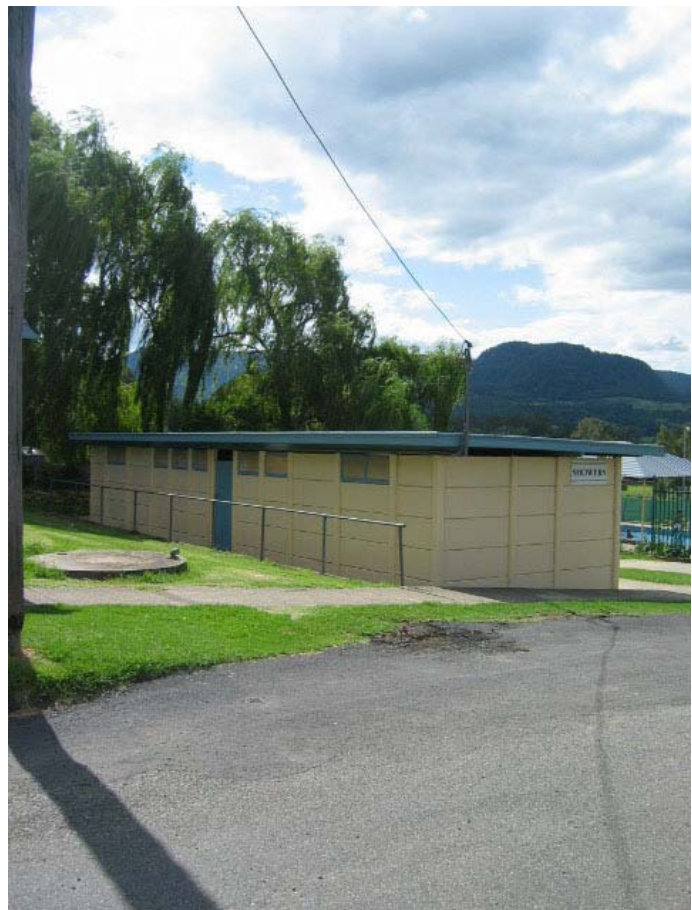


Figure No.B96: Toilets to the site.  
Figure No.B97: Showers to the site.



Figure No.B98: Picnic area adjacent the pools.  
Figure No.B99: View to Police Station and former stables.



Figure No.B100: Former stables to the Police Station.

**Appendix C**  
Schedule of Conservation Maintenance Works

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## **Schedule of Conservation Maintenance Works**

### **Preamble**

The following schedule of essential maintenance works is proposed for Osborne Park, Kangaroo Valley and site.

The specific requirement of the brief was to document the external and internal conservation maintenance works to maintain the existing uses.

The works have been categorised by the main elements of the site and building with preliminary budget cost estimates provided.

NB: These costings exclude GST.

### **Methodology**

Since the site is of heritage significance, any works at the site should be carried out in accordance with the principles of the Australia ICOMOS Burra Charter and the recommendations of the Conservation Management Plan, 2004 prepared by Tropman & Tropman Architects.

Generally, any works are to be carried out to the satisfaction and with approval and/or as instructed by a Heritage Conservation Architect approved by Shoalhaven City Council

Generally, take care not to damage any early fabric or associated items.

### **Terminology**

The following terms are used in this document.

TME ~	to match existing
SCS ~	Selected colour scheme
HCA ~	Heritage Conservation Architect
SCC ~	Shoalhaven City Council
BCA ~	Building Code of Australia
AC ~	Asbestos Cement
CONSERVATION ~	Means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may according to circumstance include <i>preservation</i> , <i>restoration</i> , <i>reconstruction</i> and <i>adaptation</i> and will commonly be a combination of more than one of these.

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## **1.0 ALL WORKS**

<b>NO.</b>	<b>ITEM</b>
<b>1.1</b>	<b>GENERALLY</b>
1.1.1	Ensure all work is carried out with the consideration of users safety at all times
1.1.2	Ensure all work is carried out by experienced tradespeople
1.1.3	Ensure samples are provided as requested by HCA at no extra cost
1.1.4	Ensure all asbestos associated items are handled carefully by experienced professionals in accordance with safety procedures of the relevant authorities.

## 2.0 SITE WORKS

NO.	ITEM	COST \$
<b>2.1</b>	<b>SITE</b>	
2.1.1	Maintain concrete walkways around the buildings and repair where necessary TME	
2.1.2	Check over all fencing (including showground ring) and repair and replace where necessary.	
2.1.3	Check over and repair entrance fence and gates where necessary	
2.1.4	Check over and repair and upgrade lighting, including security lighting, to the site where necessary	
2.1.5	Check over and maintain all roadways and car parks within the site	
2.1.6	Check over all stockyards, horse stalls and cattle yard railings and repair and replace as necessary TME.	
2.1.7	Maintain existing plantings. Ensure that plantings are pruned and not in contact with the buildings and allow for ventilation of the buildings (including light).	
2.1.8	Maintain all grassed areas on the site	
2.1.9	Maintain grassed area of the showground ring, including top dressing, aeration, etc as necessary	
2.1.10	Maintain all playing fields on the showground ring including line markings	
2.1.11	Maintain and repair drains to site where necessary	
2.1.12	Trees should be inspected by arborists and an arborists report prepared. Trees should be maintained and/or replaced where necessary and as indicated by the arborist report.	
2.1.13	<b>SUBTOTAL SITE MAINTENANCE</b>	<b>50,000</b>
2.1.14	Replace boundary fence, including east gate, to the site with post and rail fence or picket fence.	10,000
2.1.15	Replace front boundary fence to Caretaker's Cottage with picket fence.	5,000
2.1.16	Remove existing chainlink fence from perimeter of swimming pool area and replace with metal palisade fence.	15,000
2.1.17	Grass over trotting ring around internal perimeter of the showground ring	7,500
2.1.18	Upgrade landscaping to the site (subject to Landscape Plan of Management)	50,000
2.1.19	Construct additional toilet facilities to the site	50,000
2.1.20	Construct shade structures over the showground ring seating	30,000
2.1.21	Construct shade structure over children's playground	7,500
2.1.22	Construct a gatehouse/ticket booth at each of the two entrances off Moss Vale Road	25,000
2.1.23	<b>SUBTOTAL SITE CAPITAL WORKS</b>	<b>200,000</b>

### 3.0 SUBJECT BUILDINGS

NO.	ITEM	COST \$
<b>3.1</b>	<b>AGRICULTURAL PAVILION</b>	
3.1.1	<b>EXTERNAL</b>	
3.1.1.1	Check over corrugated metal roofing and repair/replace where necessary TME Small roof holes to be soldered. Large roof holes to have metal patches fixed and painted to SCS.	
3.1.1.2	Check over all metal roof and wall vents and replace or repair where necessary TME.	
3.1.1.3	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.1.1.4	Check over all corrugated metal cladding and repair and replace where necessary TME	
3.1.1.5	Check over timber fascias and repair where necessary	
3.1.1.6	Check over all flashings and repair where necessary	
3.1.1.7	Carefully clean all surfaces including but not limited to walls and windows	
3.1.1.8	Check over and repair windows where necessary.	
3.1.1.9	Check over masonry base and repair where necessary.	
3.1.1.10	Check over all concrete pathways and ramp, including handrails, and repair where necessary	
3.1.1.11	<u>Doors</u> a. Check over all door hardware and repair where necessary TME b. Check over all door leaves and repair where necessary TME	
3.1.1.12	<u>Windows</u> a. Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, glazing and condition of putty.	
3.1.1.13	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.1.1.14	Check over, upgrade and rationalise all exposed services including gas, water and electricity.	
3.1.1.15	Check over and upgrade security system to building.	
3.1.1.16	Check over and upgrade disabled access to building	
3.1.1.17	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>60,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.1</b>	<b>AGRICULTURAL PAVILION</b>	
3.1.2	<b>INTERNAL</b>	
3.1.2.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.1.2.2	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.1.2.3	Check over walls, roof, posts and trusses and repair where necessary.	
3.1.2.4	Check over concrete floor and repair where necessary.	
3.1.2.5	Check over display stands and repair where necessary.	
3.1.2.6	<b>SUBTOTAL INTERNAL MAINTENANCE</b>	<b>20,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.2</b>	<b>POULTRY PAVILION</b>	
3.2.1	<b>EXTERNAL</b>	
3.2.1.1	Carefully clean all surfaces including but not limited to walls and windows	
3.2.1.2	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.2.1.3	Check over corrugated metal roofing and repair/replace where necessary TME	
3.2.1.4	Check over all flashings and repair where necessary	
3.2.1.5	Check over timber fascias and repair where necessary	
3.2.1.6	Check over all corrugated metal cladding and wire enclosure and repair and replace where necessary TME	
3.2.1.7	<u>Doors</u> a. Check over all door hardware and repair where necessary TME b. Check over all door leaves and repair where necessary TME	
3.2.1.8	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.2.1.9	Check over and upgrade security system to building.	
3.2.1.10	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>10,000</b>
3.2.2	<b>INTERNAL</b>	
3.2.2.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.2.2.2	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.2.2.3	Maintain earth floor	
3.2.2.4	Remove concrete floor at entry and replace with a level slab.	
3.2.2.5	Check over timber posts and repair where necessary TME	
3.2.2.6	Check over poultry cages and repair and replace where necessary	
3.2.2.7	<b>SUBTOTAL INTERNAL MAINTENANCE</b>	<b>7,500</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.3</b>	<b>JUDGES BOOTH</b>	
3.3.1	<b>EXTERNAL</b>	
3.3.1.1	Carefully clean all surfaces including but not limited to walls and windows	
3.3.1.2	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.3.1.3	Check over corrugated metal roofing and repair/replace where necessary TME	
3.3.1.4	Check over all flashings and repair where necessary	
3.3.1.5	Check over timber fascias and repair where necessary	
3.3.1.6	Check over timber piers and repair where necessary	
3.3.1.7	Check over all timber weatherboards and repair and replace where necessary TME	
3.3.1.8	Check over all timber stairs and repair and replace where necessary TME	
3.3.1.9	Remove existing door on the southern elevation and replace with appropriate door	
3.3.1.10	<u>Windows</u> a. Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, glazing and condition of putty. b. Install window glass to the frames on the southern and western elevations and remove wire	
3.3.1.11	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.3.1.12	Check over and upgrade security system to buildings.	
3.3.1.13	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>5,000</b>
3.3.2	<b>INTERNAL</b>	
3.3.2.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.3.2.2	Check over all surfaces, including floors, walls, ceilings and windows and repair where necessary TME	
3.3.2.3	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.3.2.4	Check over and repair all floors where necessary.	
3.3.2.5	Check over original timber joinery including but not limited to skirtings and door architraves.	
3.3.2.6	<b>SUBTOTAL INTERNAL MAINTENANCE</b>	<b>5,000</b>



<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.4</b>	<b>CARETAKER'S COTTAGE, GARAGE &amp; SHED</b>	
3.4.1	<b>EXTERNAL</b>	
3.4.1.1	Carefully clean all surfaces including but not limited to walls and windows	
3.4.1.2	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.4.1.3	Check over corrugated metal roofing and repair/replace where necessary TME	
3.4.1.4	Check over all flashings and repair where necessary	
3.4.1.5	Check over timber fascias and repair where necessary	
3.4.1.6	Check air space under building and ensure that timber floor structure is clear of earth. Ensure ventilation space is free.	
3.4.1.7	Check over all timber weatherboards and repair and replace where necessary TME	
3.4.1.8	Check over all wall vents and replace or repair where necessary TME.	
3.4.1.9	<u>Doors</u> a. Check over all door hardware and repair where necessary TME b. Check over all door leaves and repair where necessary TME	
3.4.1.10	<u>Windows</u> a. Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, glazing and condition of putty.	
3.4.1.11	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.4.1.12	Check over, upgrade and rationalise all exposed services including gas, water and electricity.	
3.4.1.13	Check over and upgrade security system to building.	
3.4.1.14	Check over chimney and components and repair and replace where necessary TME	
3.4.1.15	Maintain and rework garden to the Caretaker's Cottage grounds	
3.4.1.16	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>20,000</b>
3.4.2	<b>INTERNAL</b>	
3.4.2.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.4.2.2	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.4.2.3	Check over all floors, walls, roof and windows etc and repair where necessary TME	
3.4.2.4	Check over original timber joinery including but not limited to skirtings and door architraves.	
3.4.2.5	<b>SUBTOTAL INTERNAL</b>	<b>10,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.5</b>	<b>BAR AND COVERED AREA</b>	
3.5.1	<b>EXTERNAL</b>	
3.5.1.1	Carefully clean all surfaces including but not limited to walls and windows	
3.5.1.2	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.5.1.3	Check over corrugated metal roofing and repair/replace where necessary TME	
3.5.1.4	Check over all flashings and repair where necessary	
3.5.1.5	Check over timber fascias and repair where necessary	
3.5.1.6	Check over all timber weatherboards and repair and replace where necessary TME	
3.5.1.7	Check over all concrete pathways and flooring and repair and replace where necessary TME	
3.5.1.8	Check over all wall vents and replace or repair where necessary TME.	
3.5.1.9	<u>Doors</u> a. Check over all door hardware and repair where necessary TME b. Check over all door leaves and repair where necessary TME	
3.5.1.10	<u>Windows</u> a. Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, glazing and condition of putty.	
3.5.1.11	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.5.1.12	Check over, upgrade and rationalise all exposed services including gas, water and electricity.	
3.5.1.13	Check over brick walls and repair where necessary	
3.5.1.14	Render external brickwork to HCA specifications	
3.5.1.15	Check over posts, roof, walls and floors of covered area and repair TME	
3.5.1.16	Check over perimeter floor drainage and ensure no blockages. Drain along the south wall to be unblocked and stabilised.	
3.5.1.17	Check over and upgrade security system to buildings.	
3.5.1.18	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>20,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.5</b>	<b>BAR AND COVERED AREA</b>	
3.5.2	<b>INTERNAL</b>	
3.5.2.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.5.2.2	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.5.2.3	Check over all surfaces, including floors, walls, ceilings and windows and repair where necessary TME	
3.5.2.4	Check over original timber joinery including but not limited to skirtings and door architraves and repair where necessary TME.	
3.5.2.5	<b>SUBTOTAL INTERNAL MAINTENANCE</b>	<b>10,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.6</b>	<b>KIOSK, A &amp; H OFFICE AND COMMITTEE ROOM</b>	
3.6.1	<b>EXTERNAL</b>	
3.6.1.1	Clean all surfaces including but not limited to walls and windows	
3.6.1.2	Ensure that downpipes and gutters are checked at least every 3 months and blockages are fixed.	
3.6.1.3	Check over corrugated metal roofing and repair/replace where necessary TME	
3.6.1.4	Check over all flashings and repair where necessary	
3.6.1.5	Check over timber fascias and repair where necessary	
3.6.1.6	Check over verandah, including, but not limited to concrete flooring and timber posts, and repair and replace where necessary TME	
3.6.1.7	Check over all wall vents and replace or repair where necessary TME.	
3.6.1.8	<u>Doors</u> a. Check over all door hardware and repair where necessary TME b. Check over all door leaves and repair where necessary TME	
3.6.1.9	<u>Windows</u> a. Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, glazing and condition of putty.	
3.6.1.10	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.6.1.11	Check over, upgrade and rationalise all exposed services including gas, water and electricity.	
3.6.1.12	Check over brick walls and repair where necessary.	
3.6.1.13	Render external brickwork to HCA specifications	
3.6.1.14	Check over and upgrade security system to buildings.	
3.6.1.15	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>5,000</b>
3.6.2	<b>INTERNAL</b>	
3.6.2.1	Clean all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
3.6.2.2	Check over all surfaces, including floors, walls, ceilings and windows and repair where necessary TME	
3.6.2.3	Prepare and paint all prepainted surfaces TME unless otherwise directed by the HCA	
3.6.2.4	<b>SUBTOTAL INTERNAL MAINTENANCE</b>	<b>5,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.7</b>	<b>RING SEATING</b>	
3.7.1	<b>EXTERNAL</b>	
3.7.1.1	Check over embankment seating at the showground ring and repair TME	
3.7.1.2	Check over steps and rails and repair TME	
3.7.1.3	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.7.1.4	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>5,000</b>

<b>NO.</b>	<b>ITEM</b>	<b>COST \$</b>
<b>3.8</b>	<b>RODEO STOCKYARDS</b>	
3.8.1	<b>EXTERNAL</b>	
3.8.1.1	Check over timber yards and repair TME	
3.8.1.2	<b>SUBTOTAL EXTERNAL MAINTENANCE</b>	<b>5,000</b>

<b>4.0</b>	<b>TOTAL ALL WORKS</b>	<b>437,500</b>
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**Appendix D**  
Proposed Colour Scheme

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## Proposed Colour Scheme

The colour choices of the proposed scheme for Osborne Park, Kangaroo Valley, are listed below and are illustrated in Figure No.D1. The buildings of the Showground could be painted with the same scheme, as detailed below, to link the buildings of the site. The Caretaker's Cottage could be painted with this same scheme to identify it as part of the Showground Complex. Alternatively, it could be painted with a slightly different scheme (e.g. to match existing) to give it some identify of its own whilst still being identified as part of the Showground Complex.

**Note:** These colours have been expressed in Australian Standard Colours K185-1968, 2700S-1996

### Proposed External Colour Scheme for Osborne Park

Element	Australian Standard Colour	No.
<b>Roof</b>		
Corrugated Iron Roof Sheeting	Silver	—
Guttering	Red Gum	R53
Downpipes	Red Gum	R53
Rafters	Red Gum	R53
<b>Gables</b>		
Timber Barge Boards	Bottle Green	G11
Eaves Soffits	Palm Green	G44
<b>Walls</b>		
Corrugated iron wall sheeting	Deep Stone	Y55
Timber weatherboards	Deep Stone	Y55
<b>Doors</b>		
Timber Door Architrave	Bottle Green	G11
Timber Door leaf with glass panels	Bottle Green	G11
<b>Windows</b>		
Timber Window Sash	Sand	Y44
Timber Window sill and frames	Bottle Green	G11
Timber Window architrave	Bottle Green	G11
<b>Entry Awning</b>		
Soffits	Palm Green	G44
Support Posts	Red Gum	R53
Ramp	Red Gum	R53
Timber Stair	Red Gum	R53
Hand Rails	Red Gum	R53
<b>Base</b>		
Brick Piers	Red Gum	R53
Timber Piers	Red Gum	R53

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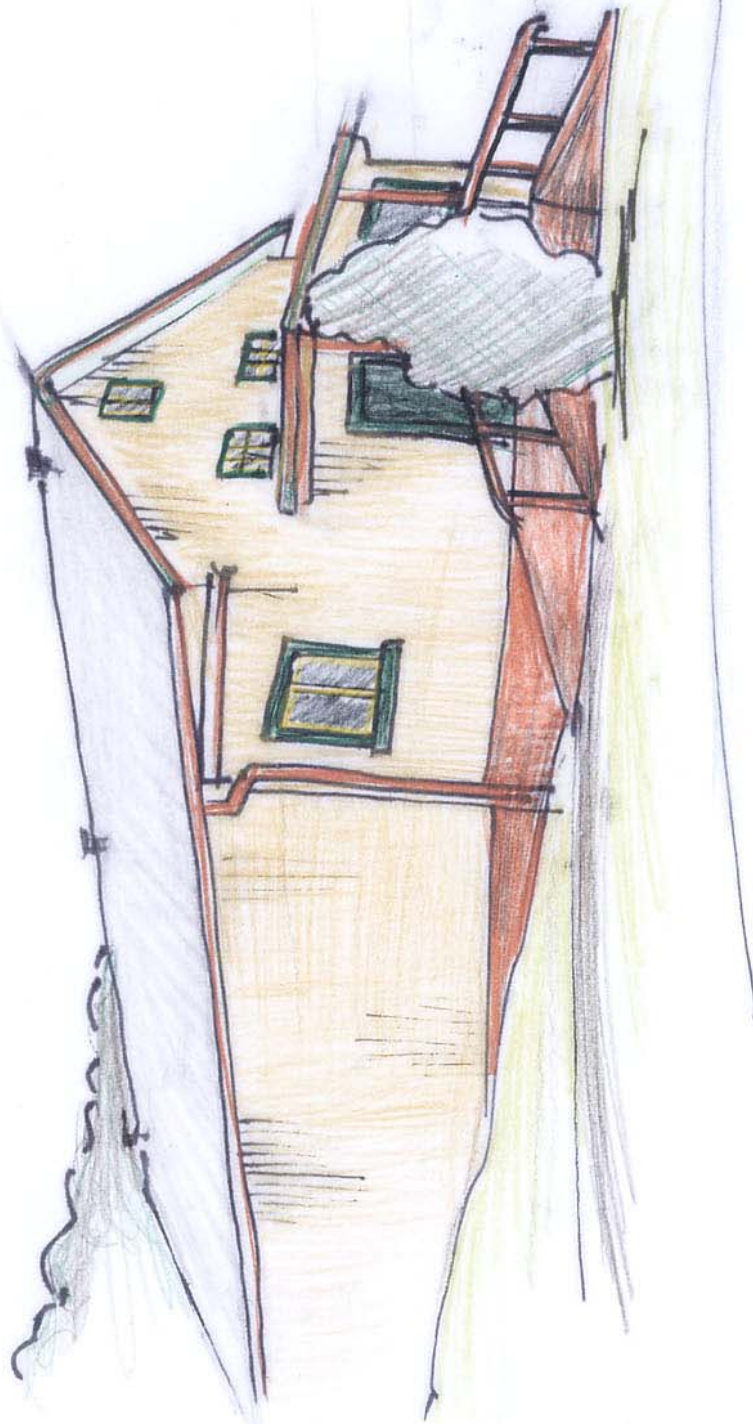


Figure No.D1: Proposed Colour Scheme for Osborne Park, Kangaroo Valley, Agricultural Pavilion.

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Figure No.D2: Proposed Colour Scheme for Osborne Park, Kangaroo Valley, Judges Booth.

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**Appendix E**  
Excerpt from the Burra Charter

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**Appendix F**  
Consultant Brief

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