



Watercolour by Samuel Elyard, c.1877 [detail]. Graham Lodge and associated Graham Farm buildings.
Source: Shoalhaven Art Society, Nowra

GRAHAM LODGE PRECINCT • NOWRA CONSERVATION MANAGEMENT PLAN

VOLUME 1 OF 3 CONSERVATION ANALYSIS

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GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • ANALYSIS • VOLUME 1

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Appendix 1

Shoalhaven City Council • Property Services Group
Consultant Brief • February 1998

Appendix 2

Select Bibliography
Graham Lodge Precinct

Appendix 3

The Graham Family Tree
Prepared by Robyn Florance, Nowra • May 1998



1.1 BACKGROUND TO THE CONSERVATION MANAGEMENT PLAN & THE CLIENT BRIEF

Graham Lodge [formerly the Nowra/Bomaderry Leagues Club] and the Graham Family Cemetery are owned and managed by the Shoalhaven City Council. In **February 1998**, the Shoalhaven City Council prepared a brief for the preparation of a conservation management plan for the Graham Lodge precinct. The precinct has been defined to include the entire former Nowra/Bomaderry Leagues Club site and the adjacent Graham Family Cemetery; refer curtilage diagram at **Section 1.2** below.

Graham Lodge precinct
curtilage
Section 1.2 below

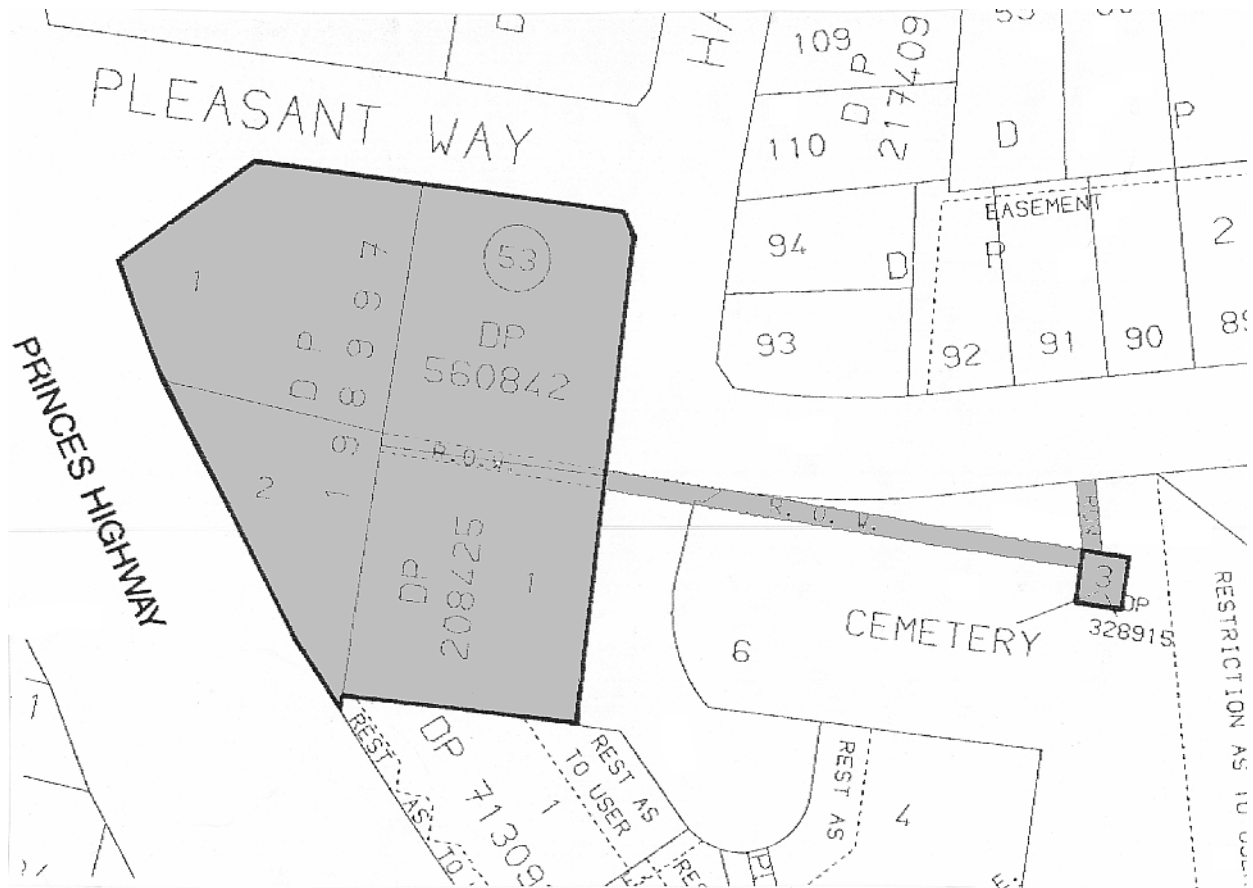
The brief was requested by the Council, in accordance with the Shoalhaven City Council's responsibilities under the *Environmental Planning & Assessment Act 1977* and the *SCC Local Environmental Plan 1985*, in order to protect items of the environmental heritage. The brief is appended to this volume, refer **Appendix 1** below.

Conservation Management
Plan Brief: Appendix 1, this
volume

1.2 CURTILAGE

The Brief defines the 'area to be addressed' by the conservation management plan as the land '*... immediately associated with Graham Lodge [Lot 53 DP 560842, Lots 1 and 2 DP 198997, Lot 2 DP 208425] including the land associated with any outbuildings on the estate whether these buildings exist or otherwise, and the Graham Family Cemetery [Lot 3 DP 328915]...*' The Brief also states that '*... Notwithstanding the above boundaries, the conservation management plan may need to extend the boundaries of this study area to enable recommendations associated with the building's setting to be incorporated into the plan*'.

The specified areas are shown in the curtilage plan below. The 'wider' curtilage area extends to the Shoalhaven River bank, to Bridge Road to the west, and accommodates the river flats to the east.



Curtilage, Graham Lodge
precinct, Conservation
Management Plan
Source: SCC 1998

1.3 TERMS & METHODOLOGY

Conservation terms in this conservation management plan correspond to those used and adopted within the Australia ICOMOS Burra Charter. The conservation management plan follows the Australia ICOMOS Burra Charter and associated Guidelines for the preparation of conservation analyses and conservation management policy.

1.4 STRUCTURE OF THIS CONSERVATION MANAGEMENT PLAN

The Plan is presented within a three-volume format. The volumes are as follows:

- **Volume 1** Conservation Analysis : Report
- **Volume 2** Conservation Analysis : Inventory
- **Volume 3** Conservation Management Policy

1.5 CONSULTANT TEAM AND AUTHORSHIP



**GRAHAM LODGE PRECINCT • NOWRA
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**The consultant team for the conservation management plan
is as follows:**



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Peter Freeman Pty Ltd
Conservation Architects & Planners, Canberra
Project manager and client liaison
Conservation architect and planner

Phill Gant

Phill Gant Architect, Vincentia
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Architectural measured drawings

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management plan review

Robyn Florance

Historian, Nowra
Historical research and client liaison

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Conservation management policy

Greg Westlake

Robert McDonald & Associates
Consultant Engineers, Nowra
Structural engineering advice

This Plan has been prepared by Peter Freeman, with input from the entire consultant team. Where 'specific' inputs have been provided by a member of the consultant team, that input is acknowledged within the text.

1.6 ACKNOWLEDGEMENTS

The consultant team gratefully acknowledges the assistance of the following:

Mr John Drummond

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2.1 PREAMBLE

The following historical overview has been prepared in order to give an understanding of the historical evolution of the current Graham Lodge precinct. The overview is set out within the context of the Greenhills settlement generally; the Graham family ownership and subsequent ownership changes; and the recent developments relating to Club and Shoalhaven City Council ownership.

Three main sources of information have been utilised: the *Contextual History of Graham Lodge and the Greenhills Estate*, prepared for this Plan by Robyn Florance, historian;¹ the *Thematic History of the Shoalhaven*, prepared for the Shoalhaven City Council Heritage Study by Assoc. Prof. R. Ian Jack; and a synthesis and analysis of these sources prepared for this plan by Roger Hobbs. A series of conjectural sequential plans illustrating the historical evolution of the Graham Lodge precinct have also been prepared by Peter Freeman Pty Ltd, Conservation Architects & Planners, refer **Section 4.0** below.

Section 4.0
Analysis of the Historical &
Physical Overview, Volume 1

2.2 THE ABORIGINAL PEOPLE

The area between the Shoalhaven River and Jervis Bay was the boundary between two major linguistic groups of coastal Aboriginal people. To the north, as far as Botany Bay, were the Wodi-Wodi, speaking Tharuwal [also spelt Dharawal]: to the south, down to Wallaga Lake, were the Wandandian, speaking Dhurga. These two linguistic areas both extended

¹ Acknowledgement for the Florance history is as follows:
To Mrs Shirley Laird, Bomaderry for information on the Graham, Gardner and Bourne families. To Mrs Helen Ruttley, Vincentia, for information and help with the Graham family tree. To Mrs Ann Pulvertaft, Queensland, for copies of private papers relating to the Graham Family. To Mrs Patti Fowler, North Nowra for information relating to Prague Lodge and for the use of photographs and newspaper cuttings in her possession. To the Shoalhaven Family History Society Inc. for use of archival material relating to the Graham and Bourne families. To the Shoalhaven Historical Society Inc. for use of archival material and for copies of photographs from their collection. To Mr Brian Kenny, Nowra, for information on Graham's Farm and Ted Ashcroft. To Mrs Lorraine McCarthy; the Shoalhaven Art Society; the Xerox Shop, Nowra; Alan Clark, John Flett, Shoalhaven City Council Library staff; Miss Emma Midgely, Mrs Koglin and Noel Payne, Bomaderry for their assistance; and to Mrs Una Thurgate 'Graham Lodge' Bolong Road, Bomaderry for her help with the history of the Bourne family and especially for her memories of Graham Lodge.



to the west beyond the present Shoalhaven Council boundaries. Part of the south-west of the area inland from Pigeon House was occupied by the Walbanga people.²

The coastal lands from Seven Mile Beach south to Durras were consistently but not densely populated in the eighteenth century. The local Aboriginal people were first seen by Europeans in 1770 when Cook and Banks saw fire on the Murramarang shore. After settlement, Aborigines and their canoes were first seen at Jervis Bay by the crew of a whaling boat in 1791 and the first contacts [characterised by a mixture of kindness and suspicion] were made after the longboat of the wrecked *Sydney Cove* was itself wrecked near Cape Howe and the crew walked north.³

The first official visitation to this part of the coast came in 1801 when the *Lady Nelson*, with Francis Luis Barrallier [engineer and explorer] on board, sent a landing party on shore at Jervis Bay. The party reported that already, in 1801, smallpox was rife on the South Coast and presumably the population was already reduced. The mixed diet of fish, seafood and marsupials was remarked upon and the Aboriginal canoes were a prominent feature.⁴

Massive changes began while Macquarie was Governor of the Colony, with cedar-getters in the Shoalhaven, cattle in Illawarra and the first land grants. When Charles Throsby [squatter and explorer] gave evidence to Commissioner Bigge in 1821, he described the coastal part of the Shoalhaven as more densely populated by Aboriginal people than the interior but thought their numbers '*... very insignificant*' and diminishing because of alcohol and diet.⁵

Over the next two decades the Aboriginal camps in Shoalhaven were severely affected by European appropriation of the land, but the Aboriginal population remained very visible through the 1830s and some helped Europeans to explore and to find good grazing or agricultural land. Many Aborigines found sporadic

² M. Organ, *A Documentary History of the Illawarra and South Coast Aborigines, 1770-1850*, Wollongong 1990, xxviii [map by D.K. Eades, 1976], xl-xliii.

³ Organ, op cit. pp.11, 17.

⁴ Organ, op cit., pps19-26; *Historical Records NSW*, Volume IV, pps478-81.

⁵ Organ, op cit., p.112.



employment on the increasing number of European estates, especially at Coolangatta, where Alexander Berry was a benevolent patron.⁶ A few adopted the offer of a settled job in sawmills, as cowherds, as general labourers or in domestic service; and there were several Aboriginal-owned seaworthy boats at Shoalhaven, Jervis Bay and Ulladulla, where fishing remained a major concern throughout the nineteenth century.

The most vivid contact documents which survive are the paintings and drawings by Mickey of Ulladulla, a member of the Dhurga group, who lived at the South Coast. 'Mickey the Cripple', as he was also known, was born c. 1825 and died in 1891. Using European techniques, Mickey conveyed a unique Aboriginal view of the coastal world which he inhabited in the later years of the nineteenth century. As Mickey's work unconsciously showed, traditional life had in fact become impossible.⁷

Today there remains a substantial Aboriginal community living in and around Nowra.

2.3 EARLY EUROPEAN EXPLORATION AND SETTLEMENT

Exploration and Early Settlement of the Shoalhaven River Area

1805 to the 1820s

The shoals at the mouth of the Shoalhaven River had been noticed as early as 1797 by George Bass, but no exploration was undertaken until 1805 when the government surveyor, James Meehan, and Lieutenant Kent, sailing to the mouth of the Crookhaven, inspected the Shoalhaven Valley as far west as Burrier. The importance of Meehan's observations was twofold: he drew attention to the cedar in the area, and he discovered the Shoalhaven River ford at Burrier.⁸

Meehan recorded that the river, after leaving the later site of Nowra, crossed alluvial flats comprising grassland and freshwater swamps; and the area was '*... covered with rain forest, brush cedar, softwoods, coachwood, blackbutt, sassafras,*

⁶ Organ, op cit., pps229-40 [Alexander Berry's recollections 1838].

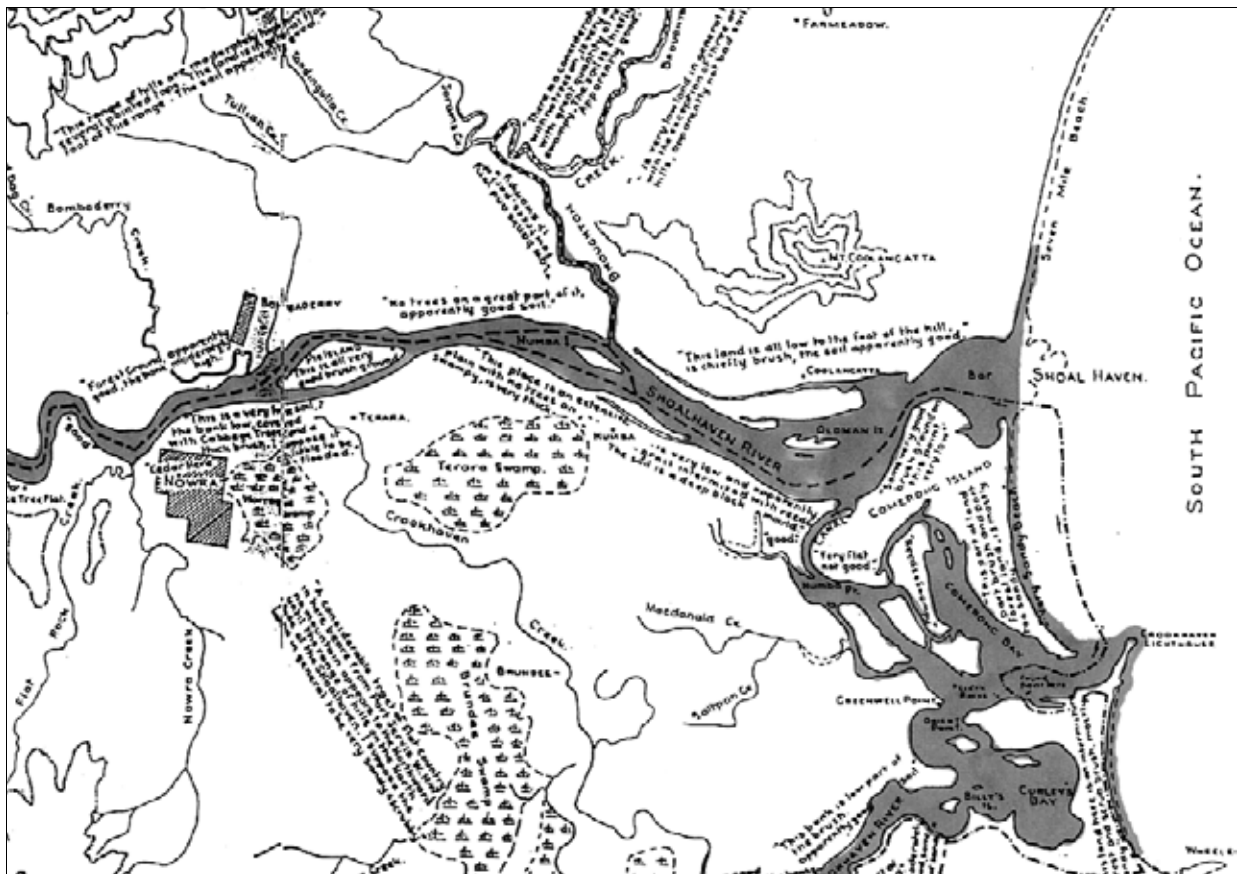
⁷ Mitchell Library and NLA holdings of Mickey of Ulladulla's work.

⁸ A.K. Weatherburn, *The Exploration and Surveys of James Meehan, 1805, 1818, 1819*, JRAHS 64, 1978-9, p.170.



*flame trees, brushes, palms, ferns, vines, orchids, eucalypts and casuarinas*⁹

Meehan also reported clear land along the river flats. The Crookhaven River catchment drained the areas of the Worrigea and Terara Swamps starting below the levee bank defining the edge of the Shoalhaven River. In an area prone to flooding these levee banks were subsequently to provide a foothold for agriculture, river transport and settlement along the Shoalhaven river. The area later taken up by Butler and then the Graham family was described by Meehan as ‘... very fine soil, the bank low, covered with cabbage trees, and a thick bush. I suppose it to be flooded’.



⁹ William A. Bayley, *Shoalhaven*, Shoalhaven Shire Council, Nowra, 1975, p.18



James Meehan's exploration of the Shoalhaven River area, 1805. Modern features, eg the sites of modern Nowra, Bomaderry and Terara, have been added. The Burrier ford is further to the west [at left].

Source:

R.F. Pleaden, *Coastal Explorers*, Nowra 1990, pp. 24-25. The Pleaden map has been enhanced by PF.

It was not long before men in search of cedar began to sail along the coast from Sydney and enter the Shoalhaven River to cut and load cargoes. The *Speedwell* of 15 tons reached Sydney in January 1812 loaded with cedar. In 1813 the brig *Mary and Sally* took out a cargo and in 1814 the brig *Trial* took out 26,000 feet.¹⁰ When a cedar party was lost early in 1815 Governor Macquarie forbade the cedar cutters from visiting the district, although exploration of the district continued and settlers began to secure and take up grants in the district. Early grants were promises and often by the time the grants were made the land had passed to, and been registered in the names of others.

The first grant was **Cooloomagatta** [later Coolangatta] of 10,000 acres [4,047 ha] to Messrs Alexander Berry and Edward Wollstonecraft in 1822, with a further 2,000 acre [893.8 ha] grant on the south side at **Numbaa**. Berry secured additional grants of two lots each of 4,000 acres north of the first grant and one lot of 4,000 acres west of Broughton Creek. Downstream on the south of the Shoalhaven River, Berry secured a 2,000 acre grant on either side of the Numbaa grant and other grounds around Crookhaven. Along the river to the west, 1,300 acres [581 ha] went to Prosper de Mestre and 640 acres [286 ha] was promised to John Layton. **Brundee**, of 2,516 acres [1,124 ha], went to William Elyard, whilst 2,000 acres promised to Hamilton Hume in 1825 was granted to Alexander Berry in 1842.

The story of Alexander Berry and Edward Wollstonecraft, and their Coolangatta and Numbaa properties, has been well researched and documented, refer, for example, James Jervis 'Alexander Berry, the Laird of Shoalhaven', in *JRAHS* No. 27, 1941. The story of Berry's neighbours de Mestre, Elyard and Graham, is less well known.

Prosper de Mestre was a merchant and pastoralist who had been born of French parents, at sea, on a British ship on the way to the West Indies. At the time, his father, a French Officer, was fleeing from France during the French Revolution. Prosper de Mestre arrived in Australia in 1818, aged 25, and began business as an importer. Five years later, in 1823, de Mestre had acquired a small farm at Bargo, west of Sydney. In 1829 he was granted 1300 acres which he called

¹⁰ Ibid, p.8



Terara, on the Shoalhaven River adjacent Berry and Wollstonecraft's Numbaa property. De Mestre became insolvent in 1844 and died at Terara that year, aged 51. His son, Etienne, was later to establish a horse stud at Terara, and won five Melbourne Cups, the first two with *Archer* in 1861 and 1862.¹¹

William Elyard [Snr] was a Naval surgeon on half pay, who, with his wife Sarah [nee Gilbert] arrived in Australia in 1821, as the Surgeon Superintendent of the ship *John Bull*. William Elyard [Snr] was granted land on the Shoalhaven River which he named **Brundee**. The Elyard children found fame in their own right. The eldest child, William [Junior] eventually became the Under-Secretary of the Colonial Secretary's Office. The fourth son Samuel became a public servant and landscape painter. Many of Samuel Elyard's works have been acquired by the Shoalhaven City Council.¹²

William Graham was born in Dumfries, Scotland on 16 December 1772.¹³ He married Margaret Moore in the Parish of Kirkpatrick, located seven miles north east of the town of Dumfries. Their first child, Jane, was born in 1806, followed by William in 1807, John in 1808 and James 1809.

In 1815 William was found guilty of stealing a black horse and was sentenced to 14 years '*... across the seas*'. He arrived at Port Jackson on 7 September 1815 on board the convict ship *Baring* which sailed from England on 20 April the same year. On arrival at Sydney he was assigned to William Browne of Illawarra.¹⁴

His wife Margaret and their four children joined William in 1819, sailing from England on the *Lord Wellington* in 1819, and arriving in Sydney on 19 January 1820. The family were reunited on the property of Richard Brooks, Denham Court, at Appin.¹⁵

¹¹ G.P. Walsh, 'Prosper de Mestre [1793-1844]' in *ADB, Volume 1, 1788-1850*, Melbourne, 1966 p. 305

¹² M.J. Saelier, 'William and Samuel Elyard', in *ADB, Volume 4 [1851-1890]*, Melbourne, 1972, pp. 139-140

¹³ Information from headstone, Graham family burial ground.

¹⁴ Assignment Register

¹⁵ According to the General Muster & Land & Stock Muster of NSW 1822, William Graham, Margaret Graham and four children were residing in Appin.



William received his ticket of leave while working for Brooks as a Government Servant on 24 July 1823.¹⁶ William then moved his family to the 'Illawarra', where he rented a farm from Mr Cornelius O'Brien, nephew of William Browne, of Dapto '*... a farm of forty acres situated in the District of St. Vincent, the property of Mr C.O'Brien, for which he pays an annual rent of 10/-per acre...*'¹⁷

After a few years there, William moved to the Shoalhaven on 100 acres of land originally known as 'Butler's Grant'.

Early Pastoral Settlement : The Graham Family 1820s to 1840s

The **Coolangatta** grant was thus established from 1822 by Alexander Berry in conjunction with his partner. Berry chose land on both sides of the Shoalhaven River, siting his homestead below Coolangatta Mountain in close proximity to the Shoalhaven Heads. Although a ship building facility was established nearby, the Shoalhaven Heads were not actually navigable, although the river was navigable from the heads as far as the Burrier ford, further upstream. Berry's estate was to control virtually the whole of the coastal plain north of the Shoalhaven River. Land north of the river was swampy with mixed vegetation, but few trees [refer 1805 Pleaden map above]. Both sides of the river were flood prone, although this phenomena was not to be realised to its full extent until the 1860s and 1870s, during the disastrous floods of those periods. The shortage of land-based transport and communication made the river and sea the only realistic route to the markets and Sydney.

Alexander Berry, with the assistance of Hamilton Hume and convict labour, had constructed a canal in 1822 linking the Shoalhaven and Crookhaven Rivers. River-based craft could thus bring produce downriver to the harbour at Greenwell Point, which had been established by Berry. The downriver traffic could thus utilise the safer Crookhaven River entrance from the sea.

¹⁶ Colonial Secretary's Correspondence, Index of Land Grants, Reel 1133, Letter from Richard Brooks dated 15 September, 1829

¹⁷ Colonial Secretary's Correspondence; Index of Land Grants, Reel 1133, Letter from William Graham to His Excellency Lieut. General Darling, Governor and Commander in Chief, dated December 1829



In 1826 William Graham, an ex-convict, arrived to settle in the Shoalhaven area, and he took up Butler's grant of 100 acres [45 ha] on the banks of the Shoalhaven River, west of the land originally promised to John Layton. This area became known as **Greenhills**, and extended along the southern bank of the Shoalhaven River from near where Bridge Road is today, to the Nowra to Bomaderry ferry road [now known as Ferry Lane]. Graham's **Greenhills** was adjacent to Prosper de Mestre's **Terara** grant of 1,300 acres south of the Shoalhaven River, and adjacent to Alexander Berry's 2,000 acre grant which included **Jindyandy** and **Pyree**.

In the meantime two of his sons, William [Junior] and James, applied for Layton's 640 acre grant, and this was promised to them on 16 July 1827. Graham's other son John did not like farming, and was apprenticed as a carpenter to George Hawker in Sydney. In 1829 William Graham [Senior] wrote to the Colonial Secretary requesting that the Greenhills land be granted to him:

*'... It is now three years or thereabouts since I first settled myself here for the purpose of being near my two sons, who had previously obtained orders for a small grant of land each and I have already been at a considerable expense in clearing off the land, erecting a cottage, and making stockyards, etc. and I have hitherto succeeded in procuring a small herd of cattle and cultivating a small portion of land for the support of my family...'*¹⁸

At this time his children were living on land further east at Crookhaven. William [Junior] and James were on grants of 60 acres each at Mayfield.¹⁹ Jane had married Thomas Mays, a convict in the employ of Alexander Berry, and was also living at Mayfield.²⁰ Thomas Mays was a convict; and more importantly, a carpenter and builder. In 1834 William Graham is known to have been living at a house at Mayfield [Mays-field?], and this could be Monaghan's House [James Monaghan had married into the Graham family]. The Monaghan House is still extant and was recorded in the

¹⁸ Letter to Alexander McLeay, Esq., Colonial Secretary, from William Graham, Kanara near Shoalhaven, January 13th, 1829, found in Colonial Secretary's Correspondence, AONSW

¹⁹ Land Titles Office NSW Grant Register No. 2 Folio 42

²⁰ Married at Sydney 2/6/1827 Thomas Mays of Shoalhaven to Jane Graham of Shoalhaven



Shoalhaven Heritage Study. It is probably also the subject of an 1870s painting by Samuel Elyard.



Homestead group, probably Mayfield. Samuel Elyard, artist.
Source:
Una [Bourne] Thurgate,
Bomaderry, NSW

Graham's **Greenhills** land was located on the upper edge of the catchment of the Crookhaven River. The grant occupied a combination of levee bank, swampy ground and a ridge of firmer ground on the western edge leading to what was to become the site of Nowra.

The 1828 NSW Census records William Graham as living on land in the 'Illawarra', of which 50 acres was cleared and 20 acres were cultivated; and he had 50 head of cattle.²¹ By 1829 stock on the **Greenhills** property comprised 6 bullocks, 17 cows, 16 heifers, 19 steers, 130 pigs; farming utensils, furniture, and a crop worth a total of £961.²² **Greenhills** was mainly devoted to dairying in the early nineteenth century. Milk, butter and cheese were sold locally and shipped to Sydney, usually on the coastal steamer *Echo*. Beef was slaughtered on the property as were the bullocks, and the meat was sent to market. There was also a blacksmith's forge located on the property, and many farmers from the surrounding district were customers.²³

To help clear and cultivate the land, some of the property was leased to tenant farmers. The first tenants were the

²¹ 1828 Census of NSW, Archives Office NSW

²² Colonial Secretary Correspondence; Index of Land Grants, Reel I 133, Letter from William Graham to His Excellency Lieut. General Ralph Darling dated 7th April 1829

²³ Greenhills Account Book 1848-1854 held by Ann Pulvertaft, Sunshine Beach, Queensland



Gardner, Criffle and Bartlett families, who had been 'brought out' from England in 1841 by Graham, to help clear and cultivate his land.²⁴ Seven years later there were no fewer than thirteen tenant farmers renting parcels of land.²⁵ Due to the increase in population additional estate stores were established. At Greenhills there were five stores, including a tailor's establishment and a bootmaker's, at least three hotels, a butcher and slaughtering business, a post office, school, Scots Church and private burial ground.²⁶

Further to the east, at the head of the Shoalhaven River, Alexander Berry's earliest agricultural and dairying enterprises were well established by the 1840s. Alexander Berry took a keen interest in the huge **Coolangatta** holdings which he and Edward Wollstonecraft acquired from 1822 onwards. Berry explored to the south of his own lands, and came to be on good terms with the local Aboriginal people. With their help he reached and climbed Pigeon House in 1822.²⁷

Berry and Wollstonecraft's **Coolangatta** was the largest convict establishment in the region. It had been a condition of their land grant that Berry and Wollstonecraft should maintain 100 convicts for ten years. Many of the assigned men spent their entire time with Berry, who was a good employer, and after gaining a ticket of leave many stayed on in the neighbourhood. Berry's convicts were largely responsible for much of the building on Coolangatta estate: the homestead, farm buildings, flour-mill, blacksmith's shop and so forth, although one of the bricklayers for the homestead was an Aboriginal man. The convicts were also brick makers, labourers in Berry's shipyard established in 1824 and the builders of the fine stone dam surviving today 400 metres east of Coolangatta homestead. Convict labour was also used in agriculture, growing maize, wheat and vegetables and in felling timber, although the sawmill was

²⁴ Information from Shirley Laird, 9 Tallyang Street, Bomaderry:
'The families were brought out by Alex Campbell on 'Illalarookh' and arrived in Sydney 26/12/84. They were engaged by Mr Graham at £20 per annum with milk ration, and immediately sent to the Shoalhaven'

²⁵ Greenhills Account Book op. cit.

²⁶ *Illawarra Mercury* 30 June 1856

²⁷ Thomas Mitchell, Map of the Colony of NSW, 1834.



controlled by a free Scottish family.²⁸ Berry's assigned men also improved the network of roads connecting the outlying parts of his huge estate and, in particular, connecting Numbaa and Terara to Berry's wharf at Greenwell Point, built in 1829 by convicts.²⁹

On **Coolangatta**, where Alexander Berry presided in a conservative but benevolent autocracy, many convicts remained in the area after gaining their freedom. To encourage the development of the huge estate, Berry released land to tenant farmers from 1842 onwards. These tenants were given small acreages rent free for twenty-five years, and if clearing and fencing had been duly done they could expect renewal of the leases. The population of Coolangatta remained thinly spread, however; only 367 people occupied the extensive estate by 1850.

Thus by the late 1840s, the land to the south of the Shoalhaven River was taken up [from the west, and the site of modern Nowra, to the east] by Butler/Graham, Layton/Graham, de Mestre and Alexander Berry.

2.4 PRIVATE TOWNS AND COMMERCE 1840S TO 1870S

The Shoalhaven River flood of 1842, although disastrous, did not prevent the continued growth and settlement of private towns and properties alongside the River.

In 1843 John Glanville recorded that the only house in the vicinity of [modern] Nowra was Mr James Graham's

²⁸ M. Swords, *Alexander Berry and Elizabeth Wollstonecraft*, Surry Hills 1978, 13; N.T. Bradshaw, *Coolangatta 1822*, Kiama 1972, pps9-10; information from Robyn Florance.

²⁹ Walliss, Greenwell Point, pps17-18.



Greenhills. By 1844 a new house had been constructed in sandstone for Glanville and his new bride at Bamarang. Glanville's house was said to be the finest in the district. **Wogamia**, as the house was named, was a two storeyed sandstone house of simple Georgian proportions with a gabled pitched roof.³⁰

An informal private town had developed at Broughton Creek by the 1840s, north of the Shoalhaven on Berry's estate.³¹ This pattern was repeated south of the Shoalhaven River with the establishment of the private towns of Numbaa [within the Berry estate] and Terara [within the de Mestre estate] by the 1850s. Although Nowra was proclaimed as a Government town in 1852, it was not until 1855 that the first land sales began in Nowra itself. The first Commissioner for Lands, Mr Mackay, completed his single storey sandstone house, **Nowra Park**, in 1852 on the higher ground south of Worrigea Swamp.

The village of Numbaa, owned by Alexander Berry, had several large stores, a hotel and a 'commodious hall' for entertainment known as 'The Long Room'. A Court of Petty Sessions [the first in the district] was established in 1852. The wife of Prosper de Mestre, Mrs Ann de Mestre, was instrumental in the building of Terara. In 1854 there were three wharves on the river, including Adam's Wharf, and boasted nine hotels. There were several big general stores, a Town Hall, Telegraph Office, a newspaper and a number of professional men including doctors, dentists and lawyers.

At Greenhills, John MacArthur established The Greenhills Iron Store in 1854 on the banks of the Shoalhaven River. Here he had a wharf from where his ship *My Own* plied, delivering goods to wharves along the river. After the 1860 flood he moved to higher ground and built a store adjacent to his residence 'Greenhills Cottage'.³² This building is now known as 'Citrus Grove'.³³ Richard H.F. Kemp established a store on an acre of land on the Shoalhaven River bank in

³⁰ Marjorie Phyllis Hodges, *A Little of My Life*

³¹ M.D. Lidbetter *Historic Sites of Berry*, p. 3

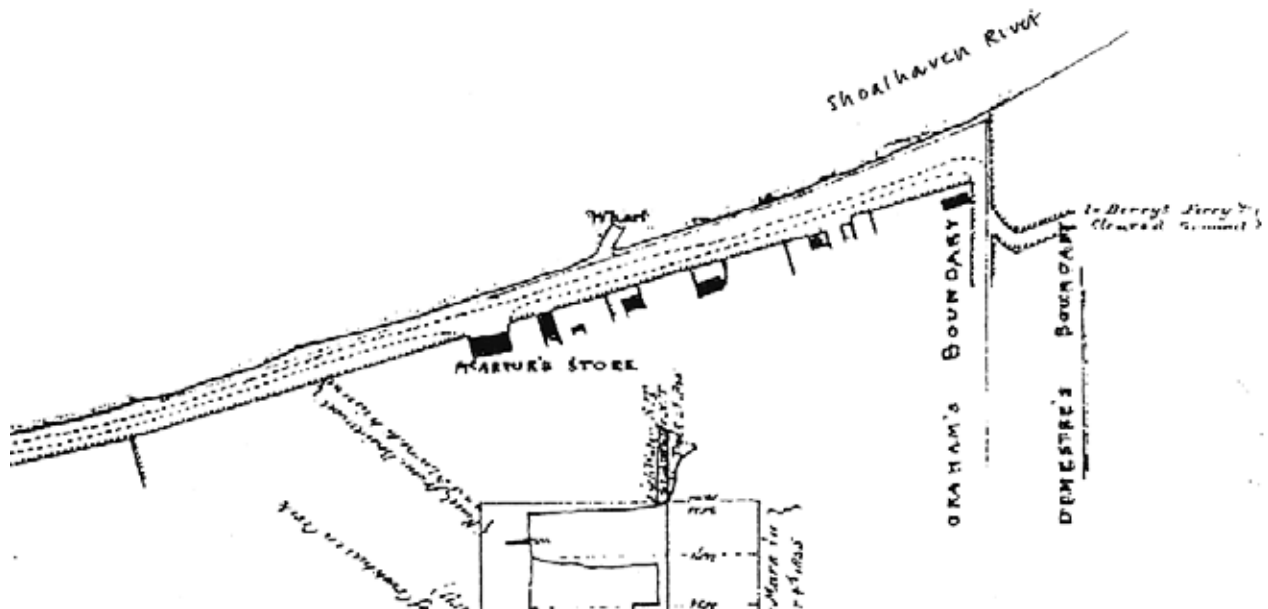
³² *Kiama Independent* 15 February 1866 announced the birth of a daughter on the 13th, at her residence Greenhills Cottage, Shoalhaven, Mrs John MacArthur

³³ PWD NSW, Lower Shoalhaven River Flood History at Nowra Bridge 1860-1980, July 1981, p.19



1856 about 200 metres east of Ferry Lane, where he sold wine and spirits.³⁴ His residence was built beside the store.³⁵ The store and dwelling were completely destroyed by fire on 27th November 1866.³⁶

Greenhills Post Office was established in Kemp's store in January 1860³⁷ with Mr R.H. Kemp as postmaster. The Post Office was transferred to the Greenhills Iron Store in January 1861 with MacArthur as Postmaster, while the Telegraph Office was located at Terara. The Post Office remained here until it was transferred to Nowra in 1879 when the Post Office and the Telegraph Office were amalgamated into the one authority.³⁸



34 '... The store was large with two floors...' Auction Sale Notice *Kiama Independent* 28 October 1866

35 The residence was described as '... weatherboard and brick nogged and plastered cottage containing 8 rooms with verandah 60ft x 8ft detached pantry, storeroom, servant's room, kitchen and brick fireplace...' Auction Sale Notice *Kiama Independent*, 28 October 1866

36 *Kiama Independent*, 1 November 1866

37 A stamp impression book which records the daily record of postmarks, held by the Shoalhaven Historical Society Inc., begins with Jan 1860 postmark and the Greenhills stamping ends Dec 31, 1861

38 Antill R.G., *Settlement in the South*, Weston & Co., Kiama, 1982



Greenhills village, built around MacArthur's Greenhills Iron Store and the wharf. Survey by A. Wood, 1855

Source:

AO NSW, AO map 5716

The Shoalhaven Regatta was held each Anniversary Day, 26 January, on the river, near Robson's Wharf³⁹ where hundreds of spectators gathered on the riverbank to enjoy the entertainment. In later years this event moved downstream to Regatta Island at Numbaa. Cricket was a very important sport in the early days of settlement. A significant cricket match was played in October 1860 between Shoalhaven and Ulladulla on McGuire's Meadow at Greenhills. It attracted a large crowd of spectators, there were two publican's booths, and a tent was provided for the players. At the conclusion of the match, the then Mayor James Graham was chairman when dinner was served to 35 people at Michael Hyam's Sir Walter Scott Inn.

The Greenhills Cricket Club was formed in 1864 and matches were played on Monaghan's Meadow at Greenhills. James Graham and James Monaghan were stalwarts of the team.⁴⁰ The Nowra Cricket Club was formed in November 1880 and the club's first match was played on 'Graham's Flats' at Greenhills.⁴¹

The Shoalhaven A & H Association held the associations first exhibition at the Greenhills Showground on 11th February 1875, on the old Presbyterian Church Grounds, a quarter of a mile back from the main road to Terara, and was reached by an 18 foot lane separating Terara and Greenhills. The church building was used for show purposes in addition to a wooden shed that the Society built alongside it.⁴² The annual shows were held on this ground for twelve years until 1887 when the Annual Shows have been held at Nowra on ground granted by the Crown.⁴³

Private townships in the rural areas continued to control trade and transport along the Shoalhaven River. Major roads were not developed until the 1850s on Berry's estate, with the completion of parts of the [now] Princes Highway. Berry's assigned men were, however, to improve the

³⁹ *Illawarra Mercury*, 7 January 1856, p.8

⁴⁰ Alan Clark, *A History of Shoalhaven Cricket*, Shoalhaven District Cricket Association Inc., Nowra, n.d.

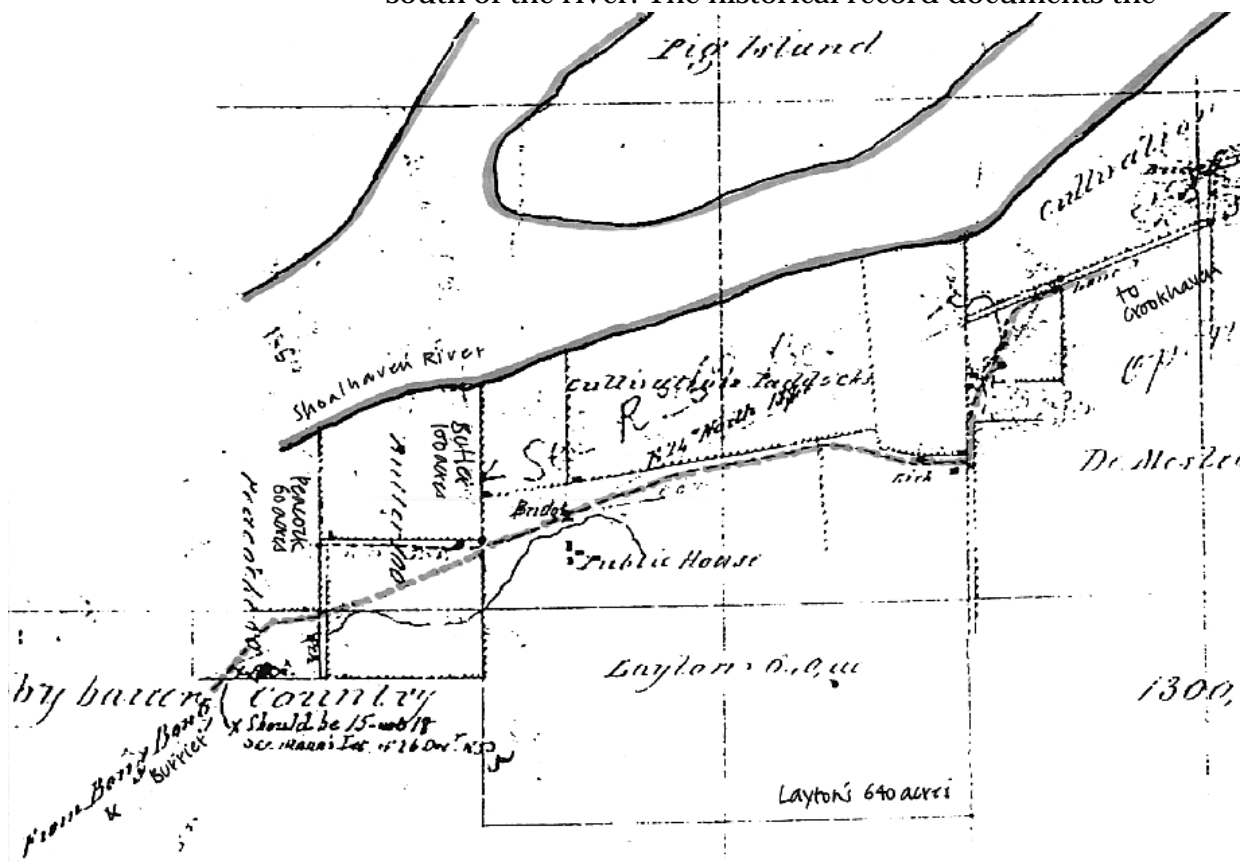
⁴¹ Alan Clark, op. cit. p.6

⁴² Agricultural Association, 'The Shoalhaven Chronograph', Journal of the Shoalhaven Historical Society Inc., November 1973, p.5

⁴³ 1974 Annual Shoalhaven A & H Association Show Schedule - Centenary Show 1874-1974 p.10



network of roads connecting the outlying parts of his huge estate. In particular roads connecting Numbaa and Terara to Berry's wharf at Greenwell Point were completed in 1829. [Refer 1850 Mann survey, below]. The road linking the areas of settlement along the south bank of the Shoalhaven River is clearly identified as coming from Bong Bong, near Berrima to the west. This route to Bong Bong was via the Burrier ford to the west, utilising the earlier route explored by Charles Throsby. Although the route could be accessed from Cambewarra to the north, this was impractical for those south of the river. The historical record documents the





Plan Shewing the Survey of a Portion of the line of road from Shoalhaven to Bong Bong & St Vincent [detail]

John F. Mann, Surveyor, 4 June 1850. Within the Layton/Graham 640 acres is the small hamlet of Green Hills comprising a Public House, Moss's Cottage and a bridge over the small creek which gave access to the cultivation paddocks and the river.

Source:

AO NSW. AP map 5088.
Enhancement and addition of modern text by PF

existence of private wharves and ferry points along the river between Greenhills Estate and Numbaa, thus fostering trade and communication.

In 1852 the Illawarra Steam Navigation Company was formed to provide shipping to and from Ulladulla, Greenwell Point and Broughton Creek. Transport to the markets in Sydney was quicker by sea for most of the nineteenth century until the extension of the railway to Bomaderry from Kiama in the 1890s.

Coastal shipping grew in importance from the 1840s onwards. The ISNC was an amalgamation of smaller companies, and steam steadily displaced sailing boats thereafter. A major facility for the coastal steamers and sailing vessels was developed within the Crookhaven estuary at Greenwell Point, where Alexander Berry had built a wharf in 1829 in conjunction with a dray-road from Numbaa. The colonial braking chain which lay underwater in the channel beside Greenwell Point wharf to assist sailing ships is still visible at low tide south of the present day wharf.⁴⁴

⁴⁴ R.J. Walliss, *Greenwell Point: an Early Shoalhaven Port*, Greenwell Point 1988, p.18.



Although steamers did enter the Shoalhaven River in the 1850s and 1860s, tying up at Numbaa, Terara and Broughton Creek wharves, Nowra was inaccessible to sea-going ships until the rock outcrop at Bomaderry Creek was broken up in 1904. The Illawarra Steam Navigation Co. established an office at Nowra which still exists as the Sailing Club clubhouse.⁴⁵

From 1852 to 1858 the Shoalhaven Court of Petty Sessions met in the Numbaa courthouse. Nowra, being separate from the rural community, and being essentially a Government planned village, did not provide a focus to compete with the private towns, although it was the centre of administration and government.

In 1859 Nowra still had only sixteen dwelling houses. The formation of the Shoalhaven Municipal Council in 1859 led to the election of James Graham as Mayor in 1860. This Council was defunct by 1865, due to the determination of Alexander Berry who did not want his lands taken over by local government. It was a further two years before municipal councils were again established in the district. Both new councils, Numbaa [south of the Shoalhaven River] and Berry [north of the Shoalhaven River] were proclaimed in 1868. Nowra did not receive municipal status until 1871.

People occupying land on the south bank at Numbaa, Terara and Greenhills suffered greatly in the flood of 1860 and although it did great damage, it had little effect on their lifestyle. However when there was another major flood in 1870, the people decided to move out.

The Government town of Nowra had already been established by the late 1850s and was further to the west along the Numbaa to Burrier road, on higher ground. The town already had some government buildings and a small community. Its population in 1871 was 243, but it leapt to 886 during the next ten years. After the 1870s floods, the major churches relocated to Nowra, the commercial centre went ahead, the bridge over the Shoalhaven River was opened,

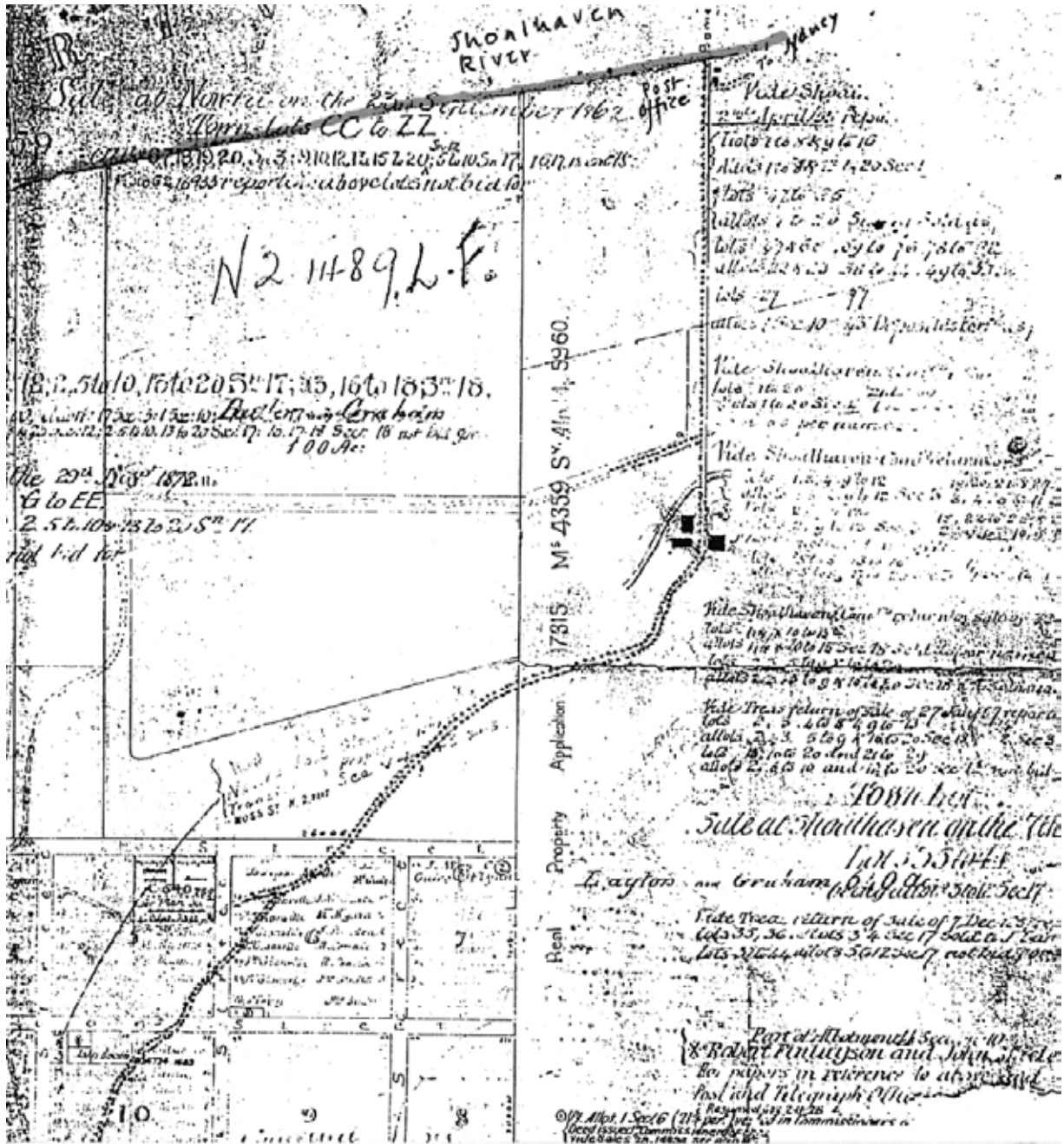
⁴⁵ Walliss, op cit., p.23; Arthur Cousins, *The Garden of New South Wales: a History of the Illawarra and Shoalhaven Districts, 1770-1900*, Sydney 1948, new ed. Wollongong 1994, p.71; N.P. Morrissey, *A Pictorial History of the Shoalhaven*, 2nd ed., Kiama 1994, p.42.



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and with no fear of floods, people were happy to live on higher land at Nowra.⁴⁶

⁴⁶ Clark Alan, *Nowra 1888*, Leader Printery, Nowra, 1988, p.3



Nowra, 1852 [detail]. The survey by John Mann has been extensively reworked to show later land sales.
 Source: Department of Lands, Ns.1489.LF

2.5 GRAHAM FARM

The Graham Family and Greenhills 1840s to 1928

Thus, as outlined above, the Graham family were well established on their Greenhills holding by the early 1840s. A house for James Graham was extant by 1843, and tenant farmers had been installed on farms within the combined 740 acres [ie the original Butler and Layton grants]. The Greenhills property produced crops, cattle and dairy



products; and also contained the private hamlet of Greenhills. The ex-convict William Graham [Senior] had made good.

In January 1843, the 640 acres formerly promised to John Layton, was formally granted to ‘... William Graham and John Graham, the sons of William Graham the Elder, both of Shoalhaven’. The 640-acre grant was described as ‘... near Worreege ... opposite the Shoalhaven River at the North West corner of P. [Prosper] De Mestre’s one thousand three hundred acres and bounded on the East by part of the West boundary of the said P. De Mestre’s thirteen hundred acres, being a line bearing South ninety chains, on the South by a line bearing West eighty chains, on the West by a line bearing North seventy two chains to the Shoalhaven River, and on the North by the Shoalhaven River downwards to the North West corner of P. De Mestre’s one thousand three hundred acres as aforesaid, Being the land promised to John Layton, on or before the date mentioned; and of which he was authorised to take possession on 21 March 1829 as a Primary Grant being in lieu of the like quantity of which he received possession on 28 November 1827 but now Granted to the said William Graham, and John Graham and to their heirs and tenants in common.⁴⁷

In 1847 Michael Hyam built the Sir Walter Scott Inn on the road leading to the Bomaderry ferry on land leased from Graham.⁴⁸ This establishment was located on the south-eastern corner at the intersection of the modern Moss Street, Ferry Lane and Terara Road. The inn was diagonally opposite the later Moss's Central Hotel, erected in 1867.⁴⁹ John McCarthy was licensee of the Steam Packet Inn while McNab and Ringland also had hotels situated at Greenhills.

It is probable that the Public House shown on John Mann’s 1850 survey [see above] is the Sir Walter Scott Inn. It is also probable that of the two buildings shown on the western side of the Bomaderry ferry road in John Mann’s 1850 and 1852 surveys [see above] are the original Greenhills homestead outbuilding referred to in 1843 by John Glanville.

⁴⁷ Land Titles Office, Sydney, Vol. 1354, Folio 150 Book 2513 No. 445

⁴⁸ *Illawarra Mercury* 31 July 1863 ‘... the road was delayed because it ran through Hyam’s garden the proprietor is willing, the tenant unwilling ...’

⁴⁹ Florance Robyn, *A Village Jaunt – Greenhills to Greenwell Point*, unpublished, September 1993



In June of 1851, the 100 acres of land initially promised to Walter Butler in 1831 was formally granted to William Graham the Elder. The grant was described as '*... near Worrigee, at lower Shoalhaven; Commencing at the North Western corner of Layton's land and bounded on the East by part of the before mentioned land; being a line bearing North forty chains to the Shoalhaven River, and on the North by that River to the North West corner of Layton's land as aforesaid. Being the land promised to Walter Butler on or before the date afore mentioned, and of which we was authorised to take possession on the 23 April 1831, but now granted to the said William Graham the Elder, in accordance with the Report on the Case No. 1350 made ... by the Commissioner*',⁵⁰

In 1851 James Graham purchased a further 101 acres, for £208/1/6d, at Greenhills and the following September he purchased a further 108 acres for £108 and another 84 acres for £85/10/- in the same vicinity. Portion of this land was leased in 1855 to the Robson brothers William, Christopher, John, Adam and Thomas and their cousin Charles for fifteen years. The Robsons had the first five years rent free as long as the whole of the property was fenced by them '*... with strong and substantial three rail hardwood fence on or before the first day of January 1866*'.⁵¹ James and Mary moved to the Greenhills property. Their third child Rebecca was born there in 1852, followed by Margaret in 1854, Sarah in 1855, and William in 1864.

The Scot's Kirk had been established at Greenhills in 1851, on three acres of land given by James Graham, and was a slab building with a shingled roof. Gaelic services were held once a month, to which many people travelled on bullock drays or on one-horse sleds.⁵² The Church at Greenhills was used for worship until 1875 when the stone church, St Andrew's in Nowra, was opened.⁵³ A Free Church Day School operated adjacent to the Church from 1851, and by 1856 the headmaster Mr Ward was teaching forty six students.⁵⁴ This

⁵⁰ Land Titles Office, Sydney NSW, RPA Vol 53, Fol. 185, Book 2530, No. 780

⁵¹ Copy of Lease held by Ann Pulvertaft

⁵² Back to Shoalhaven Committee, *Book of Shoalhaven*, Nortons Ltd, Sydney, 1926

⁵³ Florance Robyn, *St. Andrew's Presbyterian Church, Architectural Study*, unpublished, May 1992

⁵⁴ *Illawarra Mercury* 30 June 1856; and Cousins, op cit.



school operated until 1857 when the Presbyterian School was established in Nowra.⁵⁵

William Graham, the Elder, died at Greenhills on 20th September 1852 and was buried on the family property in a small area set aside as a burial ground.⁵⁶ The following year, just five days before Christmas, Margaret Graham died and was buried beside her husband.⁵⁷ After his father's death, James took over the running of the estate and as executor of his father's will, divided the original 640 acres between his brother John, his sister Jane, and William's wife Maria and her four surviving daughters. James retained the original 100 acre grant,⁵⁸ which initially had been promised to Butler.

John Graham inherited a one-quarter share of his father's property, but he was not interested in farming. He did not join his brothers William and James in applying for a grant. He had gone to Sydney to work as a carpenter.⁵⁹ In 1831 he married and had moved to Moreton Bay to live. He apparently rented his portion of the property.⁶⁰ Jane Monaghan received a one-quarter share of her father's property.⁶¹ This land passed to her second son, James Monaghan. Her elder son, John, received the Mayfield property. The last portion was due to William, who had predeceased his father. Apparently no adequate provision was made in the settlement for his surviving daughters so William's daughters Maria [wife of David Hyam], Phoebe [wife of Duncan Robertson], Selina [wife of Robert Williams] and Esther Graham, took James Graham, as executor of the estate, to court and received their father's share to be divided equally between them.⁶²

Shortly after James and Mary moved to the Greenhills property a third child, Rebecca, was born there in 1852, followed by Margaret in 1854, Sarah in 1855, and William in

55 *Illawarra Mercury* 29 June 1857, p.3

56 Information from headstone in the Graham family private burial ground.

57 Information from Anne Pulvertaft, Sunshine Beach, Queensland

58 Marked B on the Parish map

59 The 1828 census records John Graham living in Sydney in the home of George Hawker, occupation carpenter

60 Marked C on the Parish map

61 Marked D on the Parish map

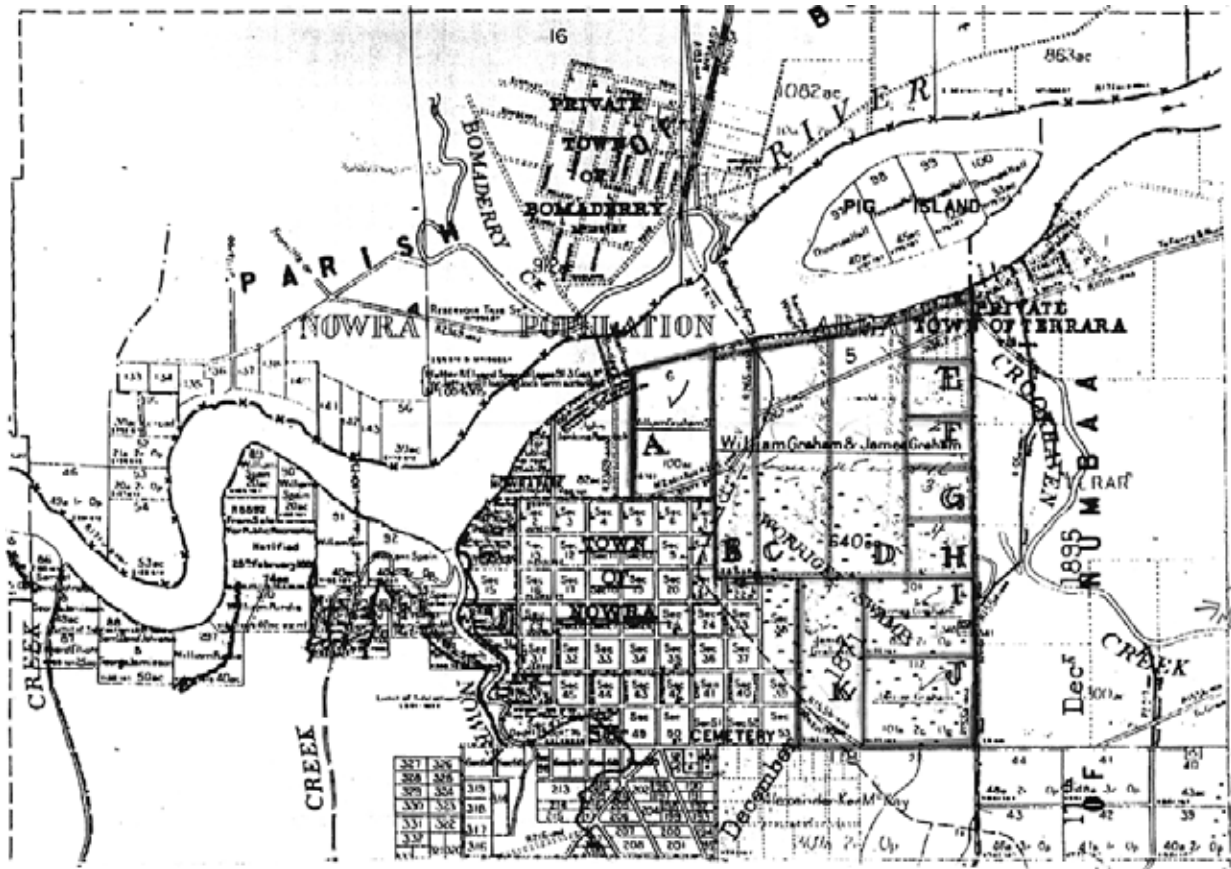
62 Marked E, F, G and H on the Parish map



1864. In 1857 James Graham and Mary Gardner were married at "... *the home of the Bridegroom at Greenhills...*" on 28 September 1857.⁶³ The young family were living in the old brick house. It was soon apparent that this house was too small for his growing family, so James contracted Willet Bury and Charles Moore of Nowra to erect a new house on the estate. Although work began on the new house in January 1860, it was not completed until after May 1861.⁶⁴

⁶³ Information from Marriage Certificate

⁶⁴ The story of the building of the new Graham residence is told in the next section.



Parish map, ND, showing the Municipal District of Nowra, and the subdivision of the Greenhills Estate.

- The portion marked A was transferred to James Graham Junior [from William Graham the Elder]
- The portions marked B, C and D were transferred to James and John Graham and James Monaghan respectively.
- The portions marked E, F, G and H were transferred to Michael Hyam, Maria Hyam and Christina Williams [G and H] respectively.
- The portions marked J and K remained in the ownership of James Graham.

Source:

Anne Pulvertaft, Sunshine Beach, Queensland

By November 1861 John Graham had returned from Moreton Bay to live on the property. He sold some of his horses at an auction sale on 5 November at Greenhills.⁶⁵ John died only a year later, on 24 April 1862, at Greenhills. His death was recorded in the *Illawarra Mercury* of 29 April 1862.

Death: John Graham, brother of James Graham, JP, of Greenhills. Died on 24th April. Resident of Moreton Bay for a number of years and settled at Shoalhaven in the last few months.

John was buried in the family private burial ground. In his will John left his share of the Greenhills property to his son John. This property was eventually sold to his cousin James Monaghan, refer Parish plan above.

Sadly, James did not live long enough to enjoy his new home as he died on 24 July 1867 and was buried in the family burial ground. His death and obituary were recorded in *The Shoalhaven News* of 27 July 1867.⁶⁶

⁶⁵ *Illawarra Mercury*, 5/11/1861

⁶⁶ Florance Robyn, *Index to Birth, Death, Marriage & Obituary Notices from The Shoalhaven News, 1867-1873*, Shoalhaven Family History Society Inc., Nowra, 1992, p32



***Death:** On the 24th July at his residence, Green Hill, Shoalhaven, James Graham Esq. J.P. Aged 66 years.*

Death of Mr James Graham, Esq. J.P.

We have the painful duty this morning to chronicle the demise of James Graham Esq., one of Her Majesty's Justices of the Peace for the district, who died at this residence, Green Hill, on the evening of Wednesday, the 24th July, instant. The deceased gentleman had for a long period been declining, and for some months past had not been able to leave his house and for the fortnight preceding his dissolution was altogether confined to his bed. Mr Graham was one of the earliest pioneers of the district, and has resided permanently here over thirty years. As a magistrate he stood very high in the opinion of all, as a fair, just and impartial administrator of justice; and as a private gentleman none could have been more highly esteemed and deservedly respected by all classes of the Shoalhaven community. The deceased gentleman had attained his 66th year. The interment took place yesterday in the family burial ground, on the Green Hill estate, and was numerously and respectably attended by friends who desired to pay the last tribute of regard to departed worth. Mr Graham leaves a wife and family of young children to mourn their sad bereavement.

Only four months after James' death his son John was killed while playing cricket at Newington College where he attended school. He was hit by a cricket ball to the head while playing a match at school. John was only 16 years of age. He was buried at Parramatta.⁶⁷

James Graham [Junior] then took over the running of **Graham Farm** at Greenhills. His mother re-married to Thomas Robson, and they went to live on his property. Mary had two children to Thomas; Ninian and Thomas Junior. Mary died on 21st August 1911 and is buried beside Thomas in the Presbyterian section of the Nowra General Cemetery.

James [Junior] married Emily Ann Hewitt on 15 August 1871 and they lived at Graham Lodge. Their seven children were born there. The children's names were James Albert Seymour [1872], Hilda Victoria Eva [1874], Herbert Lionel [1876], Ross Stewart [1878], Margaret Neridah [1882], Emily Alma Elizabeth [1884] and Hermoine Ivy [1885].

⁶⁷ Correspondence - Anne Pulvertaft



Sadly Hermoine Ivy [Lovely] died on 2 February 1893, at only 8 years of age. Lovely was buried in the private Graham Lodge burial ground where a headstone marks her resting place. Emily Ann Elizabeth died on 31 May 1909. Of the other children, James Albert married Helen Goldsworthy on 14 May 1895, and they had three children, Nigel Eric [1895], Douglas Earle [1896] and Ellen R [1898]. Douglas Earle was killed in action on 14th April 1918 while serving with the Australian Expeditionary Forces in France.

Hilda Victoria Eva married Thomas Simpson Crawford at St Andrew's Presbyterian Church on 12 September 1900. After the ceremony a reception was held at Graham Lodge. They had one son, Carlyle Graham. Herbert Lionel died on 14 September 1919 as is buried in the private burial ground. Ross Stewart died of Bright's disease on 7 February 1906 aged 27 years of age, and he also is buried in the private Graham Lodge burial ground. Margaret Neridah married Cyrus Saul Moss at the home of the bridegroom, **The Corals**, Ferry Lane, Nowra, on 6 July 1920, but the couple had no children.⁶⁸ Emily Ann Graham died on 13 November 1924 and was buried in the private Graham Lodge burial ground. James Junior survived his wife a further two years and died on 4 June 1927. He was buried on the following Monday in the private burial ground.

James Graham [Junior] was '*... a noted maize and lucerne grower. He was one of the first committeemen and the only survivor of the Shoalhaven Agricultural Society formed in 1874, also for many years a member of the Shoalhaven Licensing Bench and local Land Board. A keen sporting enthusiast, he figured prominently as a cricketer, and played against the English team that visited Nowra in 1885.*⁶⁹

The death notice for James Graham read as follows:

PASSING OF THE PIONEERS

MR JAMES GRAHAM

By the death of Mr James Graham of Graham Lodge, Greenhills Estate, which sad event occurred during Saturday night, one of the links between early days of Shoalhaven and the present has been

⁶⁸ *Reflection on the Past - From the Camera of Cy Moss*, A Photographic Exhibition presented by Shoalhaven Historical Society Inc. for Heritage Week, 1996

⁶⁹ 'James Graham, Pioneer, Early Shoalhaven', in *Back to Shoalhaven Week Celebrations* book, Nowra 1926.



snapped. The late Mr James Graham was born at Mayfield in November 1850, so that he was in his 77th year at the time of his passing. He was the son of James Graham, who was the son of William Graham, one of the earliest of the pioneer settlers in Shoalhaven. For something like a century the name of Graham has been prominent in the public life of the community. The founder of the family in Shoalhaven was the original owner of the Greenhills Estate of 740 acres, and during a hundred years one or other member of the family has been resident on portion of that fine property. The late Mr James Graham was educated at Newington College, but after his academic course at that famous institution he returned to Shoalhaven and engaged in farming pursuits on the property that he afterwards inherited. He was noted as an up-to-date and progressive farmer, devoting his energies principally to maize and lucerne growing, for which the Greenhills property has been justly famed. He was one of the foundation members and first committeemen of the Shoalhaven A. and H. Association, and the last of that pioneer band. He was also for many years prominent as a magistrate and as a member of the Licensing Bench, as also a member of the Local Land Board. In his young days he was a keen sporting enthusiast, especially in the cricket field, and played with a district team against an English eleven that visited Nowra in 1885. He was a man of fine parts, of sterling probity, and though not actively identified with civic life took a keen interest in all matters affecting the welfare of Nowra and Shoalhaven, and gave liberally of his means towards the support of every deserving movement. He was concerned in a case against Nowra Council some years ago, but most people will agree that he was very lenient and considerate with that body, and only took action when he was forced to protect his own interests. The result of that action was that Council took steps to have a portion of the Greenhills Estate to be resumed for town drainage. The late Mr Graham married Miss Emily Anne Hewitt, a member of another well known and highly esteemed pioneer family, but of their family of children only three now survive - Mr J A. Graham, of the Gosford district; Mrs Crawford [wife of Mr T Crawford, barrister, and Crown Prosecutor of the Hunter and Southern District]; and Mrs Moss [wife of Mr C. S. Moss, well-known citizen and member of an honoured pioneer district family]. The late Mr Graham was one of Nature's gentlemen, with a kindly courtesy than endeared him to all friends and acquaintances. The mortal remains of the deceased gentleman were interred on Monday afternoon in the private burial ground on the estate, alongside those of his life long partner, who predeceased him 2 1/2 years ago. The Rev. J.H.G. Auld., B.A., conducted the last sad rites at the graveside, and referred to the good citizenship of the deceased. The Masonic service was



conducted by Wor. Master T. Dudgeon. Members of the Lodge Abercorn conveyed the coffin from the house to the grave.

Following the death of James Graham, his second daughter Margaret Neridah [Madge] took over the property. Her husband Cyrus Saul Moss died at Graham Lodge on 25 October 1931 at the age of 59 years. Madge was getting older and the property was too much for her to look after. After much deliberation she reluctantly placed the property on the market. She did not like the thought of Graham Lodge being sold out of the family, however, in October 1928, the Graham farm was put up for auction.

The Building of Graham Lodge

The construction of the two-storeyed Georgian Graham Lodge, to replace the earlier 1840s residence on Graham Farm, was an act of consolidation and faith in the Graham occupancy of their land adjacent the Shoalhaven River.

Charles Moore, stonemason and bricklayer, was chosen to build the house. The choice of Moore as builder recognised the importance of the Moore family as builders within the Shoalhaven region. It was as a recognition, on the part of James Graham, of the need in social and functional terms, to 'contract out' the building of his residence.

The Moore family undertook the building of many of the region's fine Georgian residences. These buildings included Bundanon near Nowra [1866], Eyrie Bowrie at Milton [1866], Mount Airlie at Milton [1868], and Boolgatta at Yatta Yattah, built by James Moore [1868].



Watercolour by Samuel Elyard, c.1877. 'Graham Lodge' and associated Graham Farm buildings are at right.
Source:
Shoalhaven Art Society, Nowra

On 24 January 1860 Charles Moore, a stonemason, of Nowra, contracted to supply the materials and to erect a brick house on stone foundation for James Graham, at Greenhills, to be completed within three months.

'...The said Charles Moore agrees to .supply the said James Graham with Fourteen Stone Window Sills, 4ft x 1ft six inches thick at 6/- each to be dressed and finished in a workman like manner... Two Door Steps. 4ft long x 1ft square at 6/- each... Eight Hearth Stones, 4ft 6 inches long x 1ft 6 inches wide dressed and finished at 18d per foot... One hundred and sixty feet of Base Course, 16 inches wide 1ft thick at 18d per foot, to be dressed... One Hundred and Fifty Five feet of rough stone, 1ft deep x 16 inches wide, at 8/- per perch... The laying of' Stone Work for the foundation of Mr Graham 's House at 5/- per perch... Brickwork to be done a £4 per rod - struck joints outside to be left for plastering inside - outside opening to be measured in...'⁷⁰

On 6 July 1861 Charles Moore contracted to '*... do all the plastering of his new House at Greenhills ..giving the same three coats of plaster ... at the rate of 1/- per square yard ... All cornices to be paid at the rate of 2/6d per superficial foot...'*⁷¹. Apparently the masonry work took longer than first agreed upon and the cost was higher than first quoted, so in this agreement no

⁷⁰ Memorandum of Agreement between James Graham of Greenhill and Charles Moore of Nowra

⁷¹ Ibid.



money was to be paid to Charles Moore until the job was finished. Moore agreed to finish off '*... Two rooms of the House immediately after the top rooms are floored so as he can go on with the work...*'

On 20th May 1862 Willet Burrey of Nowra contracted '*...to finish all the carpenter work for the House of the said James Graham at Greenhills ... the work to be done according to the Specification already made - and to be completed in business and workman like manner for the some of £125 - Four of the rooms to be completed immediately and the remainder when required...*'⁷²



Watercolour by Samuel Elyard, c.1877 [detail]. 'Graham Lodge' and associated Graham Farm buildings.

Source:

Shoalhaven Art Society, Nowra

The house was described as 'a mansion' when a New Year Party was held there in January 1864.⁷³ In April 1866 James sold portion of the Greenhills Estate at a Land Sale held on the Estate.⁷⁴ One year later, on 24 July 1867, James [Senior] died.

⁷² Memorandum of Agreement between James Graham of Greenhill and Willet Burrey of Nowra

⁷³ *Illawarra Mercury* 8th January 1864

⁷⁴ *Illawarra Mercury* 13th April 1866



Reconstructed measured drawing of Graham Lodge c.1877, refer below.

Sequential Plans Nos. 1 and 2: Graham Lodge/Farm c.1877, refer below

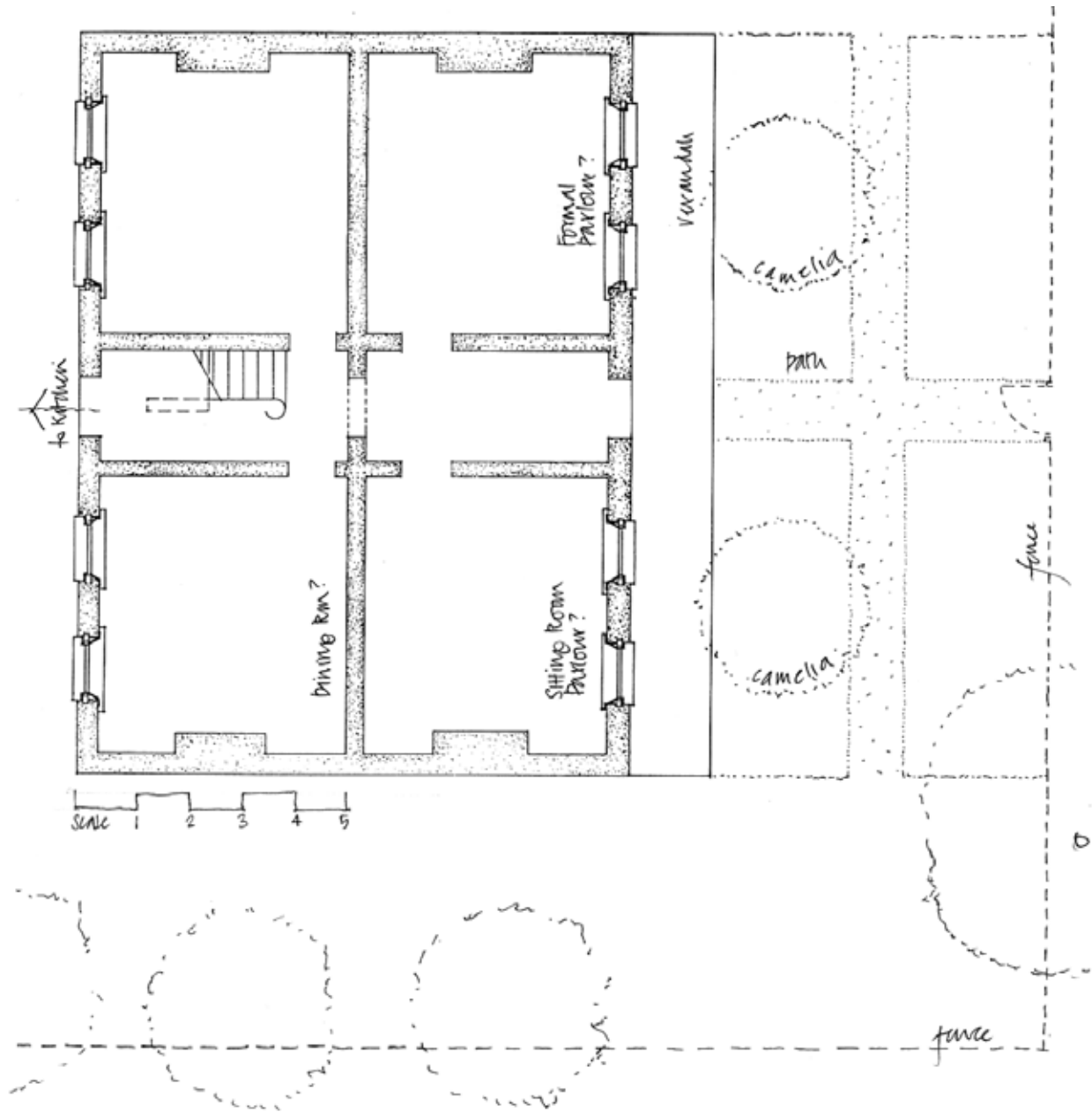
The house that Charles Moore and Willet Burrey built for James Graham was 'conventional' in the architectural grammar and style of the day. The house had a conventional and symmetrical ground plan with a central corridor and stairway; and four main rooms, of equal plan size, entered from the corridor. The upper plan was similarly conformed, with four main rooms entered from the corridor. As Samuel Elyard's c.1877 painting shows, the main house [Graham Lodge] was surrounded by secondary buildings related to the Lodge [kitchen, cottages, sheds, etc.] and/or related to the pastoral and agricultural activities of the Graham Farm. A reconstructed 'architectural' plan of the Lodge, and c.1877 conjectural sequential plans are set out below.

It was entirely to be expected that James Graham Senior would, towards the end of his pastoral, political and land holding career, build himself an imposing and formal residence. His neighbours, along the Shoalhaven River and around Nowra, were also engaged in similar activities. At Milton the Seccombe family were in the process of building the similarly imposing residence of **Eyrie Bowrie** in 1866. The Seccombe family, like James Graham, were also involved in Local Government activities.

Section 4.0:
Analysis of the Physical and
Historical Overview, Volume 1

At **Bundanon** on the Shoalhaven River to the west, McKenzie was building his Georgian style two storey stone residence, and at **Boolgatta** and **Mount Airlie**, owned by the Warden family, who were also prominent landowners in the Milton region, imposing two-storey residences were being built. A comparative overview of the similar, and contemporary, Shoalhaven River residences is included at **Section 4.0** below. In addition, the famous architect James Horbury Hunt designed **Barrengarry** for the Osborne family in 1868-1870.

It is not surprising that many of these 1860s buildings were similar in style, form and detail. Firstly there was the inevitably conformist approach in style and fashion of the early Victorian landowners. Secondly, and probably more



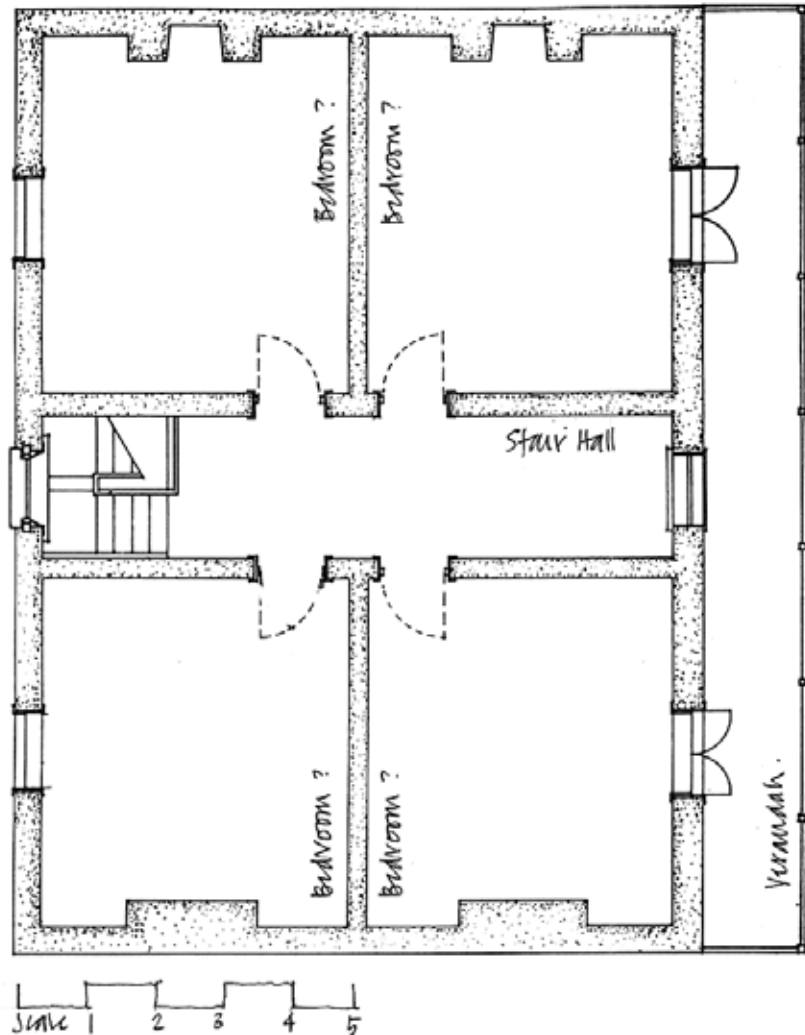
**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998**

CONJECTURAL FLOOR PLAN NO. 1

Graham Lodge, conjectural Ground Floor plan, early 1860s.
Conjectural room functions shown.

Source:

PF/PG measured drawing 1998 and c.1890s photographs



GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998

CONJECTURAL FLOOR PLAN NO. 2

Graham Lodge, conjectural First Floor plan, early 1860s.
Conjectural room functions shown.

Source:



GRAHAM LODGE PRECINCT • NOWRA
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PF/PG measured drawing 1998 and c.1890s photographs



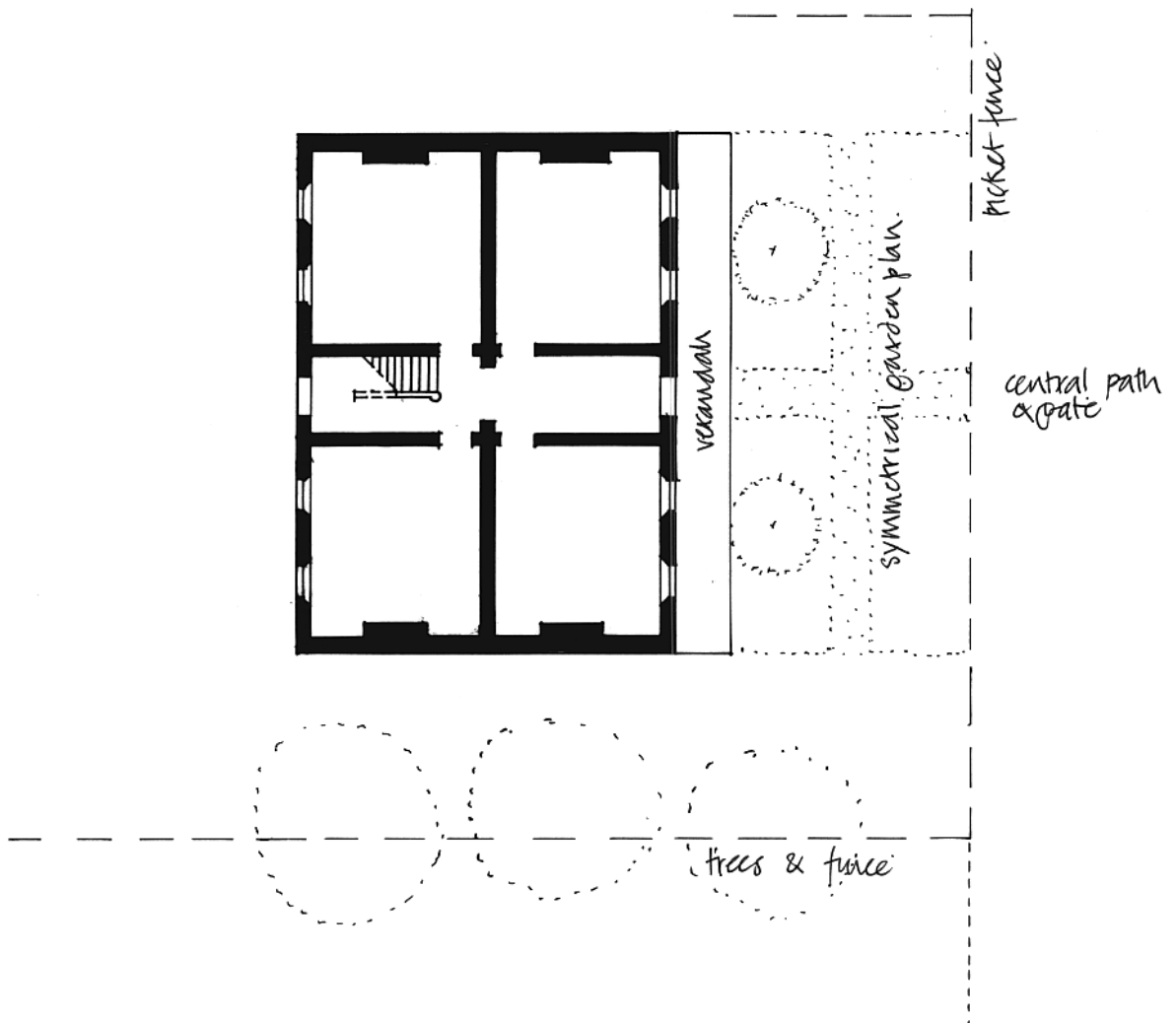
**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT
PLAN
1998**

SEQUENTIAL PLAN NO. 1

This plan shows Graham Lodge soon after it was completed, say **1877**, when Samuel Elyard painted the complex of buildings.

Source:

PF/PG plan based on c.1877 Samuel Elyard painting, Una Thurgate recollections and on measured drawing.





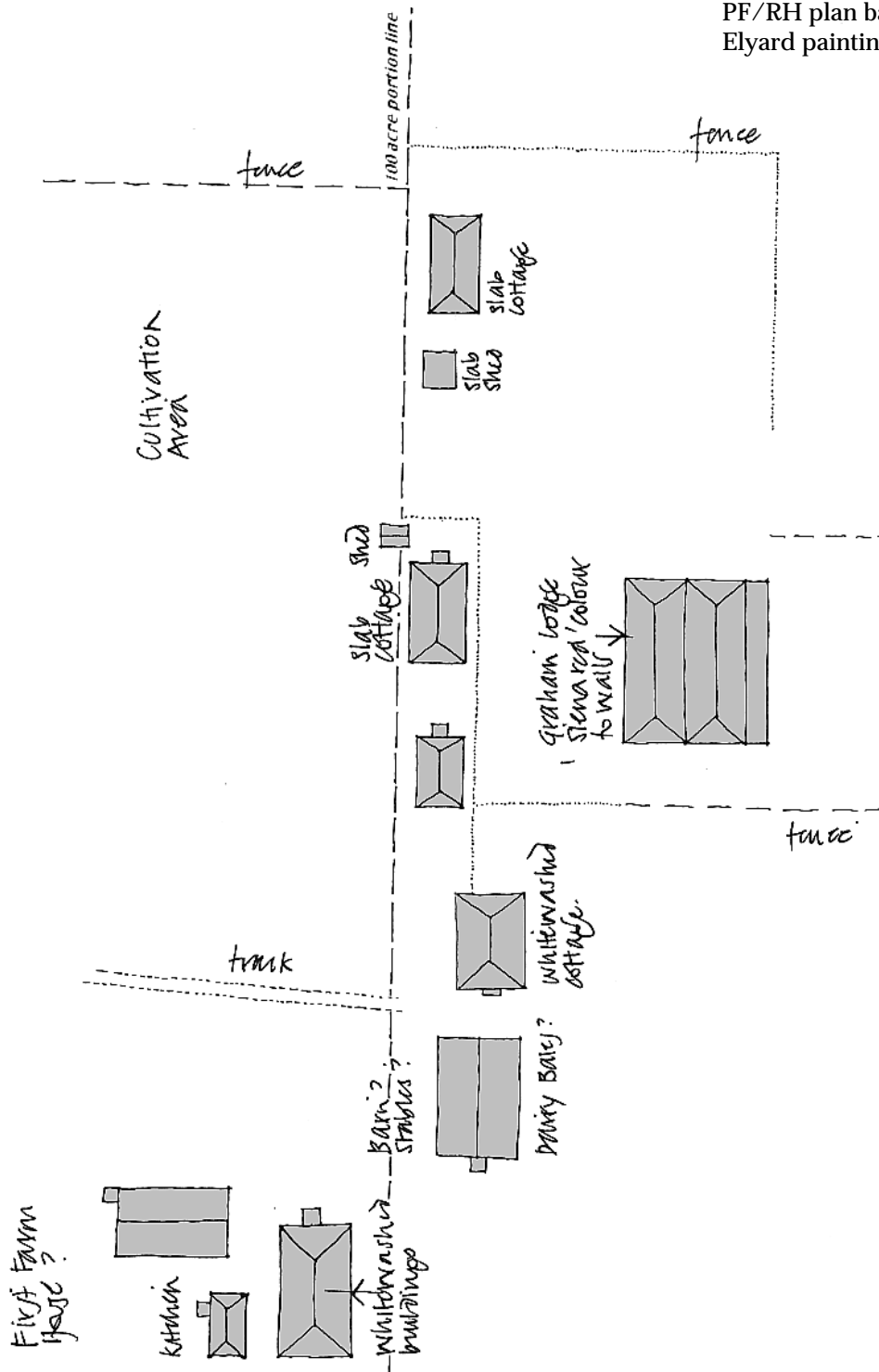
GRAHAM LODGE PRECINCT • NOWRA
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GRAHAM LODGE PRECINCT
 CONSERVATION MANAGEMENT
 PLAN
 1998

SEQUENTIAL PLAN NO. 2

The Graham Farm, c.1877. Not to scale

Source:
 PF/RH plan based on c.1877 Samuel Elyard painting.





importantly, many were built by the same family of builders. In this respect Graham Lodge may have been a social benchmark of the 1860s, setting new architectural and construction standards for the region.

On 24 January 1860 Charles Moore, stonemason of Nowra, [builder and mason James Moore built **Boolgatta**, at Yatta Yattah in 1868, described as the finest house outside Sydney] agreed to supply the materials and to erect a masonry house for James Graham at Greenhills. The house was completed by 1864 when a party was held to celebrate New Year. Sadly, James Graham did not live to enjoy his new house, as he died on 24 July 1867. The property was inherited by his son, also named James Graham.

The new house, the second two storey residence to be erected in the Shoalhaven district, was located to the north east of the first farmhouse at Greenhills, but lower down and towards the Graham family cemetery, thus including this in the contextual landscape framed by Coolangatta Mountain and the riverscape. A new brick cottage was erected close by linking the new house with the farm complex and first farmhouse. This landscape with its 'grand' house was recorded c.1877 by Samuel Elyard. Elyard's painting is a valuable record of the contribution of the farmhouses, barns and other structures to the landscape context of Graham Lodge. The painting clearly identifies the external colour schemes and finishes of a range of buildings, including Graham Lodge.

We can surmise that, in common with many other families in the 1860s, the house was an expression of social status, pride in their achievements and a wish for greater permanency. James Graham's election as Mayor in 1860 and the construction of Graham Lodge in the same year were more than coincidence. Graham Lodge was also an expression of the community's growing awareness of the need for local government.

Graham Lodge, in its original form, was a fine building with a delicate cast iron balcony and verandah to the east [front] elevation, topped with a similarly delicate bell-cast verandah roof. The building was of brick on stone foundations, with a rendered finish coursed to simulate ashlar masonry construction. The roof was a double hipped slate clad roof



Section 6:
The Growth of Nowra,
Volume 1

with a central gutter; and the building profile was dominated by for chimneys which served each of the Lodge's eight main rooms. In stylistic terms, the building was in the *Victorian Filigree* style.⁷⁵

It is obvious that the children of James Graham [Snr] were good custodians of the Lodge and its surrounds, for although radical change was taking place on all sides of the Graham Farm [refer next section on the growth of Nowra], the Graham Lodge enclave remained virtually intact. Una Thurgate's [Una Bourne's] recollections describe a house little changed since its construction in the early 1860s.



Graham Lodge, c.1890. Note the side picket fence and Lodge outbuildings at right.
Source: Shoalhaven Historical Society Inc. No. S906

⁷⁵ Richard Apperly et al, *Identifying Australian Architecture*, 1989, pp. 60-63



Graham Lodge, c.1900, from the east. Note the humble post and rail fence with wire netting, and the growth of the camellia trees.

Source: Shoalhaven Historical Society Inc. Cy Moss photograph



2.6 THE GROWTH OF NOWRA 1870S TO 1920S

Nowra township soon began to develop into a thriving rural service centre, from its humble 1850s 'Government Town' beginnings. Much of this growth was fuelled by the expanding dairying industry of the Shoalhaven River area, and of the coastal plains generally.

The new council of Numbaa, south of the river and east of the new township of Nowra was formed in 1868. The Council took over the roads in the district which had been virtually all been constructed by Berry for the convenience of his Coolangatta estate. With a rate income to spend, the Numbaa Council improved the road to Gerringong in the years following 1868. By gradually linking local road systems, the main south road was created linking Kiama with Ulladulla and the new township of Milton⁷⁶.

The Shoalhaven Road bridge was opened in 1881 but did not begin to have any significant effect on the Shoalhaven district until the 1890s when the railway line from Kiama was extended to Bomaderry in 1893.⁷⁷ The railway soon dominated the passenger market between Nowra and Sydney. After 1895 the Illawarra Steamship Company

⁷⁶ *The History of the Princes Highway*, Main Roads 16 iii, March 1951, pps75-81.

⁷⁷ J. Gunn, *Along Parallel Lines: A History of the Railways of New South Wales, 1850-1986*, Carlton, 1989, pp.140-141, 167



concentrated on freight but by the 1940s the shipping activities of the Company had virtually disappeared.⁷⁸

During 1891 to 1892 the Department of Agriculture sent out a travelling dairy to display the modern systems of butter and cheese making.⁷⁹ Any area which could rely on enough suppliers was able to start its own butter and cheese factory with milk brought in carts to the factory.⁸⁰ On 10 September 1895 the Berry Central Butter Factory opened, reputedly the largest in New South Wales. The Nowra Co-op Dairy Co Ltd started in 1902 but soon moved to Bomaderry [directly over the river from Graham Farm] and adjacent to the railway sidings.⁸¹

⁷⁸ A. Clark, *Shipping in the Shoalhaven District* 1989, p.4

⁷⁹ Dowling, *op cit*, p.6 and pp.160-163

⁸⁰ Harrison, Kay, *A Nursery for Cattle, Nowra* 1987, p.18

⁸¹ Griffith, John, *A History of Kangaroo Valley, Australia*, Kangaroo Valley 1978, p.56



The Shoalhaven River and its bridge, **1881**. This superb photograph was taken by photographer Auguste Tronier from the north-eastern side of the Nowra bridge, where the Fisherman's Co-op is today, and looking across towards Nowra [Riverview Road]. It is interesting to note that the bridge approaches are still incomplete and that the Shoalhaven River carried significant river traffic. The two storey Graham Lodge can be seen on the far side of the river, to the left of the photograph.

Source:

Berry Historical Society

Significantly both the Nowra and Berry factories were sited to take advantage of permanent water [rivers] in close proximity to the railway which had arrived at Bomaderry in 1893.

The construction of the bridge across the Shoalhaven had several important repercussions for the area around Graham Lodge. With the completion of the bridge, Bridge Road, to the west of Graham Farm, assumed great importance as the main coastal route from Sydney. With the use of the bridge, traffic at the Ferry Road ferry diminished, and with the loss of ferry trade, and the associated flooding catastrophes of the 1860s and 1870s, development around Ferry Road and the Numbaa road declined.

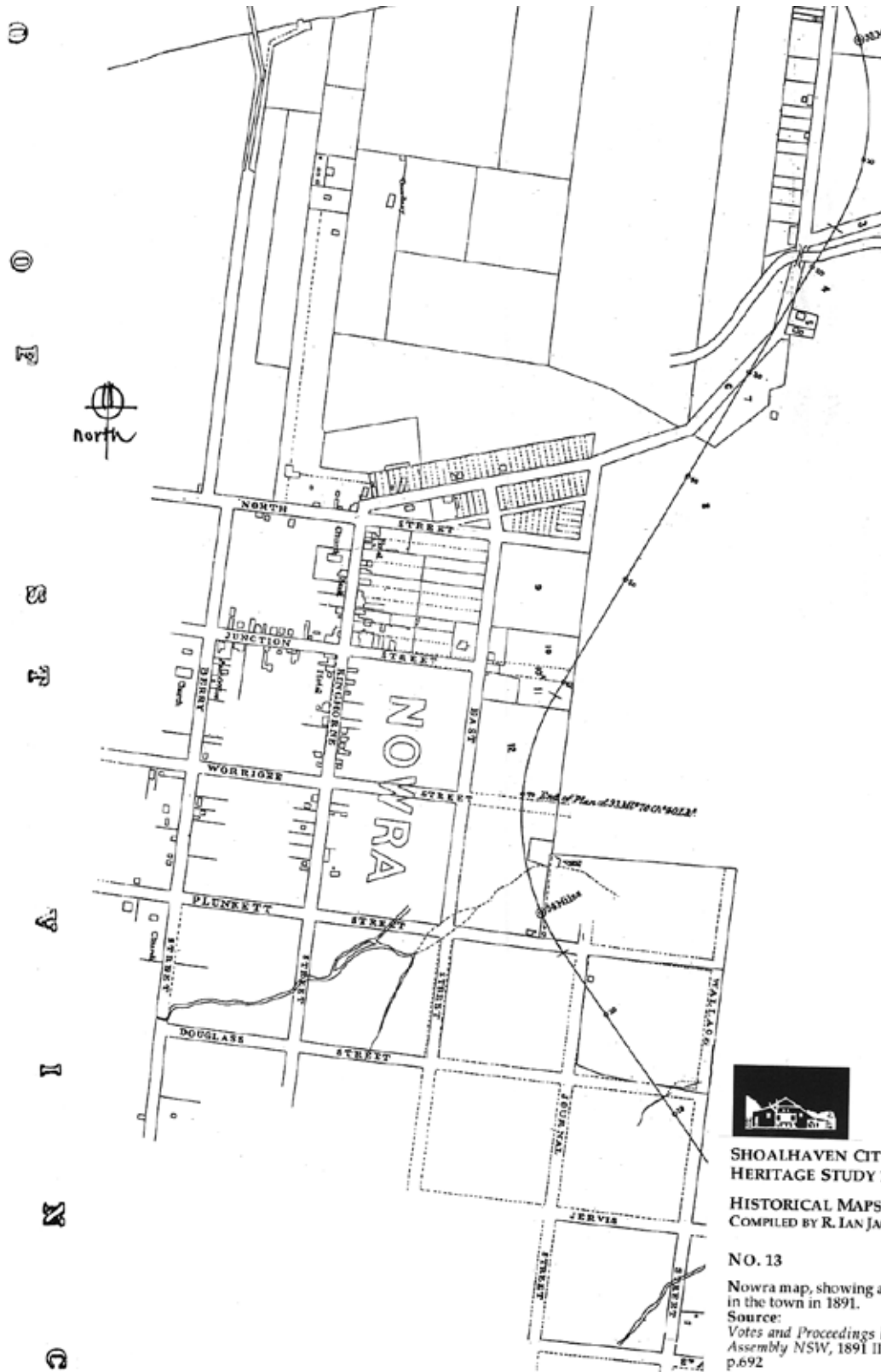
The completion by 1893 of the railway link from Kiama to Bomaderry, and the completion of the bridge over the Shoalhaven more than ten years earlier, further consolidated the growth of Nowra. As a consequence from the rail and road based traffic primarily from the north [and from the south], the allotments east of Bridge Street, and west of the Graham Farm boundary, came to be quickly developed. Graham Lodge, which was designed to face across the river



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flats to the river, now presented its 'rear face' to the Nowra township entrance and the Princes Highway.



SHOALHAVEN CITY COUNCIL
HERITAGE STUDY 1997

HISTORICAL MAPS & PLANS
COMPILED BY R. IAN JACK

NO. 13

Nowra map, showing all buildings
in the town in 1891.

Source:
*Votes and Proceedings Legislative
Assembly NSW, 1891 III Plan 2 after
p.692*



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Nowra map, showing all
buildings in the town in 1891.

Source:

Votes and Proceedings
Legislative Assembly NSW,
1891 III Plan 2 after p.692



2.7 THE GROWTH AND DEVELOPMENT OF NOWRA: 1930S TO PRESENT

Nowra continued to grow and prosper because of its importance as a transport terminal, and because of the prosperity of the pastoral, agricultural and dairying industries within the area.

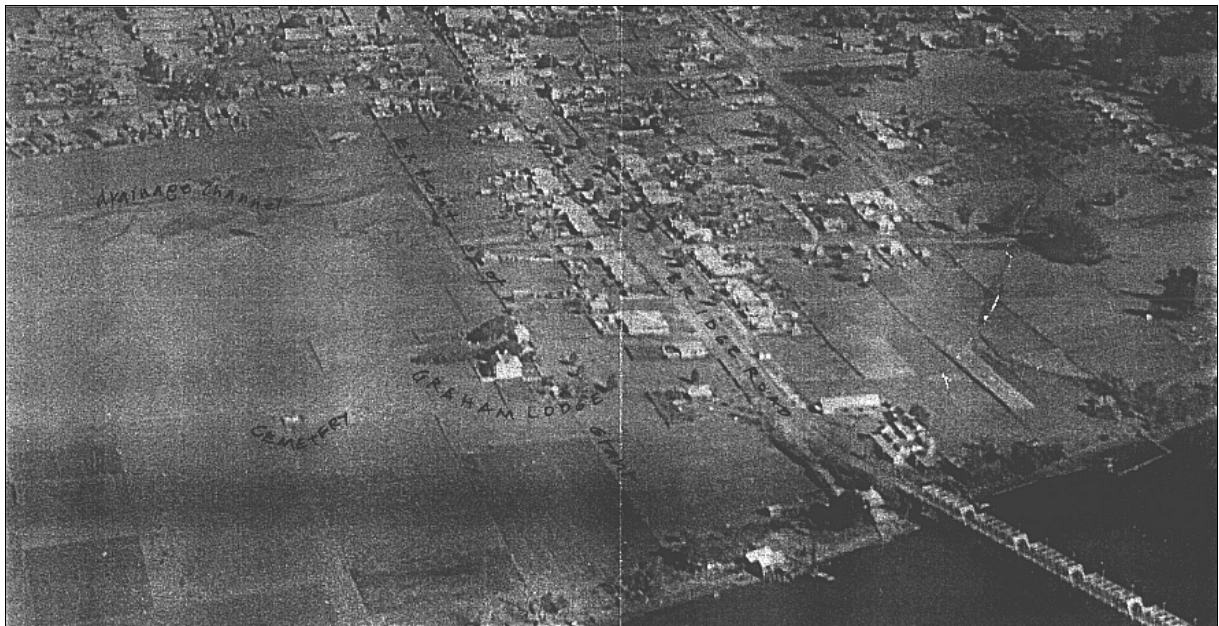
The eastern limit of development of Nowra was controlled by the low land of Greenhills Estate and the Worrigeer Swamp. East Street thus became the effective boundary of the town near Worrigeer Swamp. The same pattern was evident to the east of Bridge Road, although some development occurred here, including the construction of a hospital on the lip of land between Graham Farm and Bridge Road. The Graham family appear to have maintained good relations with the Nowra Municipal Council and to have assisted them where possible. This assistance appears to have included the sale of their land for public purposes.

Refer Sequential Plan No. 4,
c.1934
Section 4, this Volume

Aerial photograph of Nowra
East, 1937.

Source:
Shoalhaven Historical Society,
Inc. S1144. Annotations by PF

In 1931 the State Milk Board was constituted by the State Government with wide control over all sections of the industry and in 1936 the South Coast Milk Train was instituted. Many Shoalhaven farmers were now effectively linked directly to the metropolitan area.⁸²





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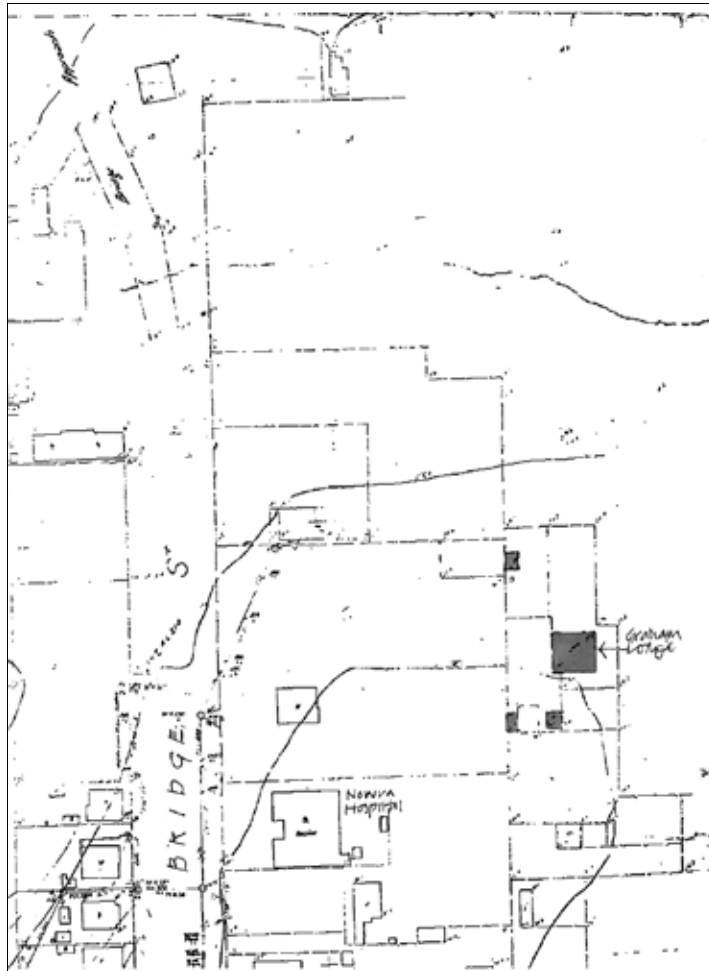


Above: Aerial photograph of Nowra East, 1937 [detail].

Source:
Shoalhaven Historical Society, Inc. S1144. Annotations by PF

Right: Nowra East, 1934. The Graham Farm buildings are shown shaded.

Source:
Shoalhaven Historical Society, 1934 Sewerage Plan





Feed silos and feedstalls/sheds were ubiquitous in the post war era due to the demands of the factories and the Sydney supply zone and the consequent need for winter feeding. Increasing specialisation in the supply of fresh milk was assisted by the growth of roads. In 1920 the main south road was christened the Princes Highway after the Prince of Wales; from 1925 it was the responsibility of the new Main Road Board.⁸³ The way was open for milk collection and delivery by road.

Aerial photograph of Nowra from the north, ND. The north-south route can be clearly seen. Note the developed Bridge Road frontage, with Graham Lodge to the east.

Source:
Shoalhaven Historical Society
Inc photograph

Nowra township continued to develop with Bridge Street serving as the 'entrance' road from the north. Development was consolidated along this street, and along Berry Street as the main highway along the coast [ie the Princes Highway]. Thus by 1947, the eastern frontage of Bridge Road was entirely developed, and Graham Lodge, which was hidden by trees anyway, no longer had the 'public visibility' it once had in the late 19th and early 20th century.



By 1967 the route of the proposed bypass of the city centre had been confirmed. This bypass connected with East Street

⁸³ *The History of the Prince's Highway*, Main Roads 16 iii, March 1951, 75-81.



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at its junction with North street. The completion of the new road bridge across the Shoalhaven river in 1980 effectively severed Graham Lodge from the townscape with the opening of the bypass to East Street. The bypass works also destroyed the site of the first farmhouse.

Refer Sequential Plan No. 5,
1967
Section 4, this Volume

The 1967 town map showed the proposed bypass location, which was to connect the future new bridge to East Street. Refer also Sequential Plan No. 5, at Section 4 below.



Town of Nowra and
surrounding lands [detail],
1967
Source:
SMA map

Within the 1960s, a number of subdivisions in the North Nowra area were undertaken. It was within this period of buoyant development activity [1967] that Graham Lodge was being converted into a reception centre known as Prague Lodge.



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The Nowra bypass, 1998. The right turn gives access to Bridge Road. Graham Lodge is behind the pines in centre mid-ground.

Source:

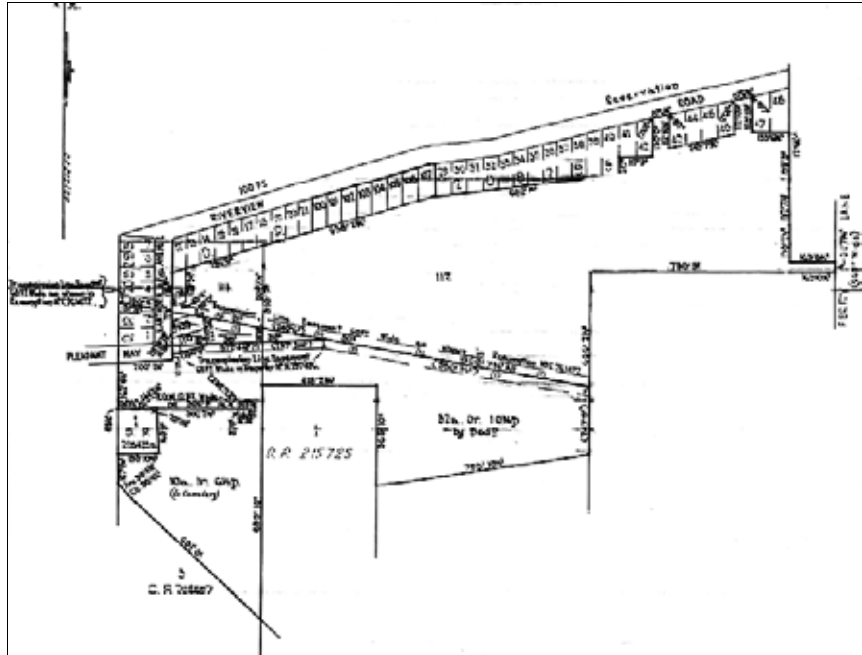
Hans Smit 1998 photograph



North Nowra, looking across to Bomaderry. Note the first residential developments within the newly subdivided areas along Riverview Drive and Elia Avenue. Hawthorn Avenue and Pleasant Way have also been formed. Pleasant Way was later truncated by the Princes Highway bypass.

Source:

RANAS. Annotations by PF



The proposed Riverview Drive subdivision, 1963.

Source:
SCC

The Princes Highway bypass was constructed in the years 1980 to 1983. The completion of the bypass effectively 'quarantined' the old Graham Lodge/Prague Lodge buildings, which had by then been purchased and altered as the Nowra Bomaderry Leagues Club.

With the removal and dislocation of the 'historic' road framework at the northern entrance to the City of Nowra, the historic 'footprints' of the site were either removed or modified. The Graham Lodge/Nowra Bomaderry Leagues Club site, for instance, cost its historical prominence at the western edge of the river flats; and was compromised both by the modern and encroaching residential development, but also by the proximity of the Highway bypass, refer Sequential Plan No. 7 and Nowra plan below.

Refer Sequential Plan No. 7,
1998
Section 4, this Volume

2.8 GRAHAM LODGE/PRAGUE LODGE & THE NOWRA BOMADERRY LEAGUES CLUB: 1928 TO THE PRESENT

The Bourne Family

Following the death of James Graham [Jnr] in 1927, the property valuation described the property as follows:⁸⁴

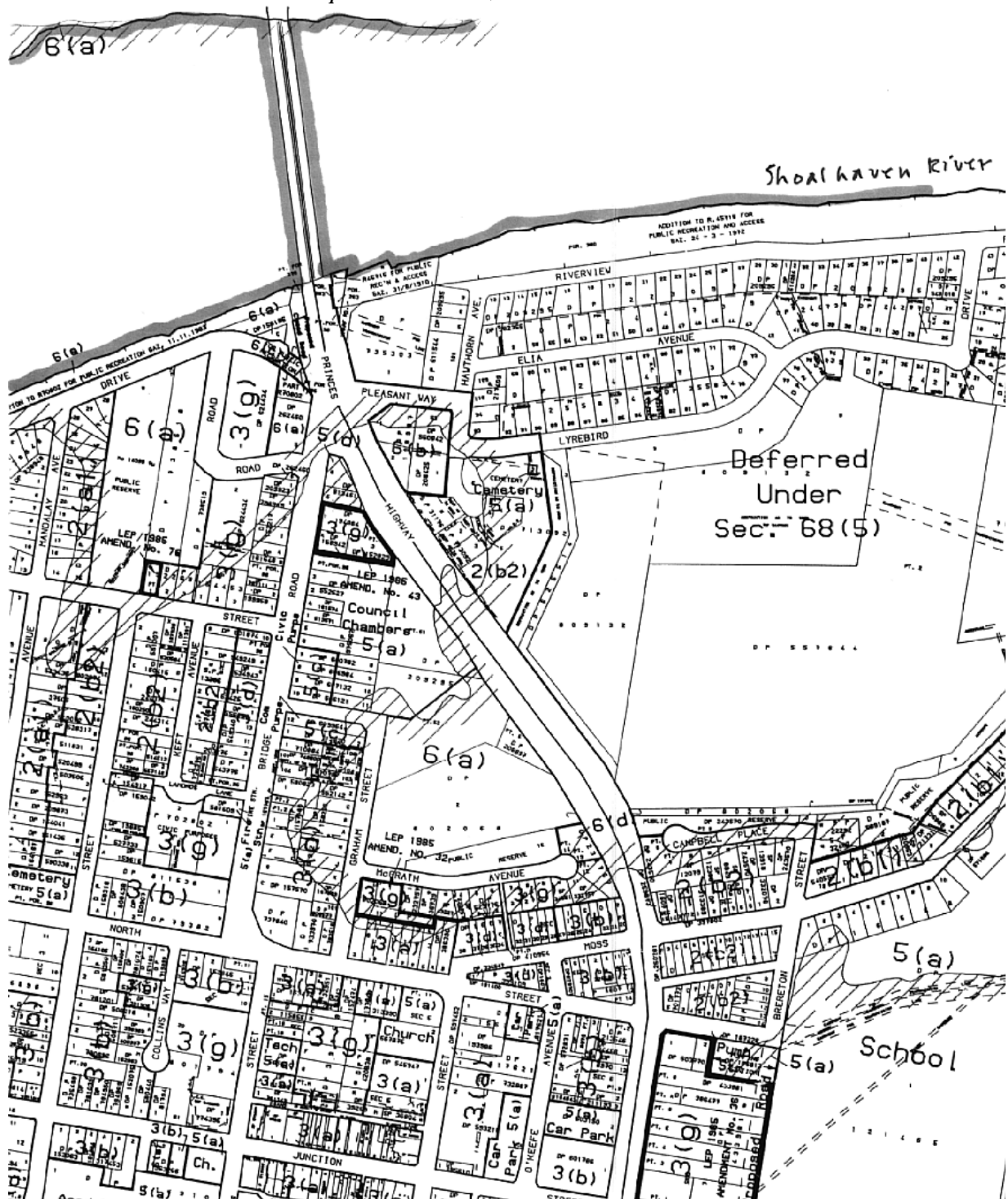
Portion: 6

84 AO NSW Deceased Estate File, James Graham. No. 26889



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Area: 264 ft x 492 ft plus 6 acres
 Unimproved value: £624
 Improved value: £2,800



Nowra, City of Shoalhaven,
 Local Environmental Plan map.
 Amended 1993.
Source:
 Shoalhaven City Council

Improvements: Brick 2 storey house, eight rooms and outbuildings. Slate roof. Clearing and fencing.

With the death of James Graham, it was left to his daughter Madge to sell the family property. Madge had been born and



raised at Graham Lodge, and had lived there until the Bourne family purchased and moved into the house. After leaving Graham Lodge she lived in several houses in Nowra, and boarded with the Misses Hammicks in Berry Street for several years before her death. Madge would often visit her old home and reminisce. Madge died in Nowra on 3rd July 1953 aged 71 years. Her funeral service was held at St Andrew's Presbyterian Church, Nowra, afterwards proceeding to the Woronora Crematorium.⁸⁵

On 14 November 1928, an advertisement for the leasing of 73 acres of the Graham Farm was placed in *The Shoalhaven Telegraph*:

*Dairy Farm, Vegetable Blocks and
Grazing Area to be Leased*

**GREENHILLS ESTATE IN TOWN
OF NOWRA**

*Applications will be received by
the undersigned up to Saturday
24th November, from persons willing to
lease for 5 years Mrs Crawford's property
in Nowra, either in one block of
72 acres 2 roods 30 perches with Cottage
and Barn, or in separate areas as follows:-*

- No. 1 Grazing area of 50 acres on
south side of Moss Street, adjoining Messrs.
McGrath Bros.*
- No. 2 6 acres with Cottage and Barn
between Moss Street and Council
Drain, extending from the cottage
to late Mrs Moss' Residence, suitable
for growing crops*
- No. 3 9 1/4 Acres of extra Rich Land,
adjoining Messrs L. Crawford and
T. Marriott's Blocks*
- No. 4 7 1/4 acres next Lot 3, and bounded
on the South by the Council's Drain.
Also a specially Rich Block*

The areas for lease included land both within the original 640 acre [Layton] grant and the later 100 acre [Butler] grant. One month later the block of 73 acres was put up for sale. An

⁸⁵ *Reflections of the Past - From the Camera of Cy Moss - A Photographic Exhibition presented by Shoalhaven Historical Society Inc., for Heritage Week 1996*



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advertisement appeared in *The Shoalhaven Telegraph* of
3 October 1928:



**GREENHILLS LAND
FOR AUCTION SALE
ON THE GROUND
NEXT FRIDAY, 5TH OCTOBER
at 2 o'clock**
*By order of Mrs Crawford and
Mr J Graham*
*23 acres of Extra Rich Alluvial
Soil; Weather Board Cottage;
50 acres on south side of Moss Street
of Grazing and Residential Land.*
To be sold in one block
*Terms: 15 per cent deposit;
Balance in 5 years; 6 1/2 per cent interest*
Possession at once
*For sale next Friday at 2 o'clock
immediately before the cattle sale.*
STEWART & MORTON
Auctioneers

Within that same issue, an advertisement for the Graham Lodge clearing sale also appeared:

**IMPORTANT
CLEARING OUT SALE
FRIDAY, 5TH OCTOBER
AT 2 O'CLOCK**
*STEWART & MORTON have
received instructions from Executors
Estate late Jas. Graham to sell by
public auction on the Farm at Nowra
on above date, at 2 o'clock, the whole
of the Milking Herd, comprising:-
50 Good Cows, Milking & Springing
2 Shorthorn Bulls*
*Draught horse, dray and harness,
spring cart, d.f. plough, hay rake,
2 harrows, scufflers, roller, horse works,
potato digger, hiller, and horse plough
(combined), dairy utensils
and sundries.*
*Also 5 Shares in Nowra Dairy Co.
These cows are in good order and
generally in full milk. As the estate
is being wound up, the sale is
unreserved and buyers would do well to
attend*
Usual Terms
Sale at 2 o'clock 5th October



Graham Lodge itself had already been sold, presumably by private treaty, to John Thomas Bourne.

When John Thomas Bourne had proposed to purchase Graham Lodge, Madge was pleased. 'Jack' Bourne was her cousin,⁸⁶ so she felt that Graham Lodge would remain in family ownership.

Jack Bourne and his wife Maud took over the property in 1930 and moved into Graham Lodge with their children Gladys, Una, Keith, Ray and Colin. Jack had been born at Parma, on 19 March 1878, the second son of Henry Bourne and his wife Charlotte Gardner. Henry Bourne had come to Shoalhaven with his parents when a child aged two years, and resided first at Coolangatta; later he purchased the Parma Estate and several sections of the Berry estate where he, in addition to carrying on extensive dairy operations established a horse-breeding establishment.⁸⁷ Jack Bourne married Maud Taylor, the fifth daughter of Mr Albert Taylor, of Nowra, at All Saint's Church of England Church on 27 August 1902.⁸⁸

After their marriage the young couple moved to a property at Pyree in the vicinity of Bournes Lane. It was here that Maud was born in 1903. Maud suffered greatly from asthma so her doctor recommended the family leave the flats of Pyree, as her asthma was getting worse, and move to higher land. The family returned to Parma where a further six children were born: Gladys Gwendoline [1906], Albert Henry [1912], Keith Parma [1916], Una Mavis [1918], Colin Clive and Raymond John. Sadly their daughter Ivy died and then their son Albert was killed. They felt that they could no longer live with the memories at Parma and decided to look for somewhere else to live. They were really pleased when the Graham Lodge property became available. An opportunity to own this well known farm with good soil had not been possible while the Graham family were in residence so Jack and Maud negotiated with Madge Moss to purchase it.⁸⁹ Mrs Una Thurgate [nee Bourne] recalls '*... We moved to the*

⁸⁶ Two Gardner sisters Mary and Charlotte. Mary married James Graham (I) and Charlotte married Henry

⁸⁷ Book of Shoalhaven, op.cit

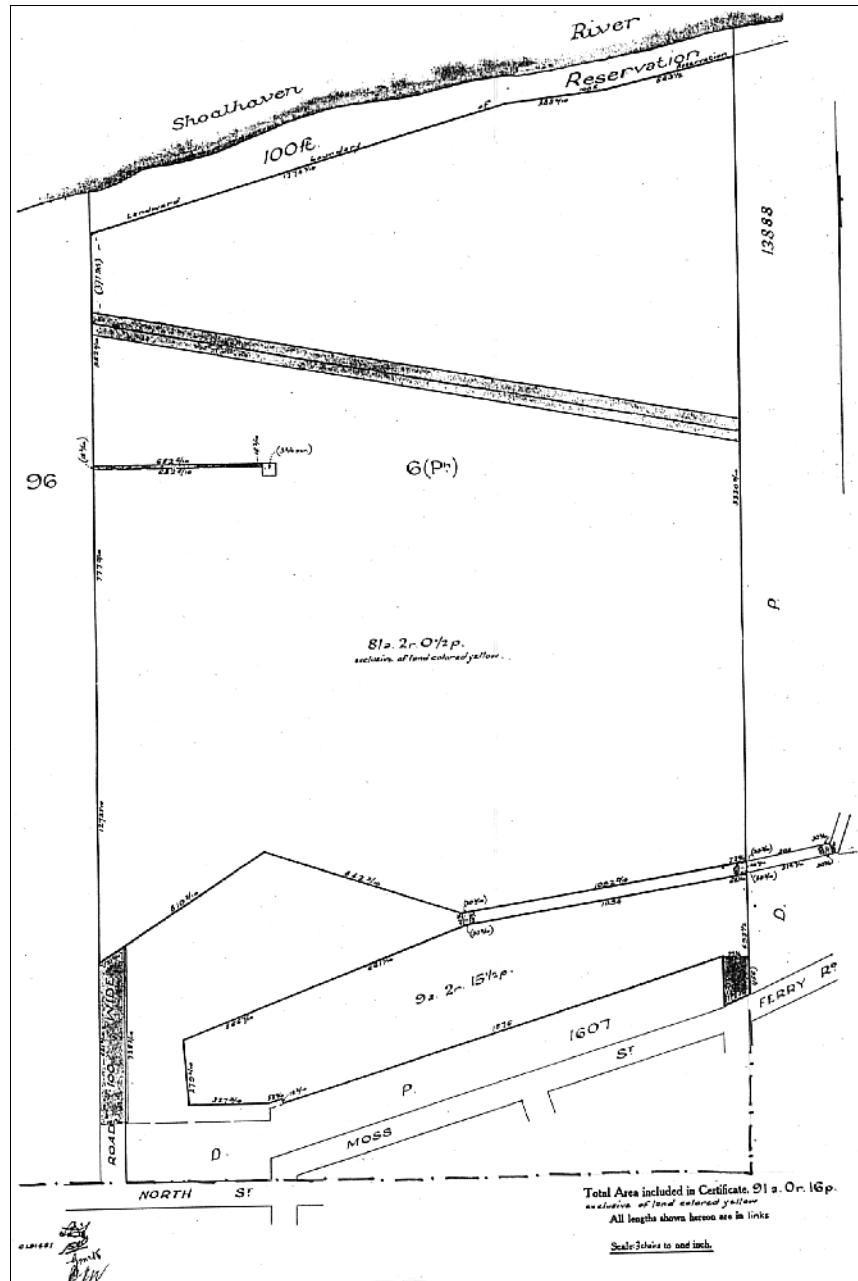
⁸⁸ Wedding Bells - Bourne-Taylor, *The Shoalhaven Telegraph*, Wednesday September 3 1902

⁸⁹ Information from Una Thurgate, Bolong Road, Bomaderry



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farm when I was about 12 years of age.... Mum and Dad had the front bedroom- on the right ... I had the front bedroom on the left and my sister had the back one. My brothers shared the other one... We had no kitchen so Dad arranged for a kitchen to be built at the rear of the existing one ... one of the windows was turned into a door...'



Transfer of land to John Thomas Bourne, 1933.

Source:
 Land Titles Office, Sydney, Ref. 4592.99

The Bourne family farmed the property for many years. Eventually Keith moved to Sydney to attend University. His University qualifications enabled him to become a school teacher and he was teaching 'out west' before settling in Panania, a suburb of Sydney. Gladys married Norm Jennings. In 1946 Jack and Maud were thinking about



retiring from the farm and they decided to erect a smaller cottage for themselves and divide the property in half, giving equal shares to their sons Ray and Colin. Ray rented his half of the property to his sister Glad and her husband Norm Jennings, while Colin lived on the Graham Lodge portion of the farm.

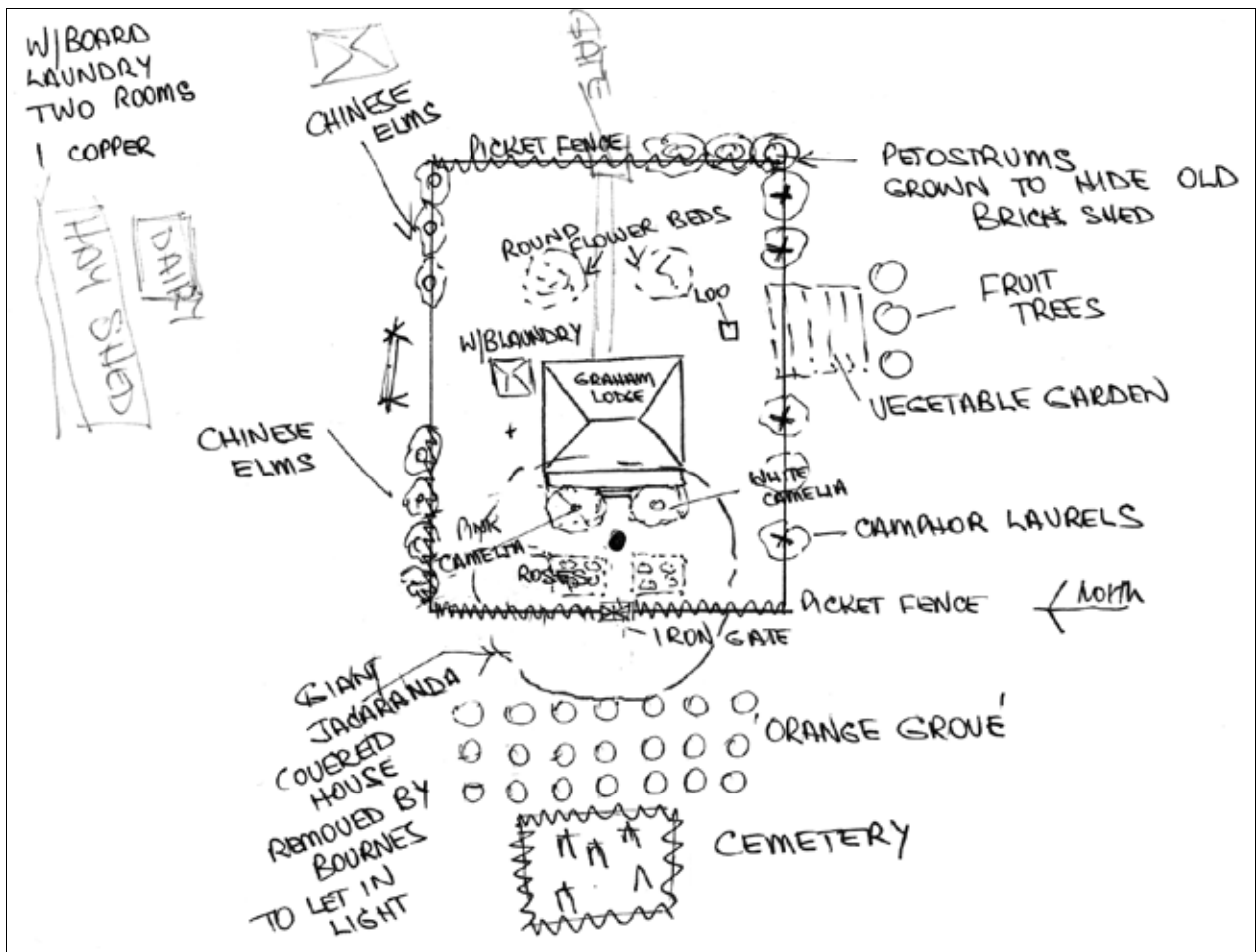


As part of this historical overview, Mrs Una Thurgate [nee Bourne] was interviewed by Mrs Robyn Florance. She described the Graham Lodge she remembered, and those recollections were translated into sketch plans by Robyn Florance. Those plans, and family photographs of the Bourne family, have been reproduced here.⁹⁰

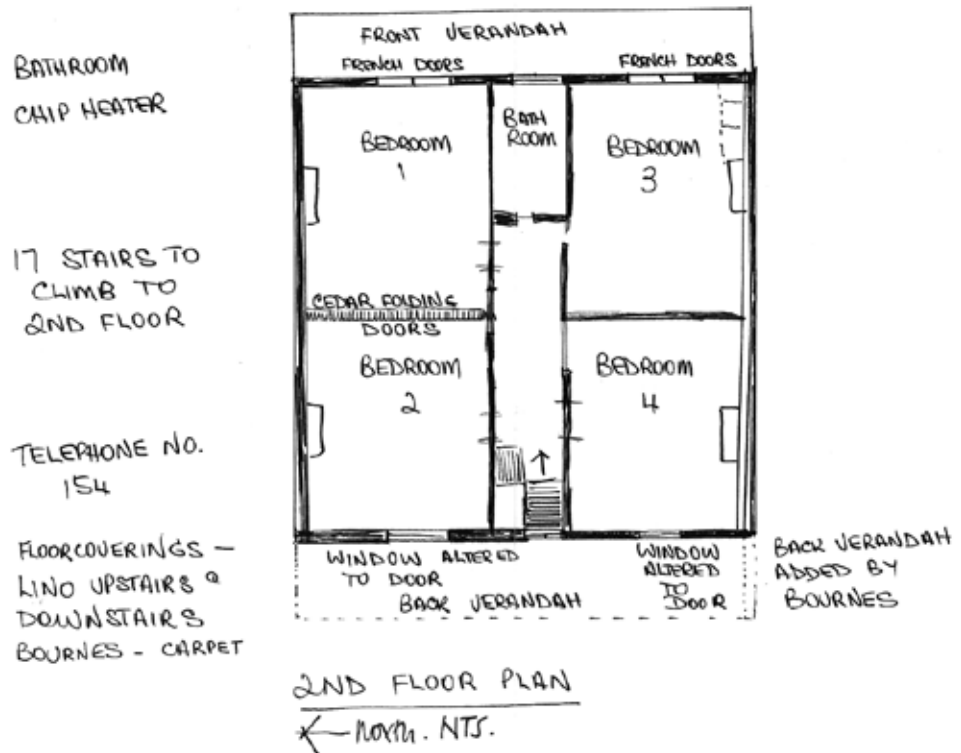
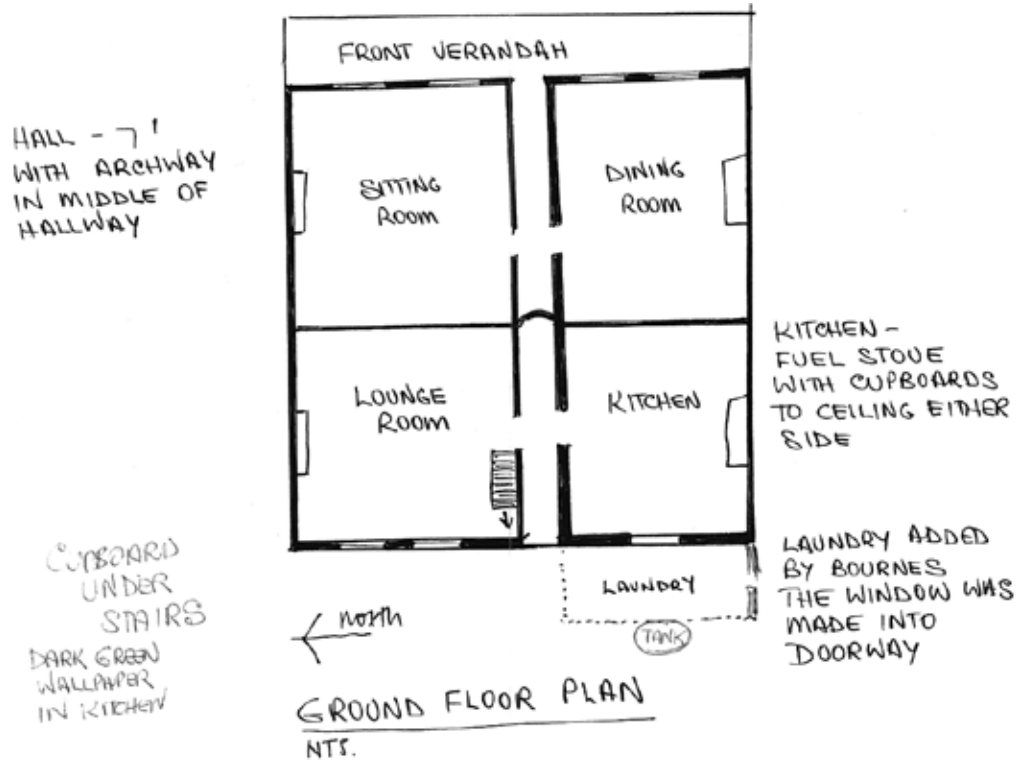
Una described the Lodge as surrounded by fruit trees, and ornamental trees and buildings:

'... The camellia trees were so high that they were shading the rooms over the balcony, and they had to be cut back to let light into the house. The pink camellia was magnificent. Dad would often pick a clothes basket full of camellia flowers and take them to Mrs Rodway to sell for the Red Cross.'

Site Plan, Graham Lodge.
 Source:
 RF plan from Una Thurgate
 recollections, 1998



⁹⁰ Interview with Mrs Una Thurgate, 5 May 1998, by Robyn Florance, historian.



Top: The Ground Floor, Graham Lodge. Una Thurgate recalls that the Ground Floor Rooms were all 15' x 15' with 13' high ceilings. The Sitting Room had a marble fireplace with cedar 1/2 cupboards on either side. The Lounge Room fireplace had a light coloured wood mantel and surround, with a large mirror. There were shelves to hold crockery and nick knacks, and 1/2 cedar cupboards on either side. The Dining Room fireplace had a cedar mantel and surround, with cedar 1/2 cupboards on either side.

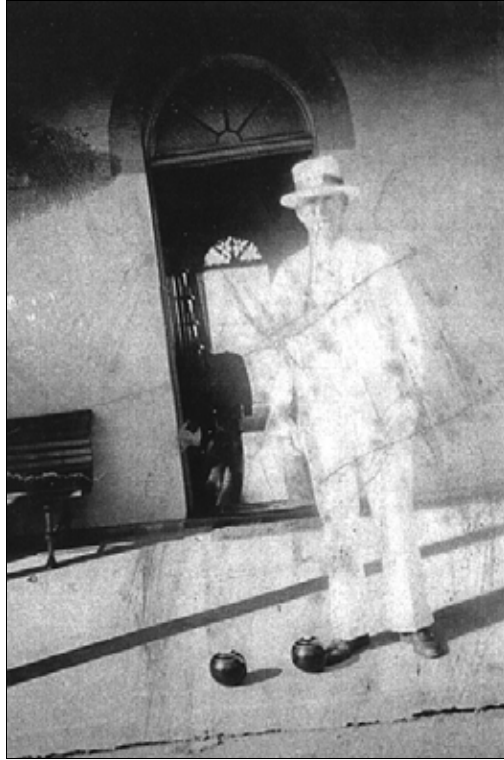
Bottom: The First Floor, Graham Lodge. Una Thurgate recalls that all bedrooms were 15' x 15', with cedar surrounds to the fireplaces. Bedroom 3 also had 1/2 cedar cupboards in the south-eastern corner.



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Kerosene lamps were used until electricity was connected by Mr Frank Moorhouse c.1930.

Source: RF plan from Una Thurgate recollections, 1998



Jack and Maud Bourne at Graham Lodge. Note the matching entrance doors, the modern western verandah with concrete paving and the modern [1930s] glazed door leaf.

Source: Mrs Una Thurgate, Bomaderry



Western entrance door and wedding cake.

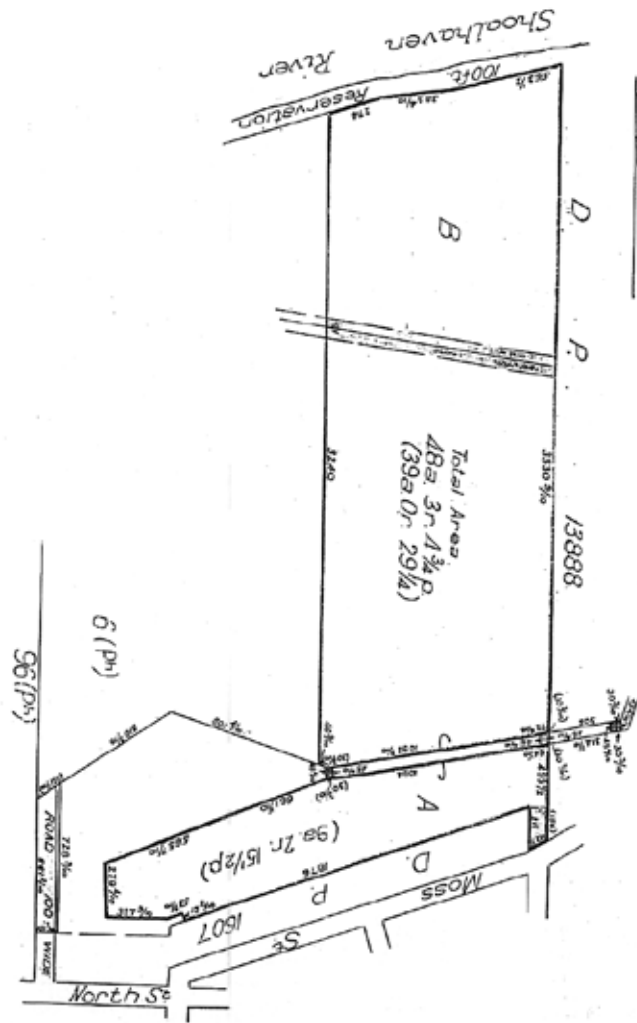
Source: Mrs Una Thurgate, Bomaderry

By 1948 the 'retirement' cottage on Bridge Road was finished so Colin Bourne and his new wife Violet 'Vi' Loosemore moved in. Jack and Maud remained at Graham Lodge. Sadly, Jack died before his retirement became a reality. He died on 7 October 1949, and is buried in the Church of England portion of the Nowra General Cemetery.



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The subdivision of the Bourne property, 1947.

Source:

Land Titles Office, Sydney, Vol 5701 No. 54

The Shoalhaven & Nowra News, 11th October 1949, reported that:

We regret to report the death, at Gloucester House, Sydney, on Friday inst. of Mr John Thomas Bourne, of Graham Lodge, Bridge Road, Nowra, beloved husband of Maud and father of Ray, Gladys (Mrs N. Jennings), Keith, Una and Colin.

After the death of her husband, Maud continued to live at Graham Lodge with her daughter Una.

The valuation of the property at this time described the improvements as:

Weather-board cottage, four rooms, kitchen and offices, metal tile roof [in course of erection (sic)]. A brick house, eight rooms, kitchen and offices, slate roof, barn, garage, bails and dairy clearing and fencing.



Una married Patrick Thurgate on 25th April 1952 at the Church of England Church at Kiama and after the ceremony a small reception was held at Graham Lodge for about 30 guests. Una recalls:

'... We were married at the Church of England Church, Kiama because Mum had been born at Kiama.. we had a small reception at Graham Lodge... about 30 guests... the dining room was used... Mrs B helped with the preparations...'

Una and Pat remained at Graham Lodge with Maud; their two sons, Graham and Noel, being born there. *"...We called our first son Graham, after Graham Lodge..."*

When Graham was about six years of age the young family moved to their new home in Bolong Road, Bomaderry, where Una still resides. After Una and Pat moved to Bomaderry, Maud moved to the cottage on Bridge Road, and Colin, Vi and their children Dianne and Ian moved into Graham Lodge. In 1959 Colin and Vi decided to sell the property and purchased a farm off Illaroo Road at North Nowra before moving to Canowindra, where they still live.

In 1960 Graham Lodge was sold. Ray sold his share of the property as well and moved to Bondi to live. Maud continued to live in Bridge Road for a further two years before her death. Maud died on 15 June 1962, and after a funeral service at All Saint's Church of England, was buried beside her husband in the Church of England portion of the Nowra General Cemetery.

The Nowra News of 26 June 1962 carried the following obituary:

The death occurred of Mrs Maud Bourne in Shoalhaven District Memorial Hospital on Friday, 15th June, at the age of 78 years. Mrs Bourne was born in Kiama, the daughter of the late Mr and Mrs Albert Taylor. After marrying the late Jack Bourne they went to reside at Pyree, thence to Parma and later to 'Graham Lodge', Bridge Road, Nowra. Mrs Bourne was greatly admired and respected and will be sadly missed by her many friends. During the war she made camouflage nets and worked with the A. & H. Committee for a number of years. She was a keen croquet player an vice-president at the time of her death. For many years she has been an active member of the Church of England Ladies' Working Society and a number of her fellow workers were present at the funeral service to pay their last respects to one whom they had learned to love.



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**GRAHAM LODGE PRECINCT
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SEQUENTIAL PLAN NO. 3

This plan shows Graham Lodge during the Thomas Bourne period, **c.1934**. There was little radical change to the building itself, apart from the addition of a western verandah to accommodate the 'modern' approach to the Lodge from Bridge Road.

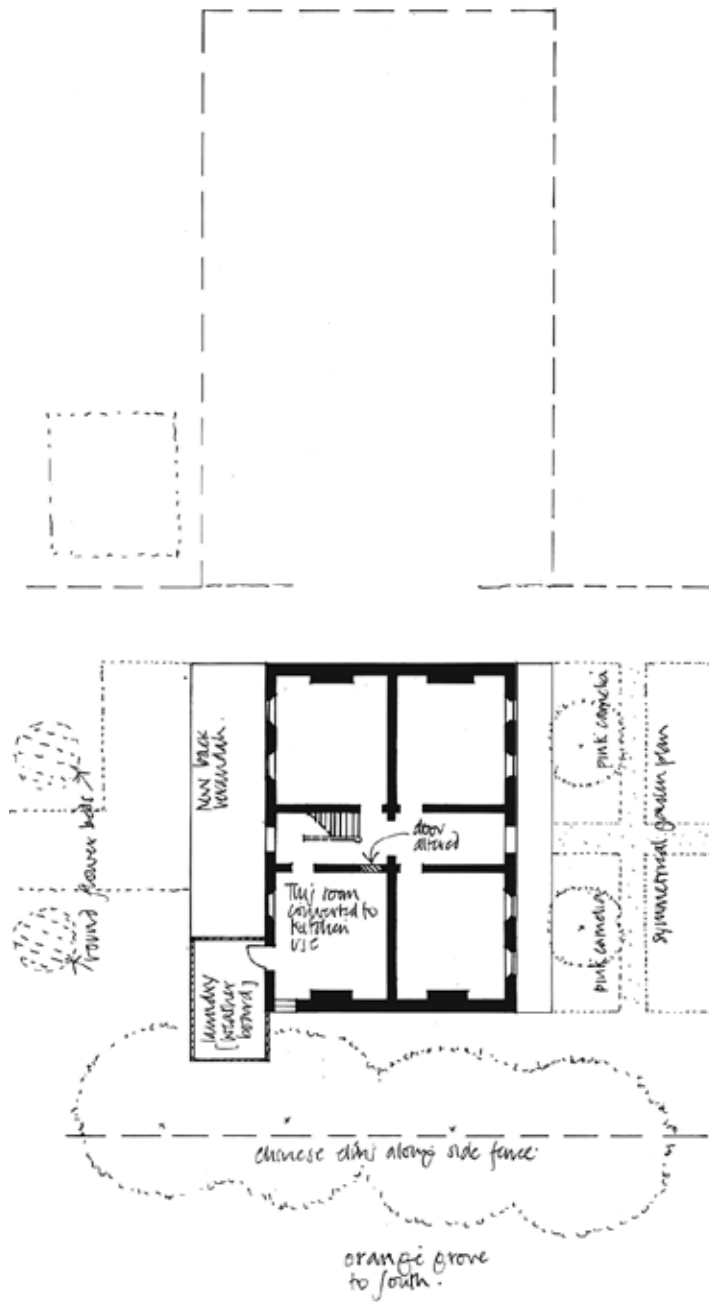
Source:

PF/PG plan based on 1934 Nowra Sewerage map, 1937 aerial photograph and Una Thurgate recollections.





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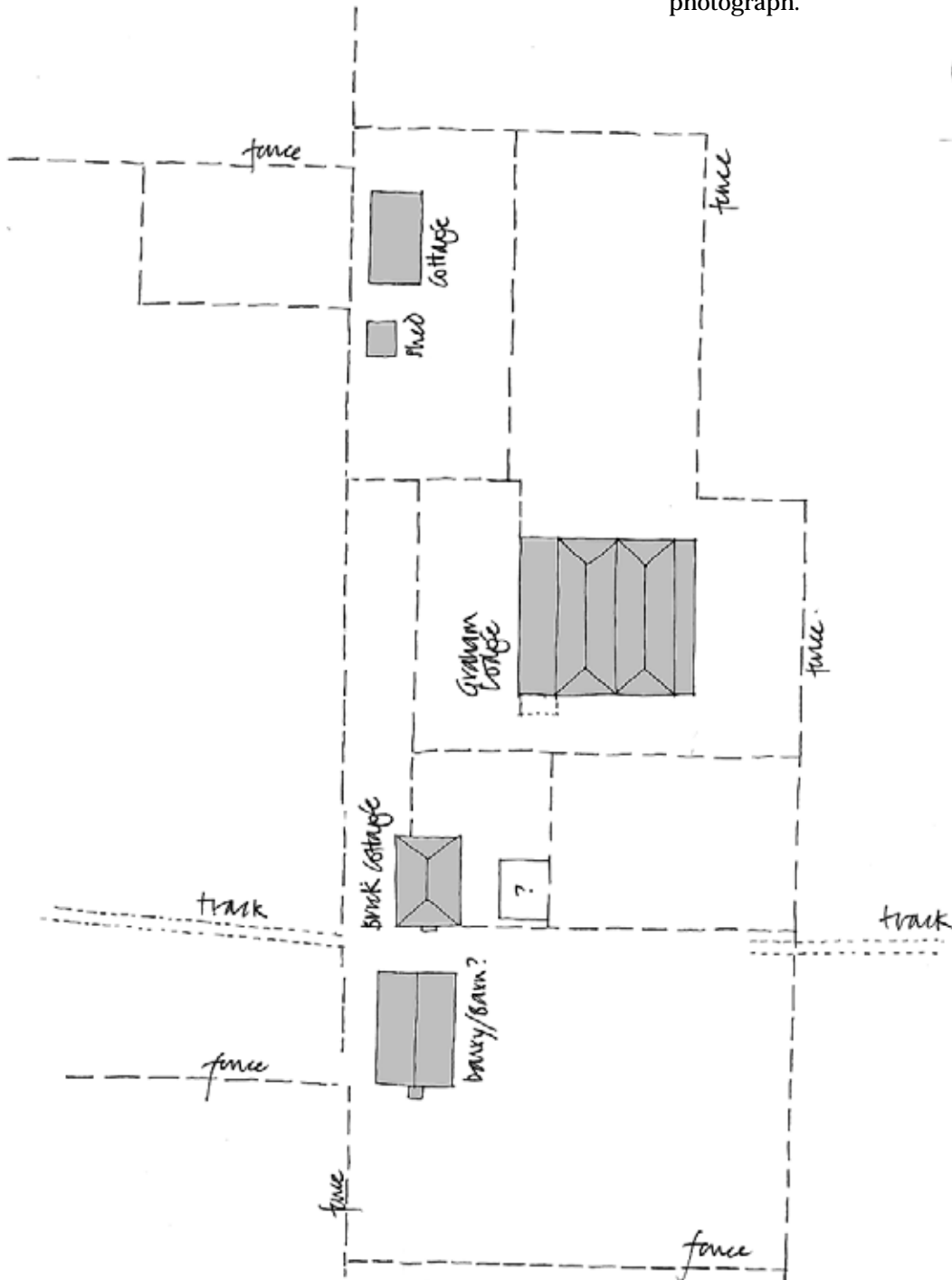
GRAHAM LODGE PRECINCT
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SEQUENTIAL PLAN NO. 4

The Bourne Farm c.1937. Not to scale.

Source:

PF/RH plan based on 1934 Nowra
Sewerage map and 1937 aerial
photograph.





Theo Mavramattes and Graham Lodge

The Greenhills property including 'Graham Lodge' was purchased by a group of Greek business people: Theo Mavramattes and his brother Andrew, together with Helen Kastrisos and George Simos as tenants in common. They purchased the property as an investment and intended to subdivide the property. The 'Graham Lodge' portion of the property was placed on the market and sold separately from the rest.

The group developed a subdivision along the banks of the Shoalhaven River and formed Riverview Road, which became known as the 'Riverview Road Estate'. The first house to be built there was that of Mrs Clare Williams, of Berry, mother of Mrs Ted Ashcroft.

The Schedule to the sale described the property as:⁹¹
'... ALL THAT piece or parcel of land situated at Nowra in the Shire of Shoalhaven County of Nowra and Parish of St Vincent comprising about 43 acres as fenced being the whole of the land comprised in Certificate of Title Volume 5758 Folio 247 including all improvements thereon comprising a brick house known as

Bridge Road Nowra, taken
from aerial view of Nowra
Source:
Shoalhaven Historical Society,
S1471

⁹¹ Land Titles Office, Sydney, Ref No. 61 p. 150, 1960



'Graham's Lodge' and all other out-buildings thereon in their present condition TOGETHER WITH the residue of the land comprised in Conveyance Regd. No. 395 Block 1643 and improvements thereon but excluding thereout the new cottage fronting Bridge Road, Nowra occupied by Mrs Maud Bourne comprising an area of about 24 perches and known as Lot A (such residue having a frontage of about 33' to Bridge Road adjoining the aforesaid cottage) but together with improvements thereon.'

A contemporary aerial photograph shows Graham Lodge and its outbuildings at this time. Access to the Lodge is by a right of way from Bridge Road, and a new fence can be seen to the eastern and northern boundaries.

'Tess' Sherlock and Prague Lodge

Graham Lodge was, in turn, sold to a local Nowra businesswoman, Mrs Mary Theresa ['Tess'] Sherlock. Tess Sherlock had been involved in several business ventures in the district before purchasing Graham Lodge. She had owned and operated holiday cabins at Sussex Inlet, and



owned a motor service station at Falls Creek before purchasing Graham Lodge with her son, Robert.⁹²

Alterations and additions turned the downstairs section of Graham Lodge into a modern function centre which was renamed 'Prague Lodge'. At that time Mrs Sherlock resided in the upstairs section of the home.

The Apex Club of Nowra held their 1967 Christmas function at Prague Lodge.⁹³ The function centre proved a great success, and by the following year two of the upstairs bedrooms had been turned into a restaurant area. Prague Lodge was officially opened in May 1968.⁹⁴ A gala function was held where guests were welcomed by Mrs Sherlock and her son Robert. Mr J.R. 'Bob' Graham, General Manager and Secretary of the Nowra Dairy Co-op, welcomed the guests and officially opened the premises.⁹⁵

⁹² Information from Mrs Patti Fowler, daughter of Tess Sherlock

⁹³ Information from Mr Brian Kenny, Richardson & Wrench, Nowra, Apex Club archival material held by Shoalhaven Historical Society Inc. at the Nowra Museum

⁹⁴ *Nowra Leader*, Wednesday April 3, 1968

⁹⁵ Photograph supplied by Mrs Patti Fowler, North Nowra



Mr R.J. Graham, General Manager and Secretary of the Nowra Dairy Co-op, officially opening Prague Lodge, May 1968.

Source:

Mrs Patti Fowler, North Nowra photograph

The first wedding reception at Prague Lodge was held on Easter Saturday, 28th April, 1968 when Dianne Koglin married James Bindon at the Nowra Methodist Church and afterwards entertained guests at Prague Lodge.⁹⁶ Prague Lodge became a venue for many functions over the years. It was a well known function centre before it was sold to the Nowra Bomaderry Leagues Club.

The alterations undertaken by 'Tess' Sherlock to the historical fabric of Graham Lodge radically altered [and compromised] the historical and architectural integrity of the building. In the first [1967] phase of work, walls were demolished to the ground floor area, and an insensitive flat-roofed extension was added to the north. In the second [1969] phase of work, the first floor of the building was altered to allow restaurant seating to the [former] northern bedrooms.



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CONSERVATION MANAGEMENT
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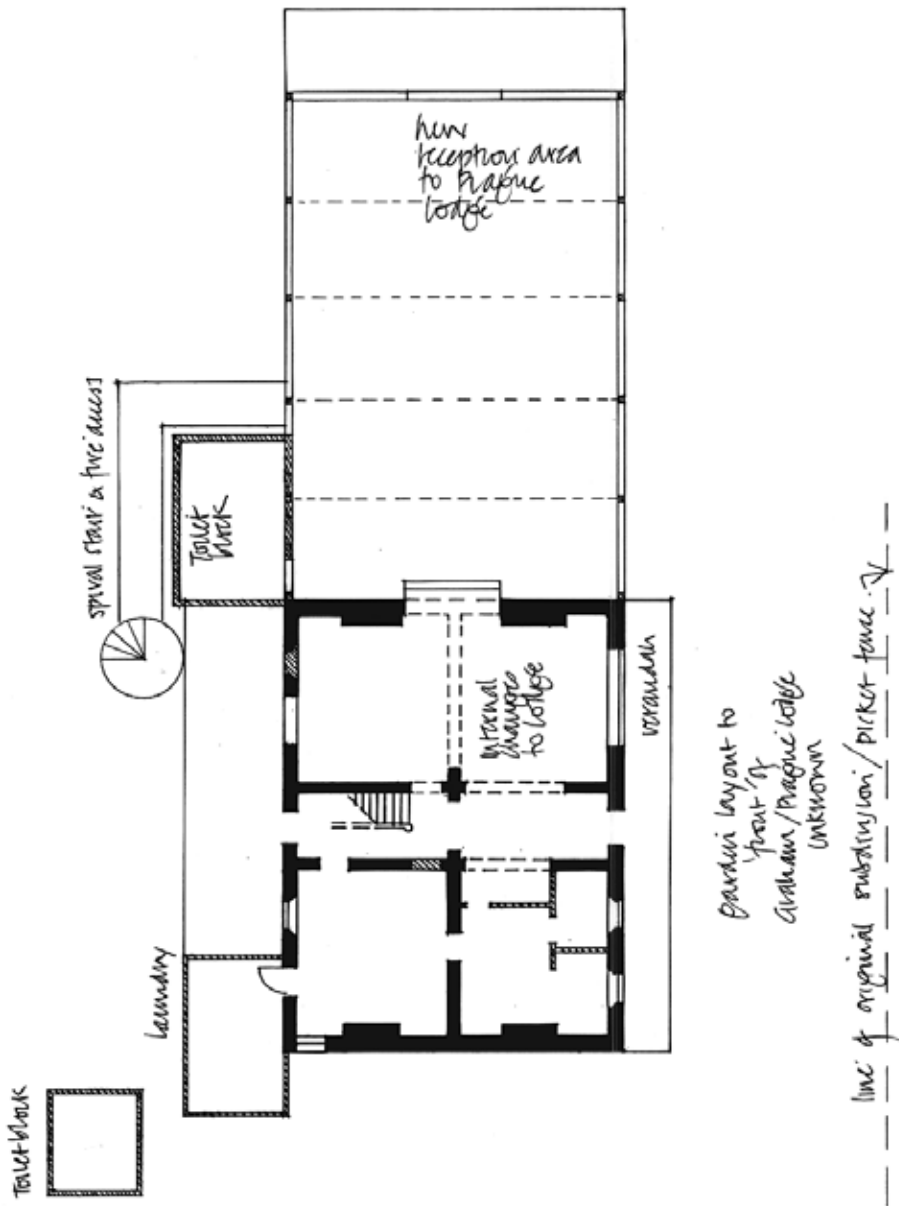
SEQUENTIAL PLAN NO. 5

The Prague Lodge period **c.1967**. The alterations and additions were carried out in two stages; the addition of the large main room and internal alterations to Prague Lodge and the addition of the fire escape and spiral stair and other toilet/store outbuildings.

Source:

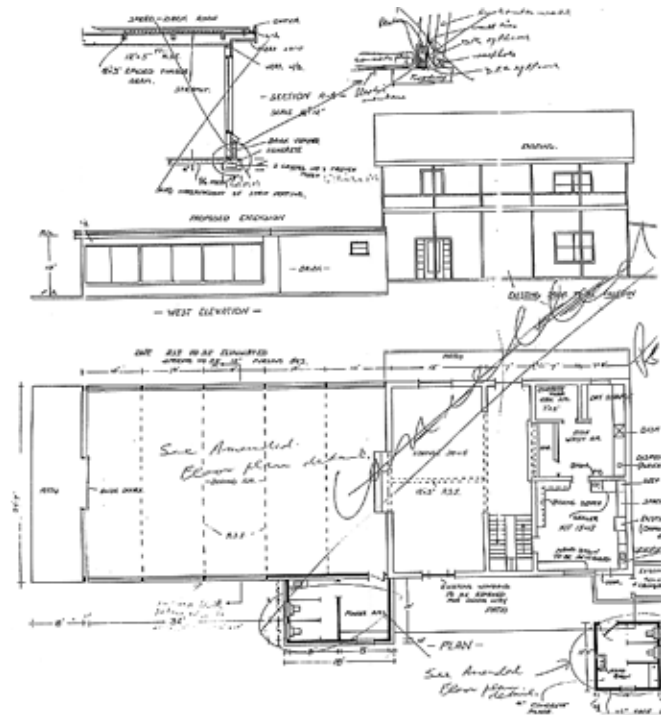
SCC DA file for Prague Lodge and Nowra Bomaderry Leagues Club. 1967 plan.







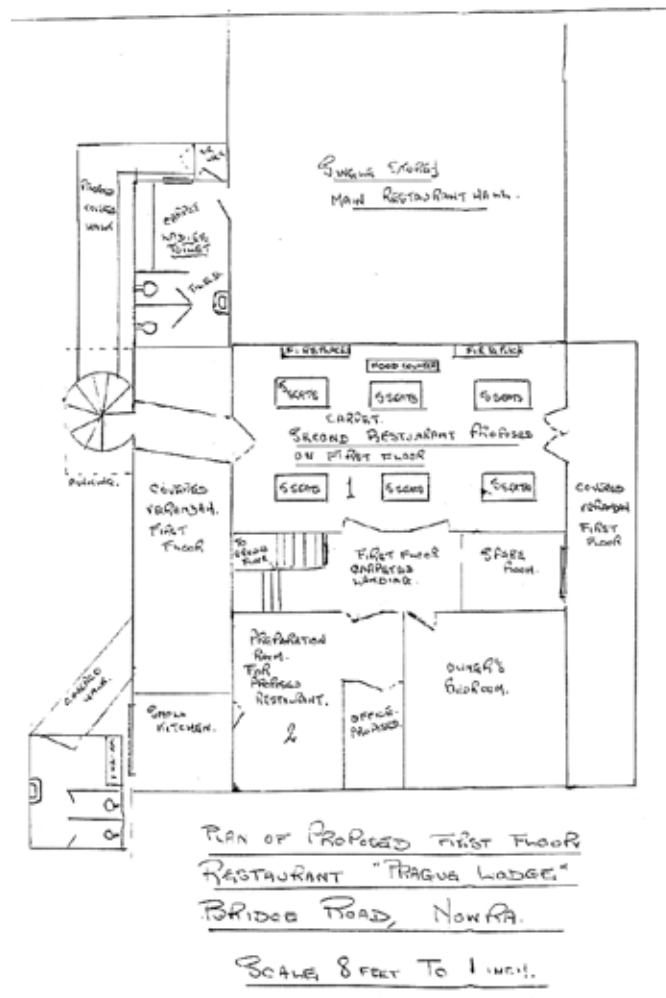
GRAHAM LODGE PRECINCT • NOWRA
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Proposed additions and alterations to building, 1967.
Source:
SCC files



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Proposed additions and alterations to building, c.1969.
 Source:
 SCC files



The Nowra Bomaderry Leagues Club

The Nowra Bomaderry Leagues Club Committee was formed after a public held in February/March 1968. A committee was formed with representatives from the three local rugby league football clubs; Nowra Warriors, Bomaderry Tigers and The Saints, St. Michael's, and at that time there were 113 members. Mr Kevin Byron was elected President; George O'Donogue as Secretary and Darryl Koglin, Treasurer.

The search then began for suitable premises to be used as a club house. The White House in Junction Street seemed to fit the criteria but the council zoning was wrong. In August 1969 negotiations commenced for a take over of Prague Lodge. The following March the club was given a lease whilst an option to purchase [\$57,000] was finalised, and then in September 1970 the final liquor license application was granted.

In February 1971 the Nowra Bomaderry Leagues Club was open for business.⁹⁷

*'... Alterations had been carried out to the premises and the successful opening for business was made last Friday ... At present the club has the full facilities necessary for the liquor license with the bar opening both to a carpeted lounge and the main floor, which will also be available for dances, receptions and other social functions ... Upstairs there are facilities for dining room with a fully equipped kitchen, a games room, of/ice and committee room...'*⁹⁸

In 1978 further extensions worth \$190,000 were carried out. The extension was made in front of the existing Club building to provide for an auditorium, dining room, kitchen, offices, toilet and change rooms:

'...The addition represented 381 square metres of space ... Auditorium 164, dining room 79, entry foyer 31, bar service areas 12, toilet and change rooms 46, kitchen 32 and offices 17...'

The new entry foyer faced Pleasant Way, and parking for 92 vehicles was provided in front. With the new additions the

⁹⁷ *The South Coast Register*, Wednesday 6 September, p.55 Leagues Club Notes

⁹⁸ Undated newspaper cutting courtesy Noel Payne, Bomaderry



upstairs area became a Board Room and private Club Room.⁹⁹

⁹⁹ *The South Coast Register*, Wednesday 6 September, 1978



The first stage of the Nowra Bomaderry Leagues Club extensions involved additions to the Prague Lodge building, but there were no radical extensions. The western garden was retained intact; and access to the club was achieved from a track off Hawthorn Avenue.



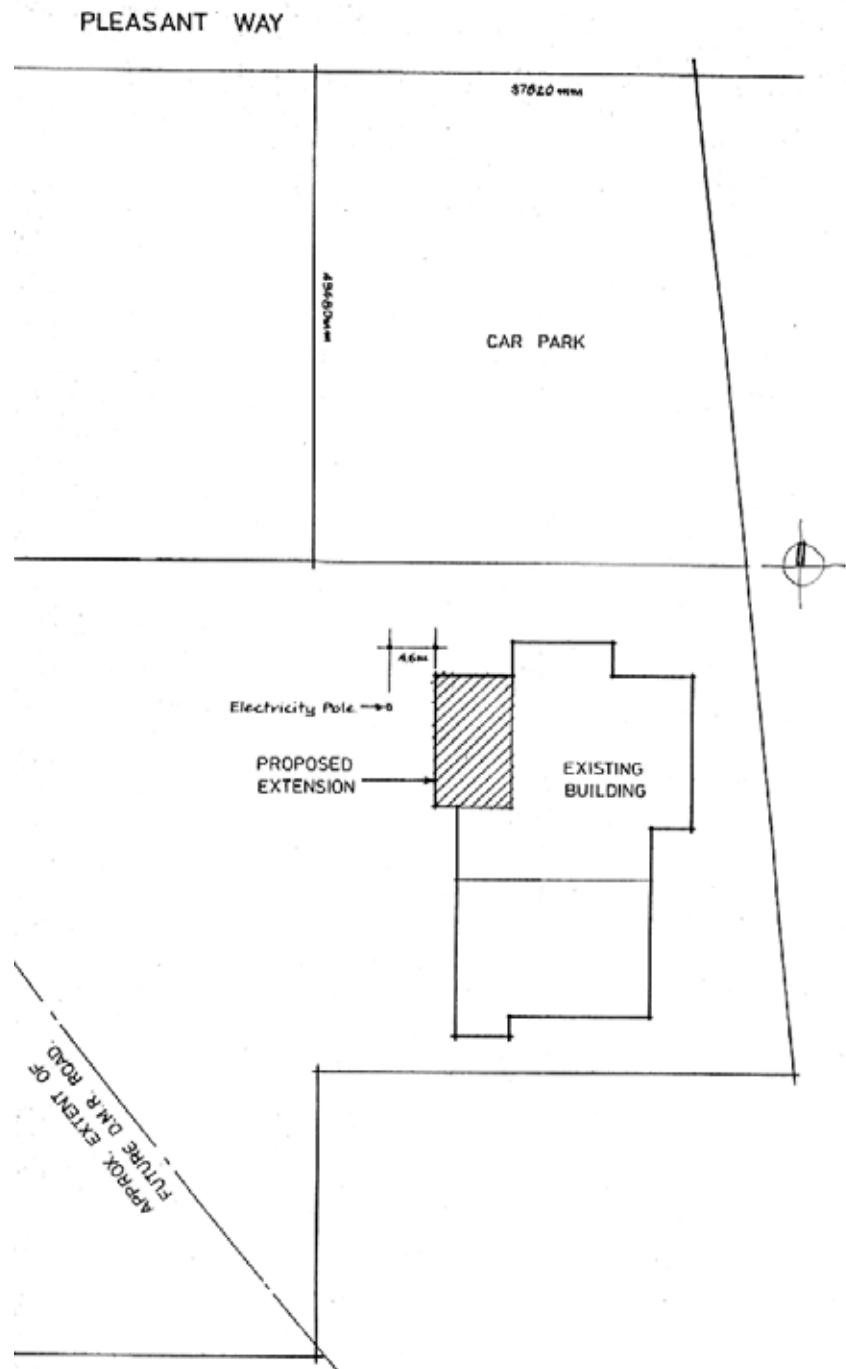
Top: The Nowra Bomaderry Leagues Club, western garden c.1975.
Source: Shoalhaven Historical Society Inc. No. S874

Bottom: Aerial photograph of the Nowra Bomaderry Leagues Club, c.1975.



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Source: Shoalhaven Historical Society Inc. No. S2231



Plan of the first stage of Nowra Bomaderry Leagues Club extensions, c.1971.

Source:
SCC files

The second phase of the Club's extensions were more radical, for they involved the radical enlargement of the Club buildings to the north and east, and the provision of a new entrance facing Pleasant Way. The small cottage building to the south of the Graham Lodge complex was, however, retained intact; and it was the engineering works for the new Princes Highway bypass which necessitated the demolition of this little cottage and the remnants of the first [1840s] Graham homestead.



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Graham Lodge c.1978, from the north-east.
Source:
Shoalhaven City Council photograph



The cottage and the cattle yards from the south-east, 1980.
Source:
Shoalhaven Historical Society Inc. Rod Gibb photograph



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The cottage from the south-
west, 1980.

Source:

Shoalhaven Historical Society
Inc. Rod Gibb photograph



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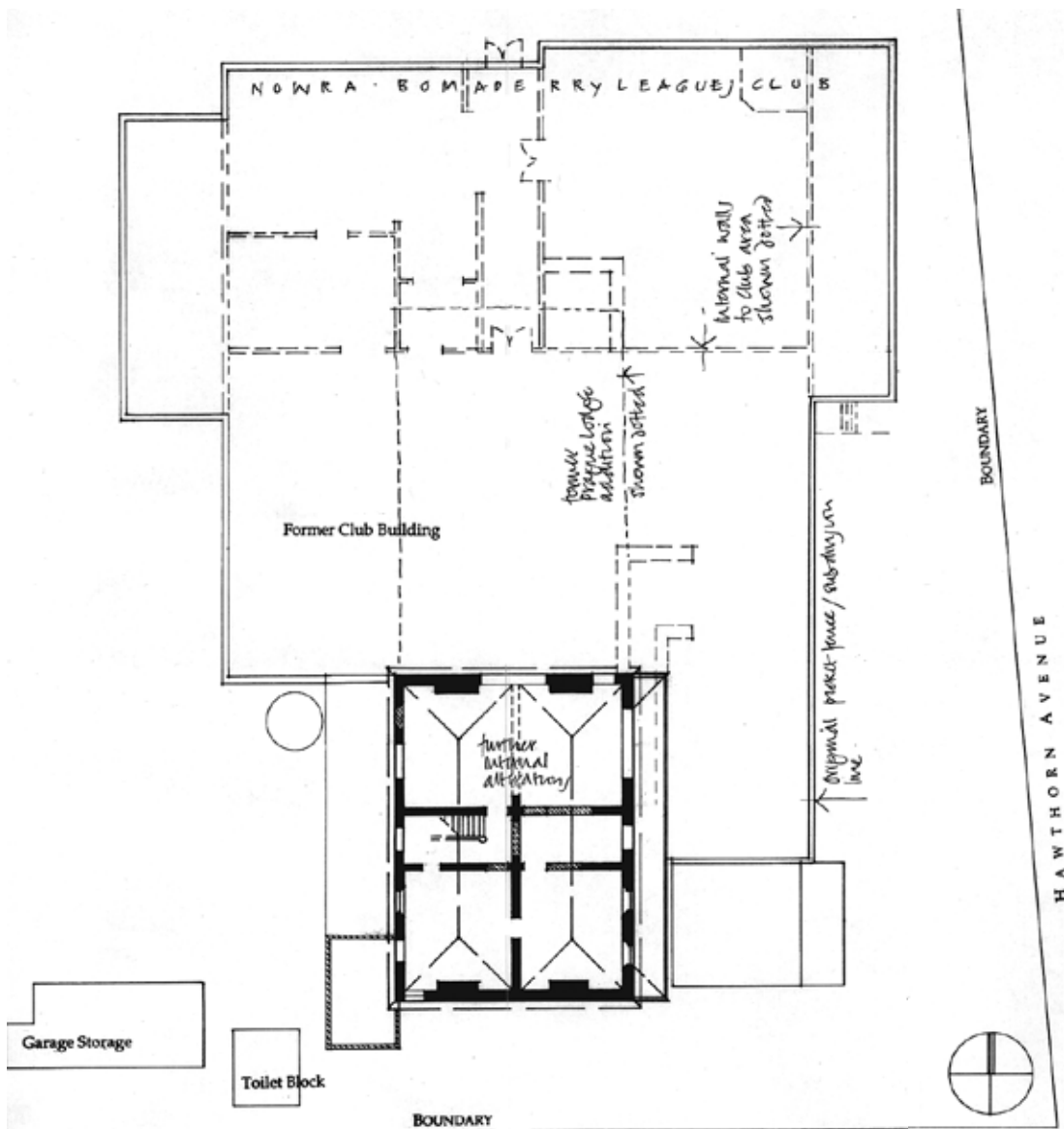
**GRAHAM LODGE PRECINCT
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SEQUENTIAL PLAN NO. 6

This plan shows the large northern extensions to the Prague Lodge complex, following ownership by the Nowra Bomaderry Leagues Club c.1975

Source:

SCC DA file for Prague Lodge and Nowra Bomaderry Leagues Club, 1975 plan.





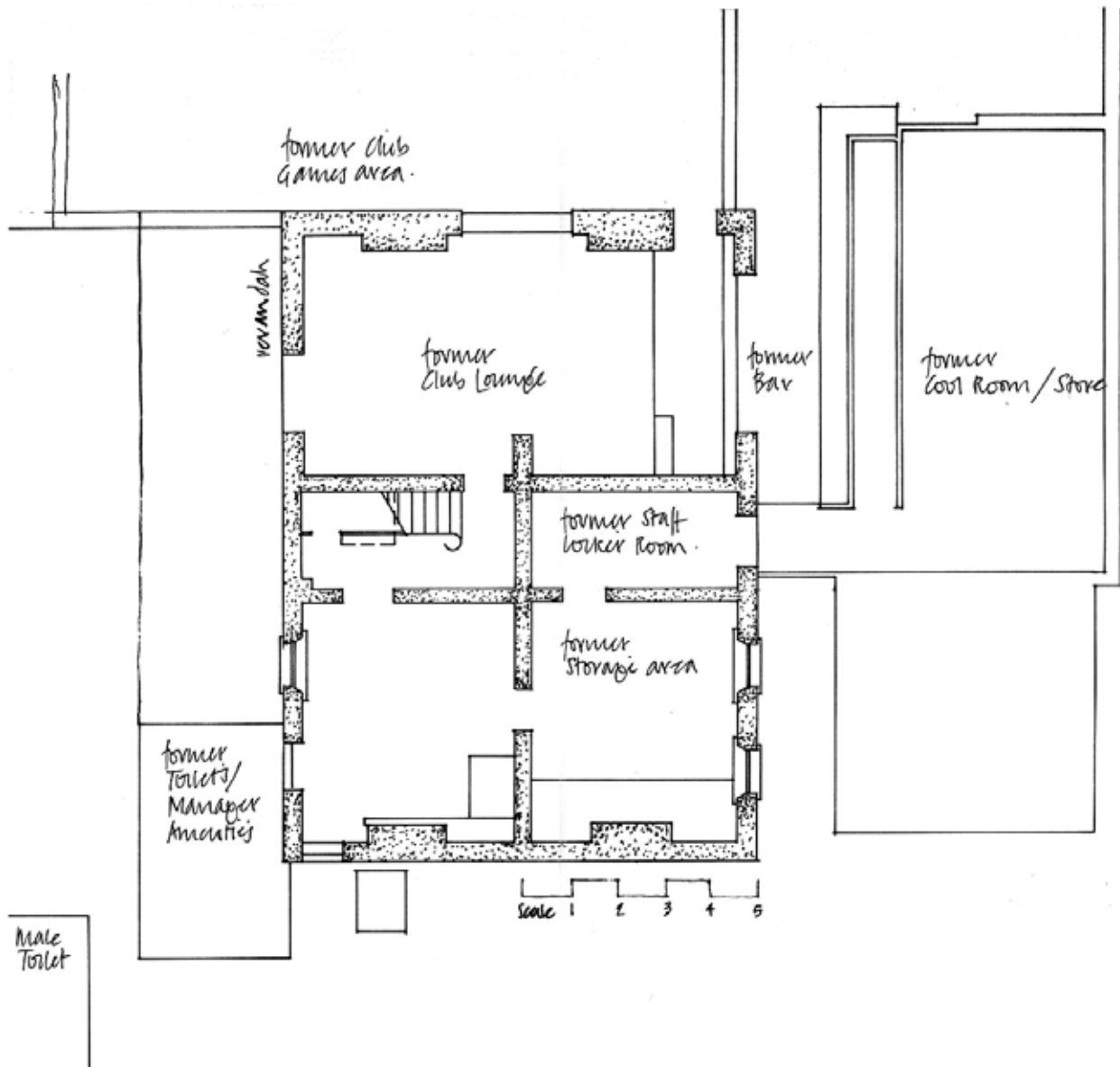
GRAHAM LODGE PRECINCT • NOWRA
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GRAHAM LODGE PRECINCT
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Ground Floor Plan, 1998

Source:

PF/PG measured drawing 1998 and
Nowra Bomaderry Leagues Club
plans





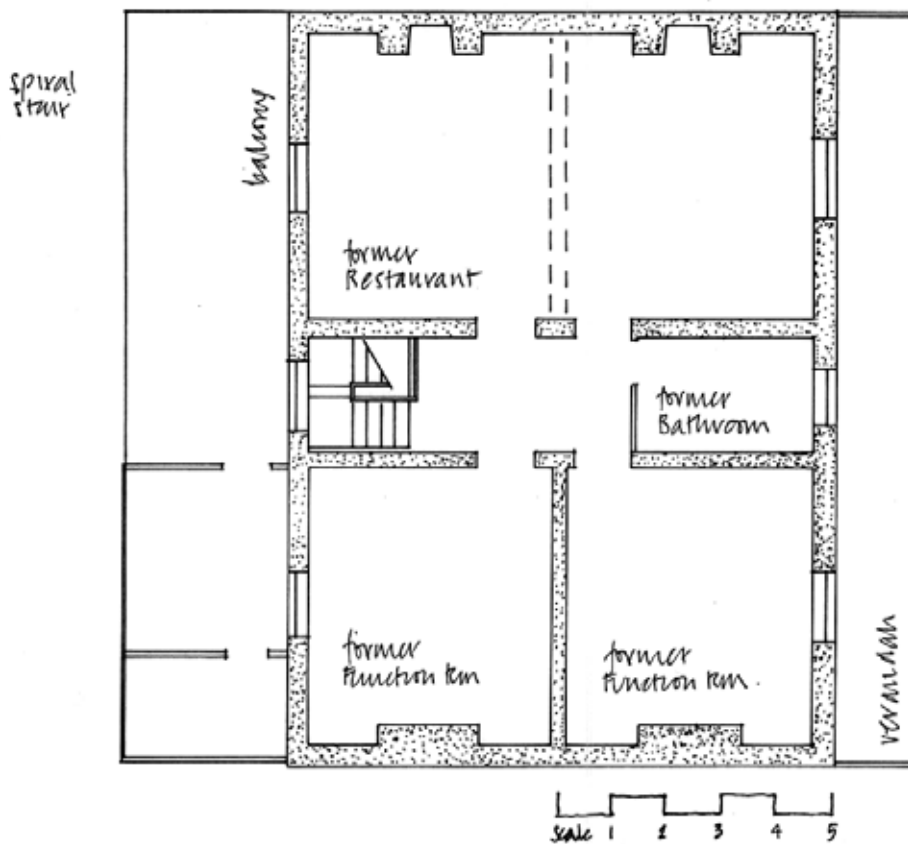
GRAHAM LODGE PRECINCT • NOWRA
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**GRAHAM LODGE PRECINCT
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First Floor Plan, 1998

Source:

PF/PG measured drawing 1998 and
Nowra Bomaderry Leagues Club
plans





The Nowra Bomaderry
Leagues Club, 1996.

Source:

PF Shoalhaven City Council
Heritage Study, 1996

The Nowra Bomaderry Leagues Club survived for twenty years before financial difficulties caused its closure in 1992. After a long period of disuse during which the building became derelict, and vandalised, the Shoalhaven City Council purchased the property in 1998.

As part of their conservation/development strategy for the former Graham Lodge, and the Shoalhaven River flats held within Council ownership, the Shoalhaven City Council commissioned this conservation management plan in May 1998 to provide policy direction and strategy for the Graham Lodge precinct.

The Council determined [1999] that the former Club building should be retained in part; that the former Prague Lodge component of the Club building would be demolished; and that the 'reconstructed' Club building and its associated parking would operate as the Visitor Information Centre for Nowra and the Shoalhaven Region. Council also made application under the NSW Heritage Council's **Heritage 2001** program for the Stage 1 conservation of Graham Lodge. This application was successful, and Council have agreed to undertake the Stage 1 conservation of Graham Lodge and surrounds.



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3.1 THE FABRIC ASSESSMENT

The site and building inventory descriptions are an integral part of the **physical analysis** of the Graham Lodge precinct; and are thus part of the **Conservation Analysis** of this Assessment. The inventory is, however, placed in a separate volume, refer **Volume 2, Conservation Analysis: Site and Building Inventory**, because of the length and complexity of the physical description and analysis of the material presented.

The 'inventory' format has been chosen because it provides a simple and comparative method of presenting this material to the reader. The 'corporate' history of the site is not discussed within the Volume 2 document, however the physical evolution of building and landscape is analysed where relevant. Reference is also made [utilising margin notes] to the historical overview contained within this volume. As discussed in the introduction to this report, the 'curtilage' adopted for this study comprises all the current Graham Lodge site.

The standard inventory 'field' headings are as follows:

HEADING

Each page of the inventory document has a heading which identifies the particular space [and inventory space relating to that space] being described. In order to provide a simple 'key' reference to each space, a key number, prefaced by a key letter for the floor has been used.

KEY PLAN

A key plan prefaces each of the inventory descriptions. The space being described is highlighted by means of a toned area. This **key** plan is also included within the Historical Overview, Section 2.0, of the Conservation Analysis Report.

SPACE/ROOM NAME

Within this field, the key room [or space] number is identified, and the current [and former] uses of the space described.

HISTORICAL BACKGROUND & ASSOCIATIONS

This 'field' provides a concise description of the **associational** significance of the place. A margin note adjacent this 'field' provides reference [as appropriate] to the Historical Overview, Section 2.0.

DESCRIPTION

Within the description of each of the spaces there are a number of sub-sets [as appropriate], eg:



Architectural style

Principal elements [floor, walls etc]

Services

The intention of the 'description' field is to describe the space [in words and photographs] in lay-person's terms.

COMPARATIVE SIGNIFICANCE RATING

The method of defining comparative significance in this report provides a 'shorthand' method of ascribing significance to the space or item. For the purposes of this study, definitions of comparative significance and their implications for future treatment are as follows:

4 Of exceptional cultural significance

This category relates to all preserved fabric from the Graham period [c.1840 to 1928].

In order to retain and where possible enhance the cultural significance of the Graham Lodge precinct, it is recommended that significant fabric in this category should be preserved in any future use or treatment of the place, with missing significant parts reconstructed, and dislodged or concealed parts replaced or revealed.

3 Of high cultural significance

This category relates to all fabric introduced during the occupation of the place by the Bourne family [i.e. 1928 to 1950].

Within this category minor adaptations may be appropriate, but intervention should be minimised and, where feasible, avoided altogether for more complex fabric, such as joinery or original decoration.

2 Of moderate cultural significance

This category relates to certain elements of the fabric from the Graham and Bourne periods which have been compromised by modern changes. Significant fabric in this category should if possible be preserved/reconstructed/restored [as for category 3], but minor modifications may be acceptable providing the work is reversible.

1 Of low significance

This category covers the remainder of the spectrum of significance for the fabric of the place. It includes items which are valuable in that they are good replicas of early or original fabric; items which are of no great significance but which are unobtrusive in their setting; and items which are intrusive but which could be replaced by something more sympathetic.

I Intrusive

This category covers those items which are so intrusive that they should be removed.



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The management policy recommendations developed in order to conserve the cultural significance of the Graham Lodge precinct are discussed in detail within the Conservation Management Plan, Volume 2.



COMPARATIVE CONSERVATION/WORKS RATING

Conservation Repair: CR

Immediate action needed to halt damage to significant fabric.

Conservation Maintenance: CM

Action needed to prevent damage to significant fabric.

Routine Conservation Maintenance: RCM

Routine maintenance works should be undertaken to prevent any potential threat to significant fabric.

Interpretative Works: IW

Interpret history of space/fabric.

3.2 THE ARCHAEOLOGICAL ASSESSMENT

An archaeological assessment of the Graham Lodge precinct has been separately commissioned by the Shoalhaven City Council, in parallel with this Conservation Management Plan. The Initial Report of this consultancy has been completed and handed to Council.¹⁰⁰ The abbreviated Assessment is as follows:

'... The history of the establishment of Greenhills and the construction Graham Lodge is well documented in the Conservation Analysis Report [refer Volume 1 CMP]. The history is based upon archival and ethno-historical evidence. None of the history is based upon or derived from archaeological investigation. The structure of Graham Lodge and it surrounds hold significance of regional importance from an archaeological perspective. The Greenhills historical landscape represents an example of the early attempts of European settlement outside the Sydney area. The building of a suitable, noticeable and elite residence, Graham Lodge, represents the 'making his mark' by a noted member of society.

'Much of the original Greenhills property has been destroyed or impacted upon by development without any archaeological assessment or investigation. Therefore the remaining sections of the undisturbed landscape of the original property, including the Graham family's private cemetery, are extremely important to the heritage of the Shoalhaven and possibly the State of New South Wales. This opinion is derived from the initial archaeological assessment.

'There are archaeological theories, arguments and hypotheses that would support an earlier occupation before European settlement in

¹⁰⁰ Heritage Archaeology, *An Initial Assessment of the Archaeological Heritage of Greenhills, Nowra, NSW*, September 1999, for Shoalhaven City Council



this particular area. The land is elevated, with vista across a swamp land and open plain and in close proximity to a good water supply. The area would have provided an ideal campsite for early human hunting activities. Development has greatly disturbed the original ground surface, however, it is considered that a program of test excavations is likely to reveal stone tools and other artefacts of indigenous occupation.¹⁰¹

'Further test excavations are essential in respect to the European relics observed on site for the following reasons:

- it is confirmed that relics are present in many areas of the property; The property and location of the relics are shown in the series of location sketch maps in this report;*
- it is considered that some of these relics may be related to the original settlement of Greenhills and the occupation of Graham Lodge and are therefore be of regional significance...'*

Refer
Volume 2
Graham Lodge Precinct
Inventory

The physical overview for the Graham Lodge precinct [refer **Volume 2, Inventory**] had been prepared prior to the completion of the archaeological assessment. Accordingly, the Heritage Archaeology Archaeological Assessment for Greenhills and Graham Lodge should be read in conjunction with the physical precinct assessment within this Conservation Management Plan.

¹⁰¹ Note that subsequent to the completion of this Initial Report stone tools **have** been located at the site.



4.1 ANALYSIS OF THE CULTURAL LANDSCAPE : GRAHAM LODGE PRECINCT

Cultural landscapes are ‘... those areas of the landscape which have been significantly modified by human activity. They include rural areas such as farms, villages ... as well as country towns’.¹⁰² The Graham Lodge precinct, together with its associated river flats, is a remnant cultural landscape of significance. Within this section, the cultural landscape will be analysed by means of text and sequential mapping.

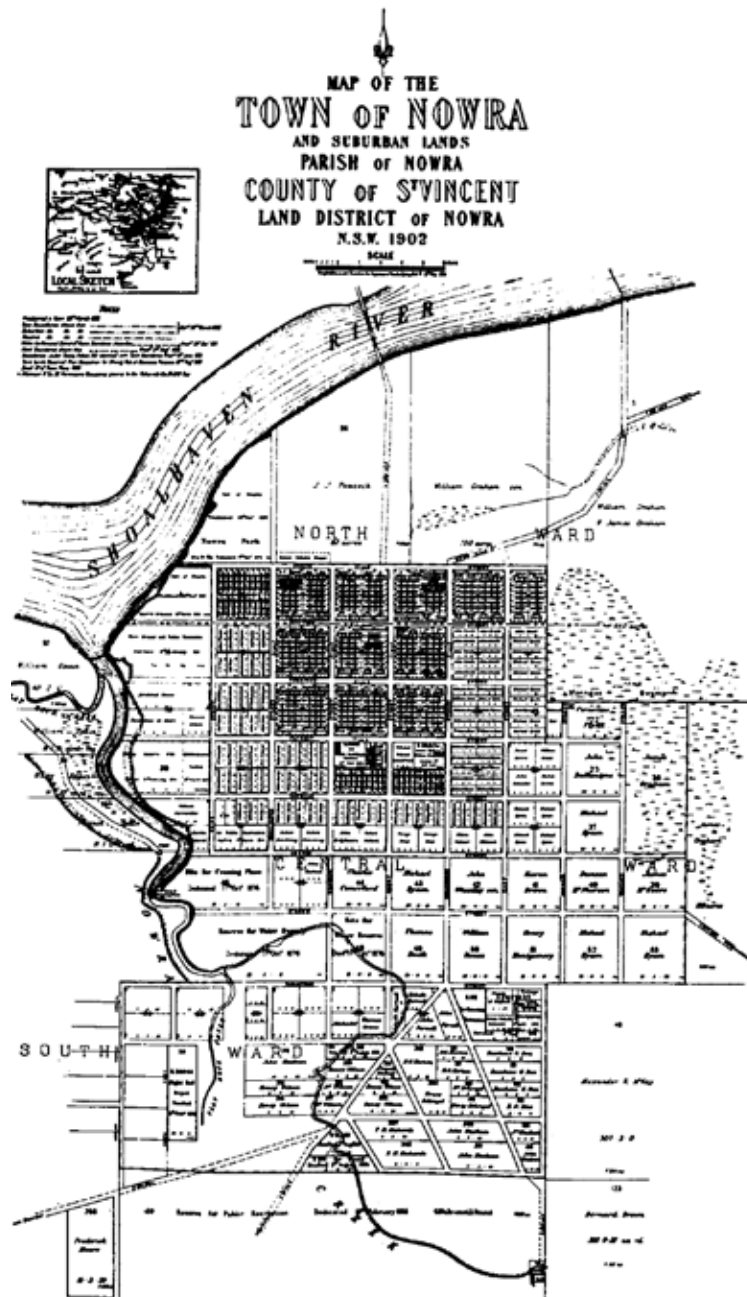
River flats provide ideal grazing for dairy cattle, particularly when there is swampy ground or periodic flooding. William Graham’s choice of the land originally promised to Walter Butler in 1826 recognised the value of the flats for dairying and cropping. The land was located at the limit of good useable agricultural land. A key aspect of any early, and indeed later, settlement was the need to provide a well drained flood free site for the homestead and service buildings. Once selected this site became the focus of activity and a generator of activity. Proximity to the major river also provided the opportunity for trade and shipping. This does not appear to have been an activity pursued by the Graham family, which concentrated on agriculture and dairying. The siting of the homestead[s] indicates that William Graham was probably well aware of the river flooding which took place periodically. The broad shoulder of land on which the City of Shoalhaven Council Chambers are now located provided an ideal site with Graham’s farmhouse at the land’s western boundary. There is no specific evidence as to the exact location of the earliest [1840s] homestead constructed on the site.

The Greenhills Estate established by the Graham family extended from the boundary of the de Mestre estate at Terara to the limits of the Worrigeer Swamp. Today Mayfield Road is an expression of the eastern boundary to its junction with the extension of Kalandar Road, thus defining the original southern extent of the grid plan for Nowra and the boundary between land held by the Graham family and that held in 1852 by Alexander McKay, the first Commissioner for Lands. Although subdivision and boundary changes to properties are a normal part of rural activity the essential

¹⁰² *Heritage Manual*, Heritage Terms and Abbreviations, Sydney, 1996



areas of the [Graham] estate remain 'undeveloped' today, save for dairying activity and development along Terara Road which follows a line of higher ground.



Town of Nowra, NSW, 1902.
Source:
NSW Votes & Proceedings, 1902

The eastern extent and siting of Nowra has been and is defined by the limits imposed by Worrigeer Swamp. The northern edge of the town established in 1852 was determined by the location of Butler land taken up by William Graham in 1826. To the east Ferry Lane defines the boundary between blocks held by William and James Graham on Greenhills Estate. The areas of Worrigeer Swamp



were made more useable by the construction of drains in the latter part of the nineteenth century yet had always offered high quality grazing on land admirably suited to cattle. This activity continued until 1960 at Graham Lodge when the farm was subdivided and sold for other uses.

Areas along the edge of the river were developed from the early 1960s on, for housing. The northern boundary of land still associated with Graham Lodge is defined by the housing along Lyrebird Drive. The Shoalhaven City Council LEP map clearly shows the extent of development controlled by flooding. Lyrebird Avenue provides a physical link between Graham Lodge and the Graham family cemetery to the east, and protects the original roadway or track which originates from the northern boundary of the block which now includes Graham Lodge. Although there is some degree of intrusion into the landscape to the east of the Lodge, the essential links with the cemetery and wider landscape remain. The broader landscape includes Coolangatta Mountain, the riverscape, the cropped fields, and the important Nowra Wharf and the Road Bridge of 1881, immediately to the north-west of the Graham estate boundary. The close links with transport routes at the time when dairy factories were being established during the 1880s and 1890s would have been an important factor in the economy of the Greenhills property and the Graham family.

The contextual landscape setting retains the alignments, relationships and land use patterns of the nineteenth century overlaid by twentieth century development. However, encroaching urban development made possible by the damming of the upper reaches of the Shoalhaven River has modified the turn of the century cultural landscape.

The Graham Lodge Precinct

The site of Graham Lodge has been curtailed by sub-division and the introduction of new roads. An assessment of the physical fabric needs to look closely at the historical development of the site under the Graham family and later occupiers. The appended sequential maps [1 to 7] are based on historical mapping, photographic and textual sources, and illustrate the development of the cultural landscape. Historical mapping of the site has been undertaken as a sequence of drawings which illustrate the development of



the farming complex before and after the construction of Graham Lodge in 1860. Changes to the landscape are discussed with reference to Samuel Elyard's paintings with later phases based on oral history, historical maps and aerial photographs.

Samuel Elyard, 1877

Samuel Elyard's c.1877 painting clearly shows the form of Graham Lodge set back below the earlier farmhouse, and a range of buildings which included small hipped-roof slab cottages and sheds arranged in linear fashion across the landscape. The distribution of elements is corroborated by the 1934 Nowra Sewerage Map and the aerial photographs of 1937. A slab cottage and shed to the north recorded by Elyard may be similar in location to those recorded in 1934, but may also reflect some artistic licence. In the foreground can be seen shade trees beside a pool, and beyond, cultivation including maize and vegetables. A track leads across the edge of the pool towards the old farmhouse. Three buildings close to Graham Lodge include a hipped roof brick cottage and two unknown structures, one weatherboard. The large gabled pitched roof building next to the brick cottage features a chimney [refer also photographs of the 1930s]. The size of the building and its location next to the old farmhouse may suggest that this was the dairy and/or milking stalls combined with hay storage. Equally it may have been a large shed to accommodate horses and drays.

*Jack and Maud Bourne 1930-1949,
and Patrick Thurgate 1952 –1960*

The 1934 Nowra Sewerage Map and aerial photographs of 1937 show that the first farmhouse had been demolished by the 1930s. The brick cottage and the adjacent pitched roof structure however remained in place as did the two smaller structures to the north. The alignment of smaller buildings and service structures suggests that the fence lines recorded in 1934, in particular that to the west of the 'house paddock' followed earlier precedent.

The essential layout of the site remained unchanged. In contrast the main house was modified by the addition of a two storey verandah on the western side by 1934. The lower section of the verandah was enclosed at one end to provide a



new laundry directly connected to the house. It would seem likely that the adjacent ground floor room was adapted as a kitchen at the same time and a fuel stove installed in place of the fireplace.

By the 1960s changes had been made to the garden with the loss of the northernmost two shed structures. Changes had also been made to the garden layout and planting. To the south the small brick cottage had been extended by the addition of a large timber skillion in association with a set of cattle yards. The large structure south of the brick cottage was now modified to provide a range of uses.

Prague Lodge 1960-1969

Under the new group of owners the lodge was extended to the north, doubling the footprint of the building. These alterations radically affected the internal fabric of Graham Lodge. By 1967 the building was identified as being within DP 208425 with C191481 [right of way] connecting the cemetery and house.

Nowra Leagues Club 1969-1998

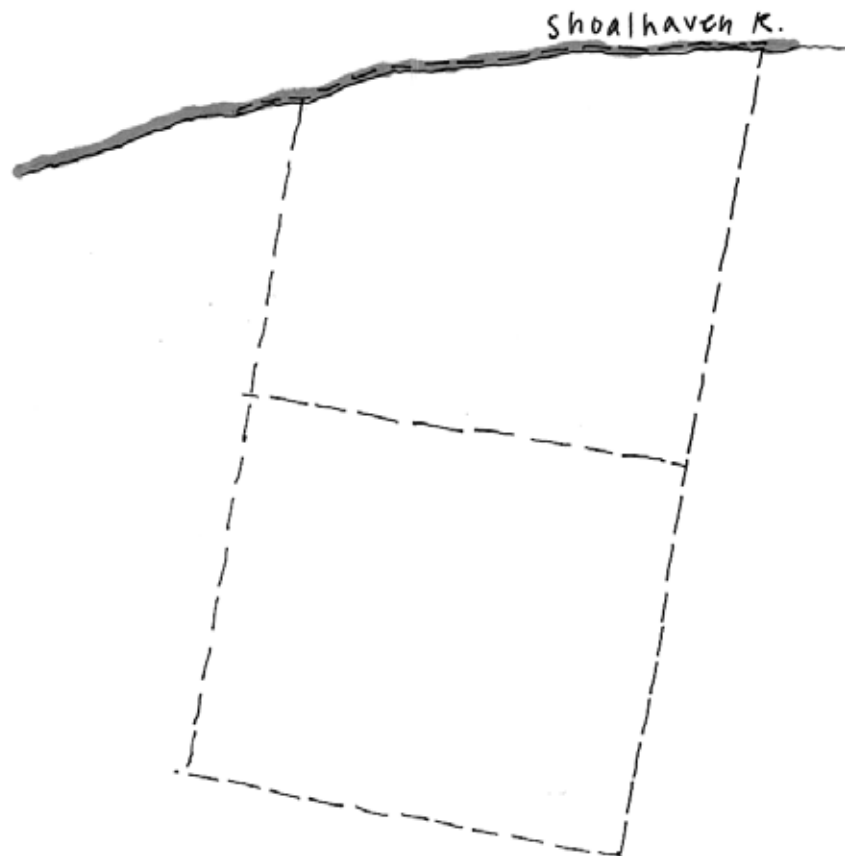
Purchase of the building by the Leagues Club led to further dramatic changes to the building and its setting. The moderate Prague Lodge extension was increased in area to encircle the building on all but the south facade. The new uses impacted dramatically on the garden layout and former use patterns, although the major plantings on the south and eastern sides remained.

By 1967 the route of the bypass to the city centre had been confirmed connecting with East Street at its junction with North Street. The completion of the new road bridge across the Shoalhaven River in 1980 effectively severed Graham Lodge from the townscape with the opening of the bypass to East Street. This action also appears to have removed the site of the first farmhouse and many of the smaller, related buildings. [The location of these structures should be confirmed by further research and any fabric identified.] The small brick cottage recorded in 1877 was demolished during redevelopment of the adjacent block in recent years.



The eastern boundary of the site, and Graham Lodge's link with the family cemetery, has been compromised by the introduction of a road easement, Hawthorn Way, providing access to new development close to the southern boundary of the site. New housing areas to the east have also encroached on the visual links and landscape setting.

Thus, key elements within the Graham Lodge precinct include Graham Lodge, the brick cottage and some of the associated planting. Although the site of the first farmhouse appears to have been destroyed during road works the site may contain remnant fabric, garden remains, foundations and other archaeological material documenting the development of the site. The Graham family cemetery to the east, although now separated, remains an important element in the associated landscape.



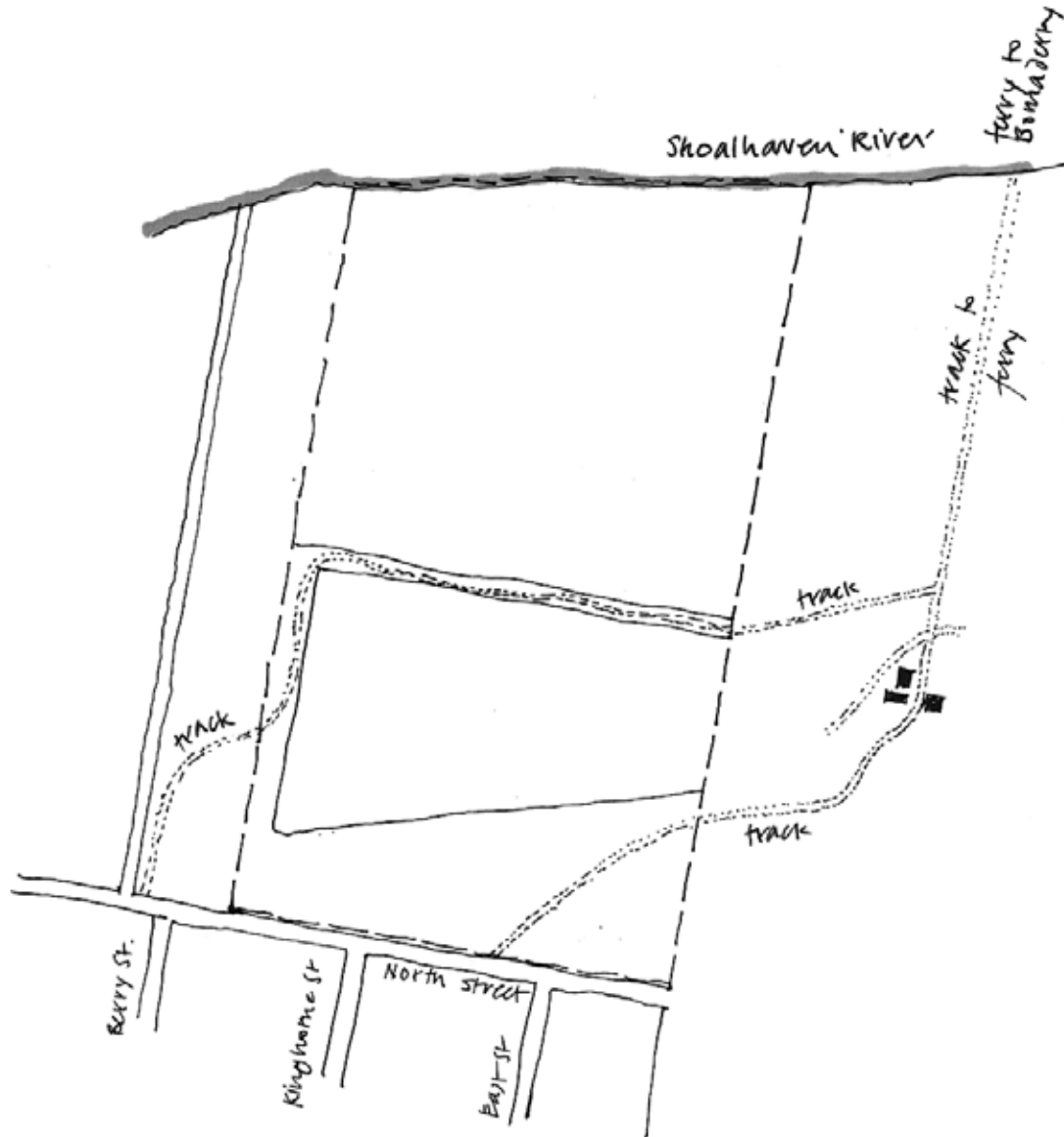
**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998**

SEQUENTIAL MAP NO. 1

The Walter Butler Allotment of 100 acres subsequently granted to
William Graham Senior c.1831

Source:

Refer John Mann surveys of 1850 and 1852



**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998**

SEQUENTIAL MAP NO. 2

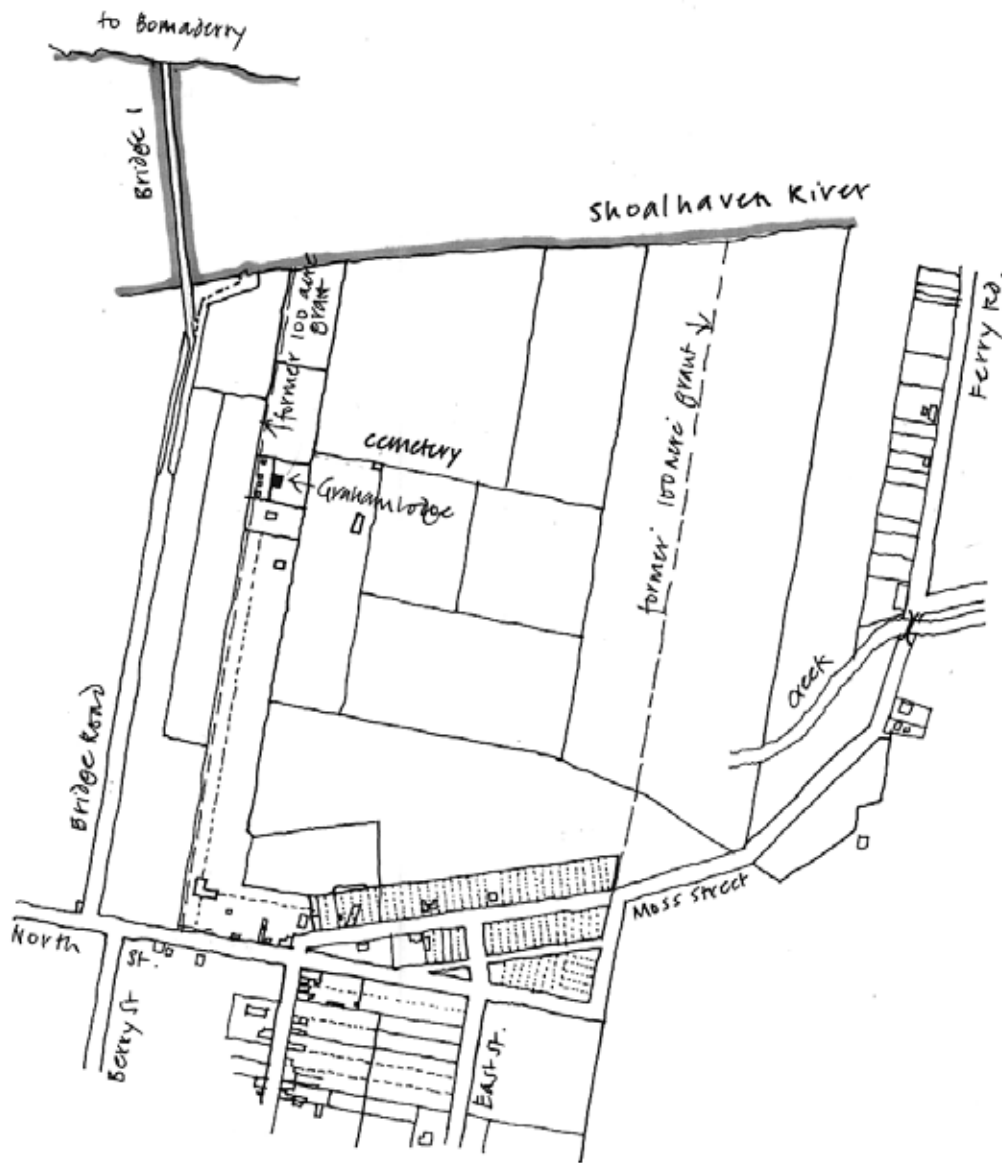
The map shows the formation of the modern Bridge Road, North Street and the planned [but undeveloped] subdivision of the Government town of Nowra. The track to the Greenhills hamlet became the future Moss Street. c.1852

Source:



GRAHAM LODGE PRECINCT • NOWRA
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Refer John Mann surveys of 1850 and 1852



GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998

SEQUENTIAL MAP NO. 3

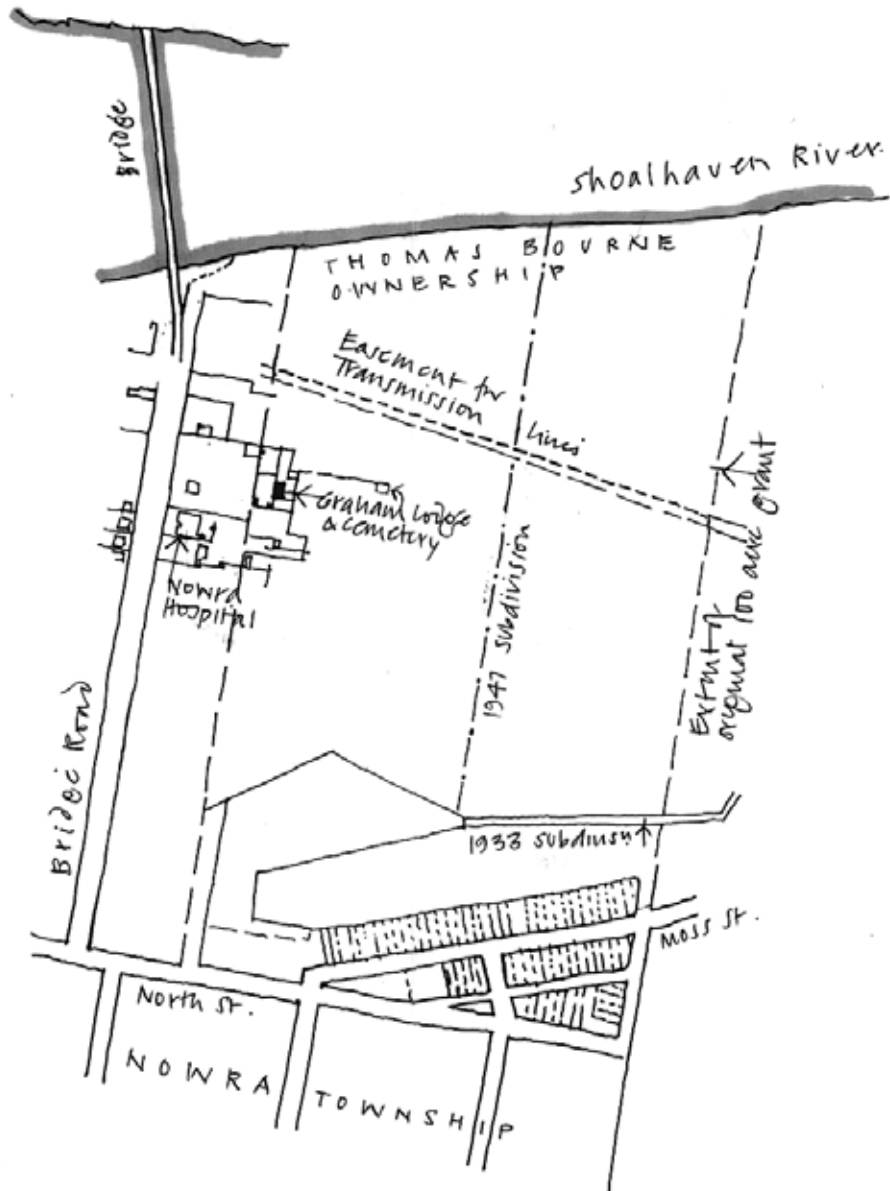
This map shows the completed Graham Lodge and surrounding outbuildings, the completed first Shoalhaven River bridge, the formation of Moss Street and Ferry Road, and the commencement of Nowra subdivisions. c.1890

Source:



GRAHAM LODGE PRECINCT • NOWRA
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*After Votes and Proceedings Legislative Assembly NSW, 1891 III Plan 2,
after p. 692*



GRAHAM LODGE PRECINCT
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1998

SEQUENTIAL MAP NO. 4

This map shows the development immediately adjacent Graham Lodge including the Nowra Hospital, the widened Bridge Road,

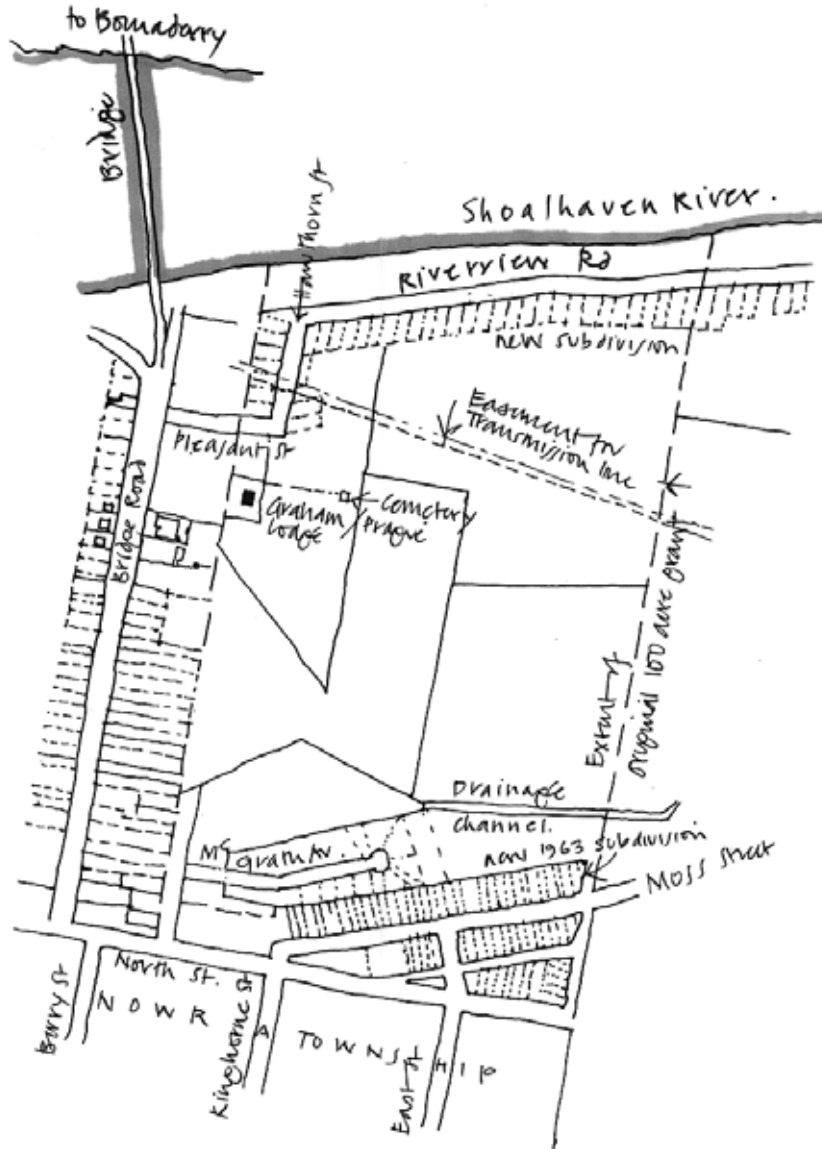


GRAHAM LODGE PRECINCT • NOWRA
 CONSERVATION MANAGEMENT PLAN • ANALYSIS • VOLUME 1
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the electrical transmission line easement, and the 1947 subdivision within Bourne's land, 1934

Source:

1934 Nowra Municipal Council Sewerage Plan



GRAHAM LODGE PRECINCT
 CONSERVATION MANAGEMENT PLAN
 1998

SEQUENTIAL MAP NO. 5

This map shows the further development of Nowra, particularly around Bridge Road and Moss Street. The new roads, Pleasant Street and Hawthorn Street give access beyond the bridge

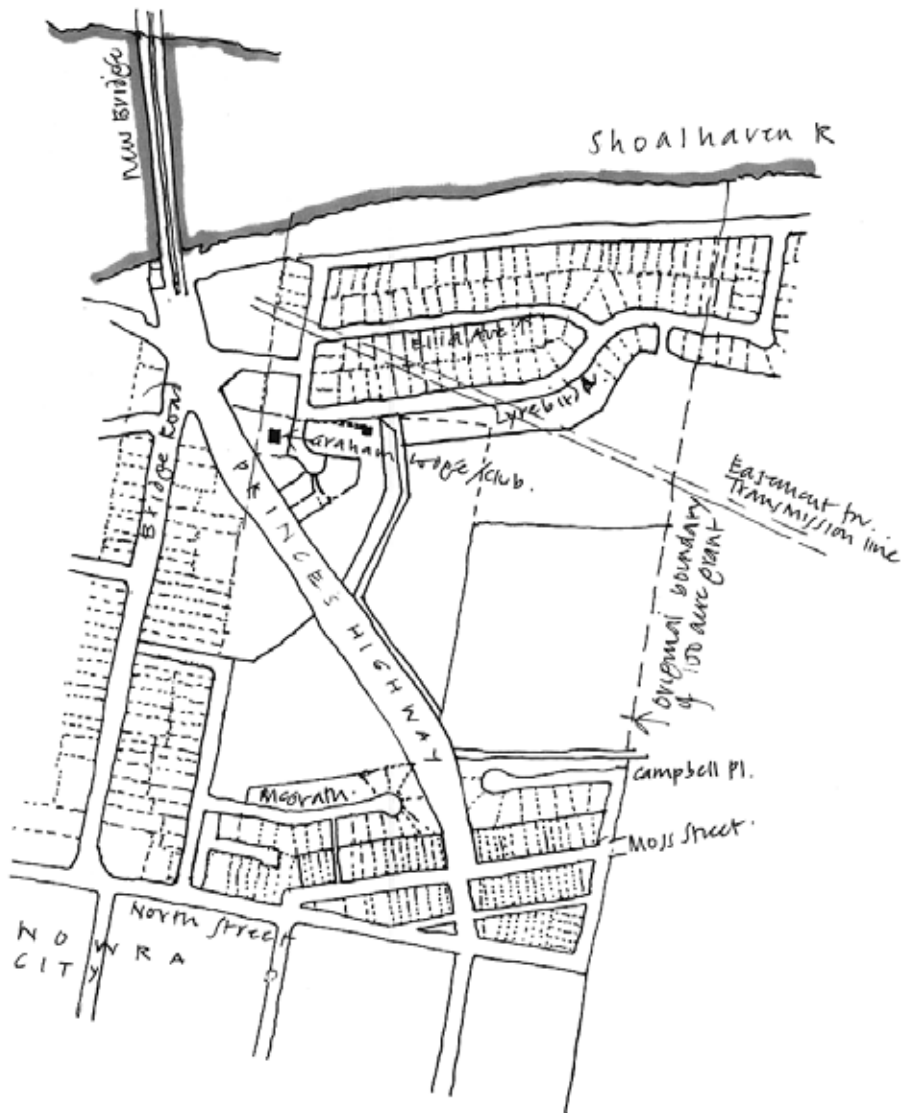


GRAHAM LODGE PRECINCT • NOWRA
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approaches, to a new subdivision and road parallel to the Shoalhaven River, 1967

Source:

Town of Nowra and Adjoining Lands, 1967. NSW Dept of Lands, CMA



GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
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SEQUENTIAL MAP NO. 6

This map shows the virtual surrounding of Graham Lodge and its cemetery by the creation of the Princes Highway bypass, and the extension of Hawthorn Street as a South [as a direct response to the need to access to the Club and the adjacent residential developments] 1994. Note the new two-span bridge, the dislocation

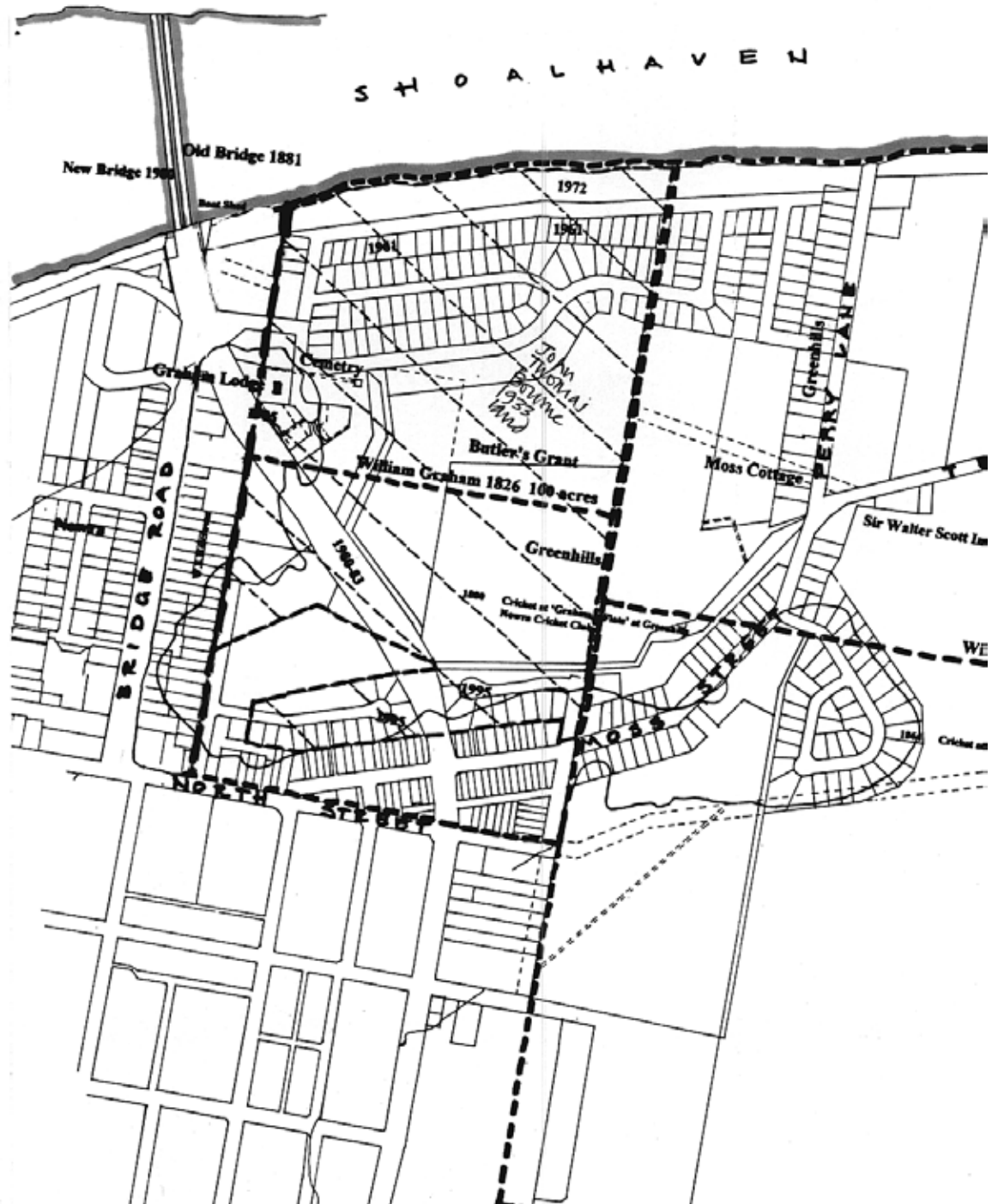


GRAHAM LODGE PRECINCT • NOWRA
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of the ROW between Graham Lodge and the cemetery; and the additional subdivisions to the north-east of the Lodge/Club and the new roads, Elia Avenue and Lyrebird Drive.

Source:

LEP map, SCC, map Nos. 1 and 7, 1994



GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
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SEQUENTIAL MAP NO. 7



GRAHAM LODGE PRECINCT • NOWRA
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Summary map, **1998**. The strong modern context and the original grant areas.

Source:

LEP map, SCC, map Nos. 1 and 7, 1994



4.2 COMPARATIVE ASSESSMENT WITH OTHER CONTEMPORARY SITES [SHOALHAVEN CITY COUNCIL AREA]

There are other 1860s homestead precinct sites within the Shoalhaven City Council area with which the Graham Lodge precinct may be compared. A detailed comparative analysis has not been feasible, but the statement of significance for the relevant homestead precincts are listed below [refer also Historical Overview text at Section 2, and the Shoalhaven City Council Heritage Study].

Monaghan's House, Mayfield Road Pyree

Rare example of an early Victorian Georgian brick farmhouse, one of the few mid-nineteenth century rural brick buildings outside Coolangatta Estate. The home of John Monaghan, one for the first central Shoalhaven city Councillors and Mayor. Local significance [Shoalhaven].

Wogamia House, Wogamia Road, Wogamia

Early stone residence enjoying magnificent outlook on the Shoalhaven River. Good example of a restrained Victorian Georgian residence of considerable social and historic interest. Occupied by the descendants of the original builder to the present day. Regional significance [Illawarra].

Nowra Park, Wallace Street, Nowra East

Built in 1922 on the outskirts of the new township of Nowra for the Commissioner of Lands, Mr McKay, Nowra Park is one of Shoalhaven's oldest homes. In its strategic location on the road to Greenwell Point and in its early Victorian architectural form, it is representative of the siting and design of residences in the 1850s. Historic and aesthetic value. Local significance [Shoalhaven].

Bundanon, off Illaroo Road [West of Nowra], Illaroo

Outstanding Victorian country residence and farmhouse, and farm buildings dating from the 1860s, set in a nineteenth century rural landscape with twentieth century overlays. The property is significant for its historical associations, for the aesthetic qualities, for the cultural landscape setting, and for



its association with artist Arthur Boyd. Local, regional, and national significance.

Eyrie Bowrie, Princes Highway, Milton

Victorian Regency house of some distinction, of particular significance to Milton as the earliest two-storey dwelling in the district. Associated with Roger Seccombe, one of early Milton's prominent figures. Contribution to the pastoral landscape setting of Milton. Historic and aesthetic value. Local significance [Shoalhaven district].

Boolgatta Farm, Princes Highway, Yatte Yattah

A grand Victorian residence built by master stonemason James Poole. Essentially intact, the complex includes several working outbuildings including old barns and a cottage which add considerably to the pastoral landscapes of the Milton district. Historic and aesthetic value. Regional significance [Shoalhaven district].

Mount Airlie, Woodstock Road, Ulladulla

Grand mid-Victorian residence, undoubtedly the finest old home in the Milton district. Notable individual design, derived from Classical and Regency influences. Associated with the Warden family, the building is the work of distinguished local stonemason James Poole. Survives in excellent condition with well planted garden and fine rural setting as part of the pastoral landscapes of the Milton district. State significance.



5.1 PREVIOUS ASSESSMENTS OF CULTURAL SIGNIFICANCE

Illawarra Regional Heritage Study, 1993 Regional LEP

Whilst not included in the Environmental Heritage Schedule for the Illawarra Regional Environmental Plan, Graham Lodge has been included in the supplementary list and identified as of regional significance. The study lists the house as being of rare historic value, representative aesthetic values and representative in terms of contemporary social values.

Shoalhaven Heritage Study 1997

The SHS statement of significance describes Graham Lodge as

'A notable early Victorian residence, one of the first built in Nowra. Originally a prominent site close to the highway and river. Retains essential fabric despite unsympathetic alterations and additions. Regionally representative of early two storey residences. Regional significance [ie within Illawarra region].'

National Trust of Australia [NSW] 1986 [Cemetery Only]

The statement of significance for the cemetery reads:

'The monument of William Graham is an early headstone which predates the Civil Register of 1856 and is of particular note because it marks the grave of an original land grantee located on part of his original land grant. The Graham family were prominent in the Nowra area during the latter part of the nineteenth century.'

Graham Lodge Precinct Archaeological Assessment 1999

The archaeological significance of Graham Lodge and Greenhills relates to both its 'contact' history and its European history and associations. In archaeological terms, the Greenhills 'settlement' [including Graham Lodge] is of great regional and probably of State significance.

5.2 ASSESSMENT ON A THEMATIC BASIS



Within the Shoalhaven Heritage Study [1997] local historical themes, linked to accepted state historical themes¹⁰³, were used to assess thematic importance for cultural sites. That approach is used here.

Theme 4 : Pastoralism

4.3 Dairying

The early development of dairying and cropping with surplus goods shipped to the Sydney markets. This association continued into the latter part of the twentieth century where the strategic location of the property could benefit from the new dairy factories and the railway. James Graham was a shareholder in local dairy factories. Although farm buildings have disappeared, the strategic location of the house illustrates the siting of dairy farms and was associated with the dairy industry of Shoalhaven for over 130 years.

Theme 6 : Land Tenure

6.1 Sub-division of large estates

6.2 Tenant farming

The establishment and origins of the land tenure patterns of the Greenhills Estate, which controlled much of the development of the Crookhaven River catchment to the boundary of the De Mestre's property of Terara. The focus of one of the earliest land grants in the Shoalhaven district taken up before 1826 by Butler.

Theme 9 : Environment

9.2 Clearing for dairy farming

The associated open landscape setting to the east illustrates the gradual evolution of the cultural landscapes of the Crookhaven River area and associated landscapes during the nineteenth and early twentieth centuries.

Theme 23 : Housing

23.1 Rural Houses

23.1.3 Residences

Graham Lodge, erected from 1860, is the second earliest example in Shoalhaven of a two storey residence, preceded only by Wogamia House erected in 1844. The quality of the design and construction of the house were unrivalled in Shoalhaven for many years.

Theme 32 : Death

32.1 Cemeteries, private

The Graham Family Cemetery of 1852, which preceded the Civil Register. The cemetery contains the graves of members of this early pioneering family which arrived in the district in 1826, a short time after Alexander Berry.

Theme 33 : Events

33.1 Events

The establishment of local government in 1859 following the growth of private towns. The house appears to have been built in response to James

¹⁰³ For State Historical Themes, refer Heritage Manual, 1996



Graham's election as one of the first mayors of the Shoalhaven Municipal Council in 1860.

Theme 34 : Persons

James Graham as the first mayor in Shoalhaven and as a prominent member of the community.

**5.3 Graham Lodge Precinct :
ASSESSMENT AGAINST THE CRITERIA**

The following assessment of cultural significance has been set out in alignment with the criteria of the NSW Heritage Act 1977.¹⁰⁴ Note that sections in italics have been subsumed into the statement of significance. For the Statement of Significance, refer Section 5.4 below.

Criterion 1: Historical Association [evolution and association]
An item having this value is significant because of the importance of its association with, or position in, the evolving pattern of our cultural history.

Graham Lodge is historically significant for its association with the Graham family who arrived in the district in 1826. The family purchased Butler's grant fronting the Shoalhaven River which was to become the focus of the Greenhills Estate acquired and worked by the Graham family until 1930. The residence was erected by James Graham [senior] from 1860 and would appear to be associated with his election to the first Shoalhaven Municipal Council in 1859 and subsequently his election in 1860 as Mayor. The residence was the second two storey residence to be erected in the Shoalhaven District and is important in illustrating the expression of social standing and the introduction of architectural idiom following the growth of the community, private towns and local government in the 1860s.

Graham Lodge is significant because those historical values identified above are rare, endangered and unusual aspects of the history of Shoalhaven and the Illawarra region.

[Criterion 1B]

Criterion 2: Aesthetic Significance [scenic/architectural qualities/creative accomplishment]
An item having this value is significant because it demonstrates positive visual or sensory appeal, landmark qualities and/or creative or technical excellence.

¹⁰⁴ NSW Heritage Criteria. NSW Heritage Manual, Sydney 1996



The 1997 Heritage Study identified the majority of buildings in the Shoalhaven District as of vernacular idiom and form. The introduction of architectural concepts and design by recognised architects such as Thomas Rowe, John Horbury Hunt, Howard Joseland and Cyril Blackett did not begin until the 1870s with the construction of a number of churches including the Anglican Church in Kangaroo Valley and St Andrews Church in Nowra both by Horbury Hunt in the early 1870s. 'Polite' residential design as opposed to vernacular design does not appear to have begun in recognisable form until the late 1860s with the development of Barrengarry House by Horbury Hunt in 1868-1870. The influence of contemporary Victorian architectural stylistic idioms was also implemented at Mount Airlie in 1868. Neither Barrengarry House nor Mount Airlie 1868, as adaptations of existing structures, incorporated two storey verandahs into their design. The two storey verandah form of Graham Lodge would appear to be the earliest example in Shoalhaven. Similar two storey buildings with two storey verandahs were erected in the following years including Bundanon in 1866 and Boolgatta in 1870. Bundanon was an expression of the prevailing vernacular Victorian Georgian idiom with Regency overtones. Boolgatta is an Italianate asymmetrical form typical of the last quarter of the nineteenth century.

Although modified and adapted Graham Lodge is significant as a late example of the Colonial Georgian style with Regency influences expressed in the details and as such represents a transition from Colonial to Victorian values in a rural setting. The use of slates in the roof was probably the earliest in Shoalhaven and a reflection of the need to express quality and permanency in all parts of the building. This quality is evident in the remnant internal cedar joinery, the design of the principle elevations, the use of a two storey verandah reflecting urban building styles and the massing and scale of the building. The two storey verandah form would appear to be the earliest in the Shoalhaven district.

Graham Lodge is the earliest example of a two storey verandahed house and is a transition from Colonial to Victorian values. Built in 1860 the house is the second oldest example of a two storey house in the Shoalhaven district and



possibly the first 'polite' residence erected in Shoalhaven.
[Criterion 2B]

Criterion 3: Technical/Research Significance [archaeological, industrial, educational, research potential and scientific significance values]

Items having this value are significant because of their contribution or potential contribution to an understanding of our cultural history or environment.

The site has potential archaeological significance in the foundations of cottages and sheds recorded in Samuel Elyard's painting of 1877; and because Greenhills/Graham Lodge is a rare archaeological survivor demonstrating the estate of a pastoral family with clear connections with Aboriginals [as retainers and as part of the Greenhills community].

Graham Lodge is significant for its educational potential as an example of an early two storey house which can contribute to an understanding of mid nineteenth century construction, the story of settlement, local government and history in the Shoalhaven district during the nineteenth century. This significance is enhanced by the close association with the Graham family cemetery and the wider setting. [Criteria 3A and 3B]

Criterion 4: Social Significance [contemporary community esteem]

Items having this value are significant because of the importance of its association with, or position in, the evolving pattern of our cultural history.

Graham Lodge and Greenhills has significance to the community of Nowra and the immediate region, as the Graham family had early connections with the governance of the local municipal areas; and the former Lodge, as function centre and later as Club building, functioned prominently in the social life of the town/city and region.

5.4 STATEMENT OF SIGNIFICANCE

Graham Lodge is historically significant for its association with the Graham family who arrived in the district in 1826. The family purchased Butler's grant fronting the Shoalhaven River which was to become the focus of the Greenhills Estate



acquired and worked by the Graham family until 1930. The residence was erected by James Graham [senior] from 1860 and would appear to be associated with his election to the first Shoalhaven Municipal Council in 1859 and subsequently his election in 1860 as Mayor. The residence was the second two storey residence to be erected in the Shoalhaven District and is important in illustrating the expression of social standing and the introduction of architectural idiom following the growth of the community, private towns and local government in the 1860s.

Graham Lodge is significant because those historical values identified above are rare, endangered and unusual aspects of the history of Shoalhaven and the Illawarra region.

Although modified and adapted Graham Lodge is significant as a late example of the Colonial Georgian style with Regency influences expressed in the details and as such represents a transition from Colonial to Victorian values in a rural setting. The use of slates in the roof was probably the earliest in Shoalhaven and a reflection of the need to express quality and permanency in all parts of the building. This quality is evident in the remnant internal cedar joinery, the design of the principle elevations, the use of a two storey verandah reflecting urban building styles and the massing and scale of the building. The two storey verandah form would appear to be the earliest in the Shoalhaven district.

Graham Lodge is the earliest example of a two storey verandahed house and is a transition from Colonial to Victorian values. Built in 1860 the house is the second oldest example of a two storey house in the Shoalhaven district and possibly the first 'polite' residence erected in Shoalhaven.

The site has potential archaeological significance in the foundations of cottages and sheds recorded in Samuel Elyard's painting of 1877; and Greenhills [the remnant land component of the Graham Estate] and Graham Lodge [the Graham residence] are rare archaeological survivors demonstrating the estate of a pastoral family with clear connections with Aboriginals [as retainers and as part of the Greenhills community]. Archaeologically, Greenhills/ Graham Lodge is of **State** significance.



Graham Lodge is significant for its educational potential as an example of an early two storey house which can contribute to an understanding of mid nineteenth century construction, the story of settlement, local government and history in the Shoalhaven district during the nineteenth century. This significance is enhanced by the close association with the Graham family cemetery and the wider setting.

Graham Lodge and Greenhills has significance to the community of Nowra and the immediate region, as the Graham family had early connections with the governance of the local municipal areas; and the former Lodge, as function centre and later as Club building, functioned prominently in the social life of the town/city and region. In comparative terms, Graham Lodge is of regional to State cultural significance.



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • ANALYSIS • VOLUME 1

APPENDIX 1

**SHOALHAVEN CITY COUNCIL
PROPERTY SERVICES GROUP**

**CONSULTANT'S BRIEF
PREPARATION OF A CONSERVATION MANAGEMENT PLAN
FOR GRAHAM LODGE, NOWRA**

February 1998

CONSULTANT'S BRIEF

PREPARATION OF A CONSERVATION MANAGEMENT PLAN FOR GRAHAM LODGE - NOWRA

1. AIM

This brief sets out the work required for the conservation management plan for 'Graham Lodge' located within the former Nowra/Bomaderry Leagues Club site located at Lot 1 DP 208425, Lot 53 DP 560842, Lots 1 and 2 DP 198977 corner Princes Highway and Pleasant Way, Nowra. The conservation management plan is to be prepared in accordance with Council's responsibilities under the Environmental Planning and Assessment Act 1977 and Local Environmental Plan 1985; an objective of which is "to protect items of the environmental heritage". [Part 1 2. (2)(h)].

2. BACKGROUND

'Graham Lodge' is a large two-storey Victorian residence circa 1850 of rendered masonry with double hipped slate roof and four tall hexagonal chimneys. The front elevation has a two-storey verandah with dropped iron roof featuring cast iron columns with drip moulds, iron lace brackets and fringe to upper balcony wrought iron balustrade. The ground floor verandah has been enclosed and is linked with an unsympathetic modern brick and fibro storage and garage area. These and major extensions north of Graham Lodge incorporate the former Nowra/Bomaderry Leagues Club (circa 1972). The residence has been extensively remodelled internally as a result of previous uses including being a part of the Nowra/Bomaderry Leagues Club. The building is now owned by Shoalhaven City Council and is vacant. The land is zoned 6(b) Open Space Private Recreation. The Graham Family cemetery is located nearby on Lot 3 DP 328915, also owned and controlled by Shoalhaven City Council.

3. SCOPE OF WORK

(a) Objectives

The consultant shall be required to prepare the conservation management plan incorporating the following objectives:

- understand the heritage item through investigation of its historical and geographical context, its history, fabric, research potential and importance to the community;

- prepare a *Statement of Significance* - the plan will analyse documentary and physical evidence to determine the nature, extent and degree of significance of the heritage item;
- develop a *Conservation Policy*, arising out of the Statement of Heritage Significance, to guide current and future owners of the item on the development potential of the item and its ongoing maintenance. Constraints and opportunities are to be examined;
- identify and evaluate several proposals for re-use or development, and how they can best be achieved in accordance with the conservation policy and the general planning principles outlined below involving gateway potential;
- recommend how the heritage item can best be managed bearing in mind those responsible and interested in its ongoing conservation. It is to include proposals to review the conservation management plan and the item's maintenance;
- undertake a curtilage analysis of the site; taking into account the contextual relationship of the building to its original setting within the Crookhaven pastoral landscape;
- identify areas, if any, where future developments may occur and guidelines for such development and how the site may be integrated with adjoining Council owned land, including the potential of the site to act as a gateway to open space uses such as possible botanic garden type complex; and
- provide a preliminary cost estimate relating to a Schedule of Conservation Works together with an architectural perspective plan depicting the building and its setting in accordance with the Conservation Management Plan.

(b) Area To Be Addressed

The study area shall be the land immediately associated with 'Graham Lodge' (Lot 53 DP 560842, Lots 1 and 2 DP 198997, Lot 2 DP 208425) including the land associated with any outbuildings on the estate whether these buildings exist or otherwise, and the Graham Family Cemetery (Lot 3 DP 328915) generally as shown on the attached plan marked Annexure 'A'.

Notwithstanding the above boundaries, the conservation management plan may need to extend the boundaries of this study area to enable recommendations associated with the building's setting to be incorporated into the plan.

(c) Previous Reports Available Information

The conservation management plan is to be a concise document. Information on the item or its site included in previous reports is not to be reported unless of particular reference. Rather in the plan simply refer to other documentation available.

- (i) Heritage Report Graham Lodge - Lorraine McCarthy October 1993.
- (ii) A Village Jaunt - Greenhills to Greenwell Point - Robyn Florance September 1993.

- (iii) Peter Freeman Pty Ltd - Shoalhaven Heritage Study 1997, and data sheets for Graham Lodge, the Graham Family Cemetery, William Graham's Grave, Monaghan's House and the Crookhaven Pastoral Landscape.
- (iv) Robert McDonald & Assoc - Structural Report on the Former Nowra Bomaderry Leagues Club January 1998.

(d) Background Material

The following documents are to be used to develop the statement of significance, conservation policy and management guidelines.

Australia ICOMOS 1988, Australia ICOMOS

Charter for the Conservation of Cultural (The Burra Charter) Guidelines to the Burra Charter: Cultural Significance, Conservation Policy, and Undertaking Studies and Reports, Australia ICOMOS, ACT. Both revised. The Burra Charter gives definition for terms used in heritage conservation, discusses acceptable conservation processes and establishes the best practice for achieving the heritage conservation of a particular item.

Heritage Office & Department of Urban Affairs and Planning, 1996,

Conservation Management Documents, NSW Heritage Manual, HO/DUAP, Sydney. These guidelines answer some common queries regarding the preparation of conservation management plans.

Heritage Office & Department of Urban Affairs and Planning, 1996,

Heritage Assessments, NSW Heritage Manual, HO/DUAP, Sydney. These guidelines explain how to use historical themes and evaluation criteria to assess heritage significance. The manual promotes a standardised assessment practice for heritage conservation within New South Wales.

Kerr, James Semple 1990

The Conservation Plan, National Trust of Australia (NSW), Sydney. This publication presents a methodology for the preparation of conservation plans.

(e) Investigate Significance

Gather and analyse written and graphic information (including photographs and drawings) to establish the historic context of the heritage item or place. This will involve comparison with other like items and other properties associated with the Graham Family in Shoalhaven.

Investigate the physical evidence of the item to authenticate its history and to help reassess its significance - without excavating or disturbing the fabric. This will require a photographic record of all structures and features including garden elements, trees, monuments, etc.

Evaluate the current condition of the fabric (an archival photographic survey and measured drawings will assist in this, as well as later policy analysis and recommendations for management).

Consult with relevant community and interest groups when necessary. Provide a chronological history of the heritage item and its context, including use and significance over time.

Analyse the documentary and physical evidence to determine what contributes to the significance of the item.

(f) Assess Significance

Use heritage assessments in the NSW Heritage Manual, and archaeological assessments, published by the Heritage Office and NSW Department of Urban Affairs and Planning in 1996.

Assess the Statement of Significance. This should be done for the whole subject area and, when necessary, separately for items of individual significance. The main statement as to why the item is considered to be of significance is to be succinct. Its purpose is not to reiterate the history and description of the item (unless it is particularly relevant); rather, the statement is a result of the analysis of documentary and physical evidence.

Indicate the individual significance of the component parts of the item on a 1 to 5 zone system:

- Exceptional 5
- Considerable 4
- Some 3
- Little or no significance 2
- Intrusive 1

Indicate how the ranking has been determined and applied.

(g) Manage Significance

Outline the constraints and opportunities that arise as a result of the heritage significance of the item.

Outline the constraints and opportunities that arise as a result of the physical condition of the item (for example, structural adequacy, existing services, archaeological relics). In this regard consider recommendations of the structural report and incorporate where appropriate.

Prepare a succinct statement of **CONSERVATION POLICY** which includes:

- feasible uses - the plan identify a use, or combination of feasible uses, that are compatible with the retention or enhancement of the cultural significance of the item. Briefly explain how each use would impact on the item's significance;

- fabric and setting - the most appropriate way to conserve the item and its setting is to be identified. This should include amongst other things the relationship of the site to the former estate boundaries and to the Crookhaven Pastoral Landscape and the minimisation of intrusive elements created through urban development;
- interpretation - the most appropriate ways of making the significance of the place understood are to be identified including guidelines for visitor access, revue and interpretation;
- controls on intervention - these should identify the degree of physical intervention acceptable for non-conservation purposes as well as how any essential intervention is to be recorded;
- priorities for urgent conservation works are to be identified; and
- guidelines for traffic handling, parking, public amenities and support facilities are to be prepared.

(h) Implementation Strategy

Outline the preferred use(s) and the works involved. Provide guidance on how such works can be implemented while minimising the impact on heritage significance. Justify in terms of the viable future of the heritage item any works that will have a substantial impact on the heritage significance. Discuss why other options of less impact have not been considered viable.

(i) Asset Management Guidelines

Management - recommend a management policy (within the context of any new ownership and use) through which future decisions on conservation are to be made for example a steering committee.

Statutory approvals - outline the necessary approval procedures to allow works to be carried out. Identify any planning or other issues that have a bearing on the adaptive re-use or development of the item.

Maintenance - include a practical maintenance strategy and set guidelines for appropriate usage and care of the items in accordance with the conservation policy including proposals for the review of the conservation management plan.

Funding - outline sources of funding that may be available given the significance of the item.

(j) Conservation Works

Compile a Schedule of Conservation works together with preliminary cost estimates for the conservation of the significant elements of the site. An architectural presentation drawing of Graham Lodge showing typical colour finishes and its setting following restoration in accordance with recommendations of the conservation plan shall be prepared.

4. CONTACT WITH PROJECT MANAGER AT COUNCIL

The project will be managed by Council's Property Services Manager in conjunction with Council's Planning Services Division. Close liaison with the Project Manager is required during the project. The contact person for this project will be John Flett 02 4429 3485.

Your attendance will be required in Nowra:

- at commencement of the project (briefing meeting)
- midway through investigation stage to outline progress, findings and proposed further work
- presentation of final draft to senior staff
- presentation to Council Committee

If a public meeting is to be held, you may be required to attend this together with relevant Council staff.

Other site visits or meeting dates may be required depending on the response to the brief.

The consultant will be required to liaise with the Project Manager at least weekly and to fax progress statements to the Project Manager at the end of every two week period.

5. COSTS

Council requires a FIXED PRICE QUOTE for the preparation of the work as outlined in the brief. Details (qualifications/background/other project work) of personnel to be involved, including any sub consultants, are to be provided together with hourly rates, so provision can be made for contingencies such as additional meetings etc. The quotation shall clearly state what has been allowed so that contingencies can be applied fairly, if needed.

Also, a separate price is to be included in the event that Council resolves to hold a public meeting during the public exhibition period.

Council will only consider persons qualified for specific tasks to work on the project.

A sum of 10% of the contract price will be held over and paid out once Council is satisfied the work has been fully undertaken.

At the end of the project Council will require that the successful consultant submit a statutory declaration which states all sub-consultants, your staff and others commissioned by you to carry out work or supply material for it, have been fully paid, prior to the final payment being made to you.

6. PERSONNEL/SUB CONSULTANTS

The skills of the head consultant and other consultant team members should be appropriate to the task. An historian is to be involved in the process particularly during the assessment stage. Specialist skills including an archaeologist, landscape architect and engineer should be considered. The consultant should endeavour to use local sub-consultants wherever possible, particularly in respect to local historians and architects and shall indicate in the response to the brief how these may be incorporated into the team. The consultant shall name its staff members and any sub-consultants who will be working on this project (except for drafting, clerical and typing support), and provide a curriculum vitae for each of them.

No other professional staff or other sub-consultants should be used on this project without the written permission of Council's Project Manager or his/or her nominee.

7. TIMING

A draft work program is to be provided by the consultant in the form of an appropriate time line diagram showing the draft plan completed for discussion by 12 June 1998 and the final document completed by 31 July 1998.

The consultant shall indicate the earliest date by when they can commence on the project.

8. REPORT

The report shall be bound, A4 size in portrait mode. Maps and diagrams shall be capable of photocopying in black and white while still conveying their information. A draft report shall be submitted to the Project Manager for assessment before final printing. Four copies of the final report spiral bound with original photographs shall be provided.

9. COPYRIGHT

Any studies, investigations, designs and associated documentation and drawings prepared for Council in this project shall be owned and become the sole property of Shoalhaven City Council for all copyright purposes.

10. SUPPORT MATERIAL

Council can supply the consultant with base mapping, from its computerised map base both of the subject land and surrounding area at any scale suitable for presentation of report maps and local environmental plan map.

Aerial photography may be available at Council to assist with this project, however, this may only be used by the consultant at Council's offices. Should you require such photographs or

enlargements of them to carry out your work, either in the field or at premises other than Council's Nowra office, then these should be budgeted for in your proposal but shall become the property of the Council at the conclusion of the project.

11. PAYMENT

Payment will be made following completion of the draft document with a sum of 10% of the contract price being retained and paid out once Council is satisfied the work has been fully undertaken.

12. CLIENT CONFIDENTIALITY

Your client on this project shall be Shoalhaven City Council.

The specific material from the outcome of surveys or conclusions arrived at from this project shall be treated as confidential between Council and yourselves. To this end, Council requires a written undertaking that the consultant and any sub-consultant will not release any material, work or finding on the study/project to any other party prior to that study being reported to the Councillors.

13. DISCLOSURE OF INTEREST

As part of the consultant's response to the brief you are required to disclose, in writing, any interest or matters which may prejudice the consultant's ability to act objectively on behalf of Council in this commission.

14. INSURANCE

Your response to the brief shall provide documented evidence to Council that you have adequate insurance cover in respect of professional indemnity and public liability insurance.

15. OCCUPATIONAL HEALTH AND SAFETY

Council requires that the consultant will at all times adopt recognised and appropriate standards in relation to occupational health and safety matters when undertaking this work. The consultant must also ensure all sub-consultants do likewise.

16. CONFLICTS OF CONDITIONS

If there are any conflicts of conditions between this brief and your response then, unless specifically agreed to, in writing, the Council's conditions will take precedence.

17. TERMINATION OF CONSULTANCY

Council retains the right to terminate the consultancy at any time with four weeks notice having regard to the general performance of the consultant in carrying out the proposed work

and/or for the consultant's inability to reasonably meet the agreed timetable for carrying out such work.

18. PERFORMANCE REVIEW

At the conclusion of the project Council will undertake a review of the consultants performance including:

- adequacy in meeting the brief;
- whether the project was carried out on time;

Council will discuss its findings with the consultant and the final outcome will be taken into account when Council is selecting consultants for future projects.

19. DATE FOR RETURN OF SUBMISSION

Please forward your submission to Council, in writing, with the required information by 5pm on Friday 13 February 1998.

If you have any queries on the above please contact the Project Manager, John Flett, Urban Design Planner, (02) 4429 3485.

John Drummond
PROPERTY SERVICES MANAGER
1998



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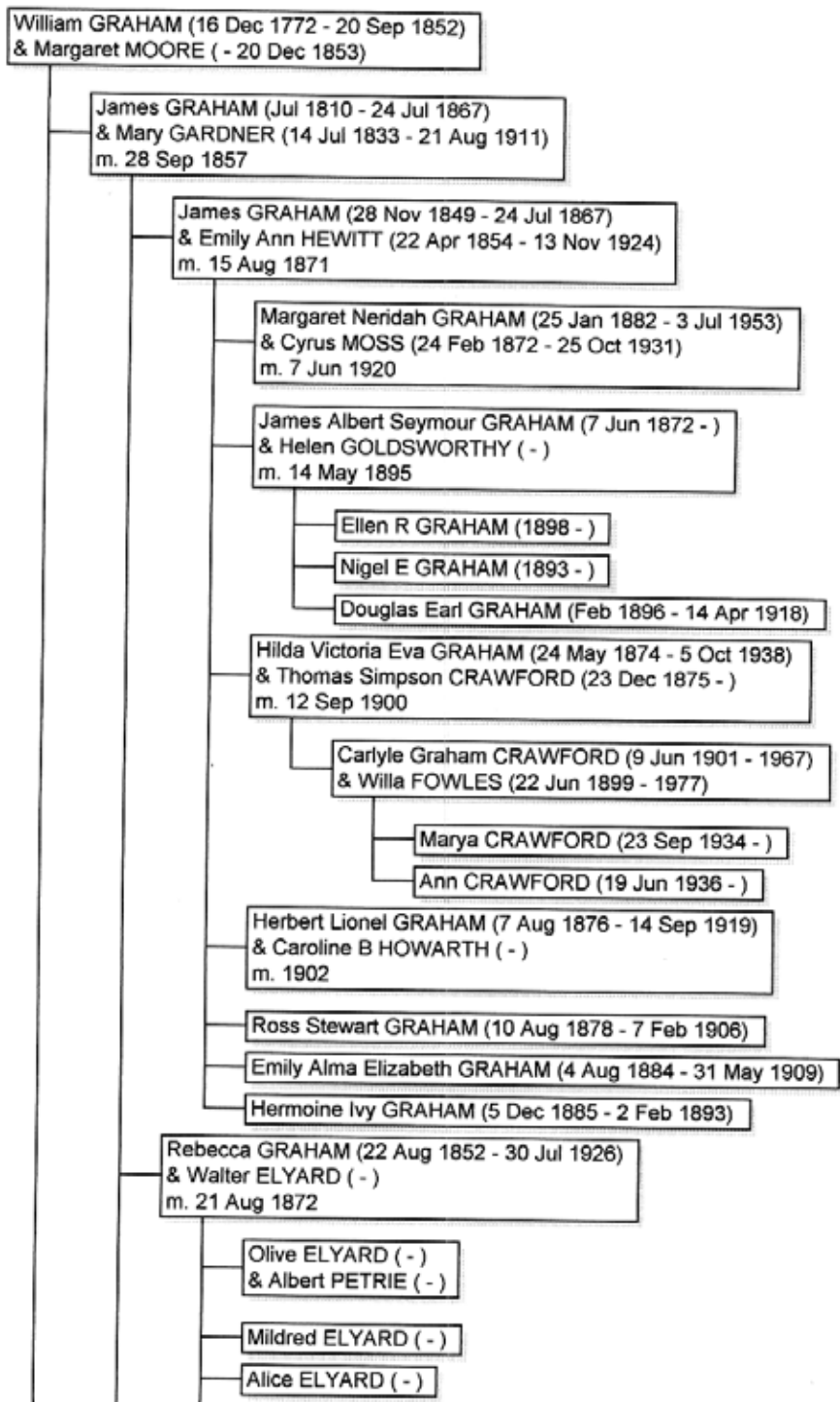
APPENDIX 3

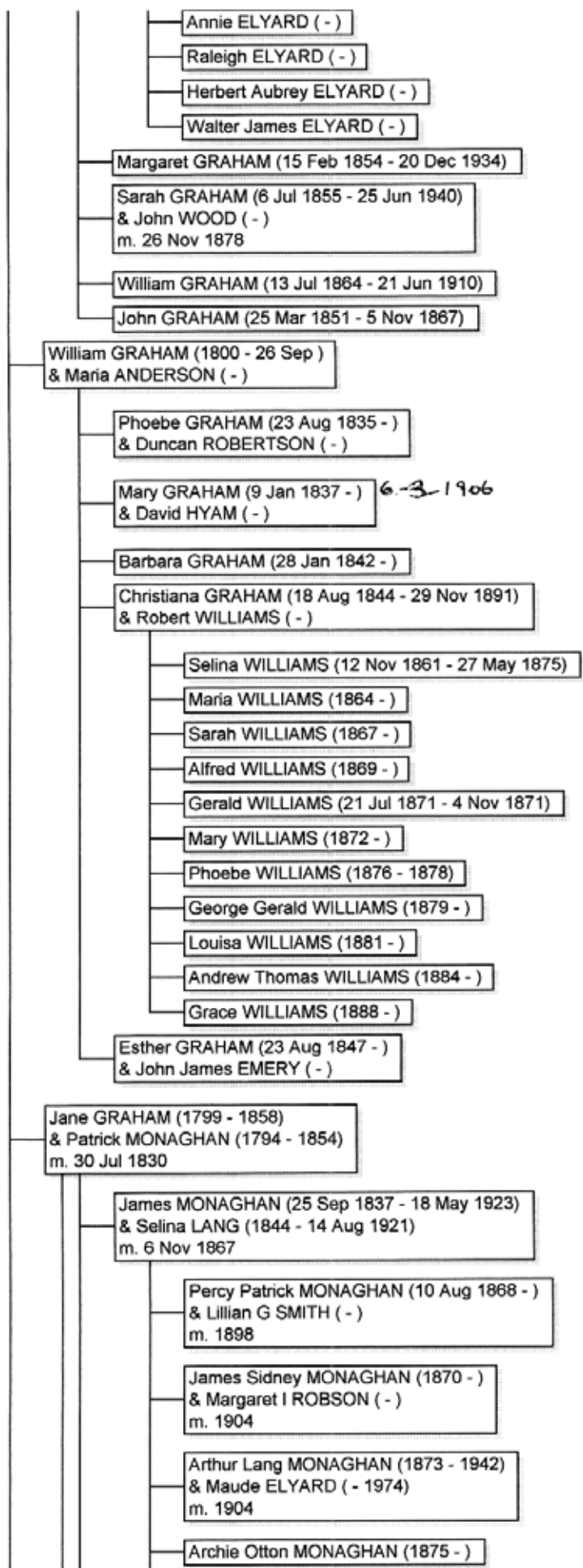
THE GRAHAM FAMILY TREE
PREPARED BY ROBYN FLORANCE • NOWRA

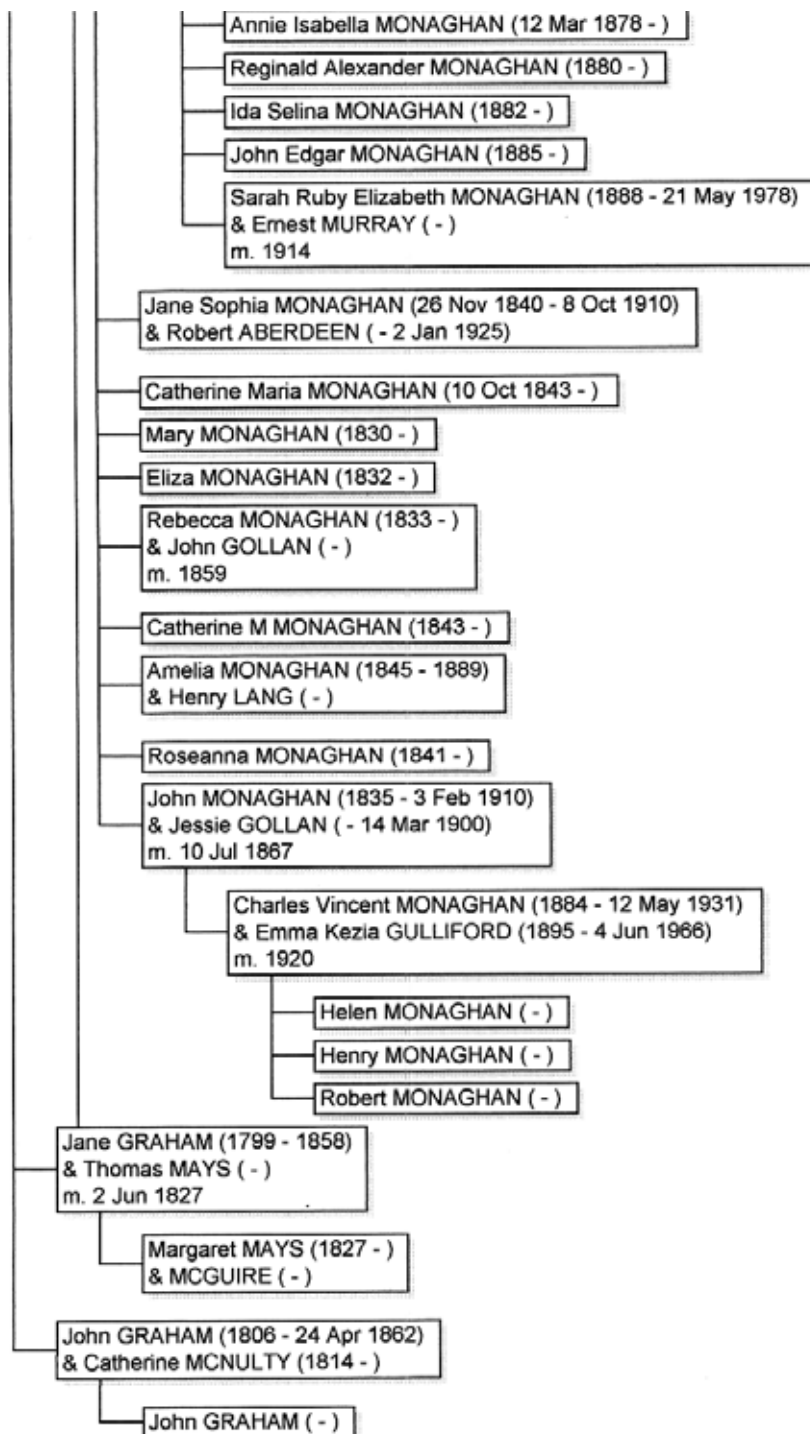
May 1998

GRAHAM FAMILY TREE

Prepared by Robyn Florance
May 1998







GRAHAM, Ann: Of Bellawongarah. Born Ireland, married 1831, migrated 1861, died at 94. Obit. in Tele 9/8/1905. Widow of John.

GRAHAM, Christopher (1834-1925): 1926 p44, pic p30. Nowra Mayor 1894-97, 1907. Opening of his General Store in Kinghorne St. (Tele 17/1/1894, 7/2/1894). Fire cnr. North and Berry Sts. (Tele 30/6/1900) Sat on Bench after becoming JP (Tele 8/9/1897). He died 26/8/1925, but no proper obituary located. Ref. to his death at council meeting. (Tele 2/9/1925). Tele 26/1/1898 — Mayor Graham reported that the bank overdraft had been wiped out, and with £90 of the main South Coast road grant to come, council's finances were in good position. 9/2/1898 — When he took office, the overdraft had been £1000. He had also been able to resolve any problems so that there were no expensive law cases as there had been in the past. Death of his wife in Tele 13/1/1909.

GRAHAM, C. J. (son of Christopher): (G), Article in "Chronograph" 9/77 from The Primary Producer, 1938.

GRAHAM, Henrietta Maud (nee Huxley): Obit in News 31/12/1963.

GRAHAM, Henry: Of Kangaroo Mt. Robbed (Tele 23/9/1896)

GRAHAM, Henry: Rockfield Factory (Tele 29/2/1888 and 2/3/1892).

GRAHAM, Hilda: Daughter of James, of Greenhills, married Thomas Crawford (Tele 15/9/1900). Born Graham Lodge. Obit. in News 19/10/1938.

GRAHAM, Hugh: Farewelled by Half Holiday C.C. and Woodhills (Tele 6/7/1904).

GRAHAM, Hugh: Farewelled from Woodhills, Berrellan, to Queensland. (Tele 2/11/1910).

GRAHAM, James Snr.: 1861 1864 Shoal. Magistrate. 1926 p43, pic p30.

GRAHAM, James Esq. JP: Of Green Hills. Death in News 27/7/1867. Aged 66.

GRAHAM, James: Of Kangaroo River. Obit in Tele 24/3/1897. Brother of Mayor.

GRAHAM, James: Of "Violet Bank", Barrengarry. Obit in News 4/1/1939.

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GRAHAM, J. A.: S.D.C.A. Hon. Sec. 1910. Local history, over column. (Leader 24/2/1922)

GRAHAM, J. C.: Married Catherine Boxsell of Bellawongarah (Tele 27/3/1901).

GRAHAM, John Joseph: Married Elizabeth Rebecca Everson at Bellawongarah (Tele 25/5/1898).

GRAHAM, John and Elizabeth: Family tree in Kathryn Emery file.

GRAHAM, Miss: Married C. S. Moss.

GRAHAM, Victoria (1887-1980), daughter of Christopher: Obituary from S.C.R. (G).

GRAHAM, Walter ("Watty"): Obit in News 30/12/58. Aged 86. Born in Scotland.

GRAHAM, William: Flood book re Greenhills Estate p19. Details of account book 1848-54, from S.G.S. member Ann Pulvertaft (G). Article re Greenhills Account Book 1848-54 in T/T (9/88). Obit in Tele 29/6/1910; correction in issue of 6/7/1910, Thomas Robson of Mayfield should be his step-father.



Greenhills Farm from the north-east c.1871 [detail].
Source: Mrs Anne Pulvertaft, Sunshine Beach, Queensland

GRAHAM LODGE PRECINCT • NOWRA CONSERVATION MANAGEMENT PLAN

VOLUME 2 OF 3 CONSERVATION ANALYSIS : PRECINCT INVENTORY

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AUGUST 2000



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**GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN**

VOLUME 2 OF 3

CONSERVATION ANALYSIS • PRECINCT INVENTORY

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1.0 INTRODUCTION TO THE INVENTORY

The site and building inventory descriptions are an integral part of the **physical analysis** of the Graham Lodge precinct; and are thus part of the **Conservation Analysis** of this Conservation Management Plan. The inventory is, however, placed in a separate document, because of the length and complexity of the physical description and analysis material presented.

The 'inventory' format has been chosen because it provides a simple and comparative method of presenting this material to the reader. The 'corporate' history of the site is not discussed within this document, however the physical evolution of building and landscape is analysed where relevant. As discussed in the introduction to this report, the 'curtilage' adopted for this Plan comprises the area shown in the plan below.

The standard inventory 'field' headings are as follows:

HEADING

Each page of the inventory document has a heading which identifies the particular space [and inventory space relating to that space] being described.

KEY PLAN

A key plan prefaces each of the inventory descriptions. The space being described is highlighted by means of a toned area. This **key plan** is also included within the Historical Overview, Conservation Analysis Report, Volume , Part 1.

ROOM NAME

Within this field, the key room [or space] number is identified, and the current [and former] uses of the space described.

HISTORICAL BACKGROUND & ASSOCIATIONS

This 'field' provides a concise description of the **associational** significance of the place. A margin note adjacent this 'field' provides references [as appropriate] to the Historical Overview, Conservation Analysis Report, Volume 1, Part 1.

DESCRIPTION

Within the description of each of the spaces there are a number of sub-sets:

- Architectural style
- Principal elements [floor, walls etc]
- Services



The intention of the 'description' field is to describe the space [in words and photographs] in lay-person's terms.

COMPARATIVE SIGNIFICANCE RATING

The method of defining comparative significance in this report provides a 'shorthand' method of ascribing significance to the space or item. For the purposes of this study, definitions of comparative significance and their implications for future treatment are as follows:

4 Of exceptional cultural significance

This category relates to all preserved fabric from the Graham period [c.1840 to 1928].

In order to retain and where possible enhance the cultural significance of the Graham Lodge precinct, it is recommended that significant fabric in this category should be preserved in any future use or treatment of the place, with missing significant parts reconstructed, and dislodged or concealed parts replaced or revealed.

3 Of high cultural significance

This category relates to all fabric introduced during the occupation of the place by the Bourne family [i.e. 1928 to 1950].

Within this category minor adaptations may be appropriate, but intervention should be minimised and, where feasible, avoided altogether for more complex fabric, such as joinery or original decoration.

2 Of moderate cultural significance

This category relates to certain elements of the fabric from the Graham and Bourne periods which have been compromised by modern changes. Significant fabric in this category should if possible be preserved/reconstructed/restored [as for category 3], but minor modifications may be acceptable providing the work is reversible.

1 Of low significance

This category covers the remainder of the spectrum of significance for the fabric of the place. It includes items which are valuable in that they are good replicas of early or original fabric; items which are of no great significance but which are unobtrusive in their setting; and items which are intrusive but which could be replaced by something more sympathetic.

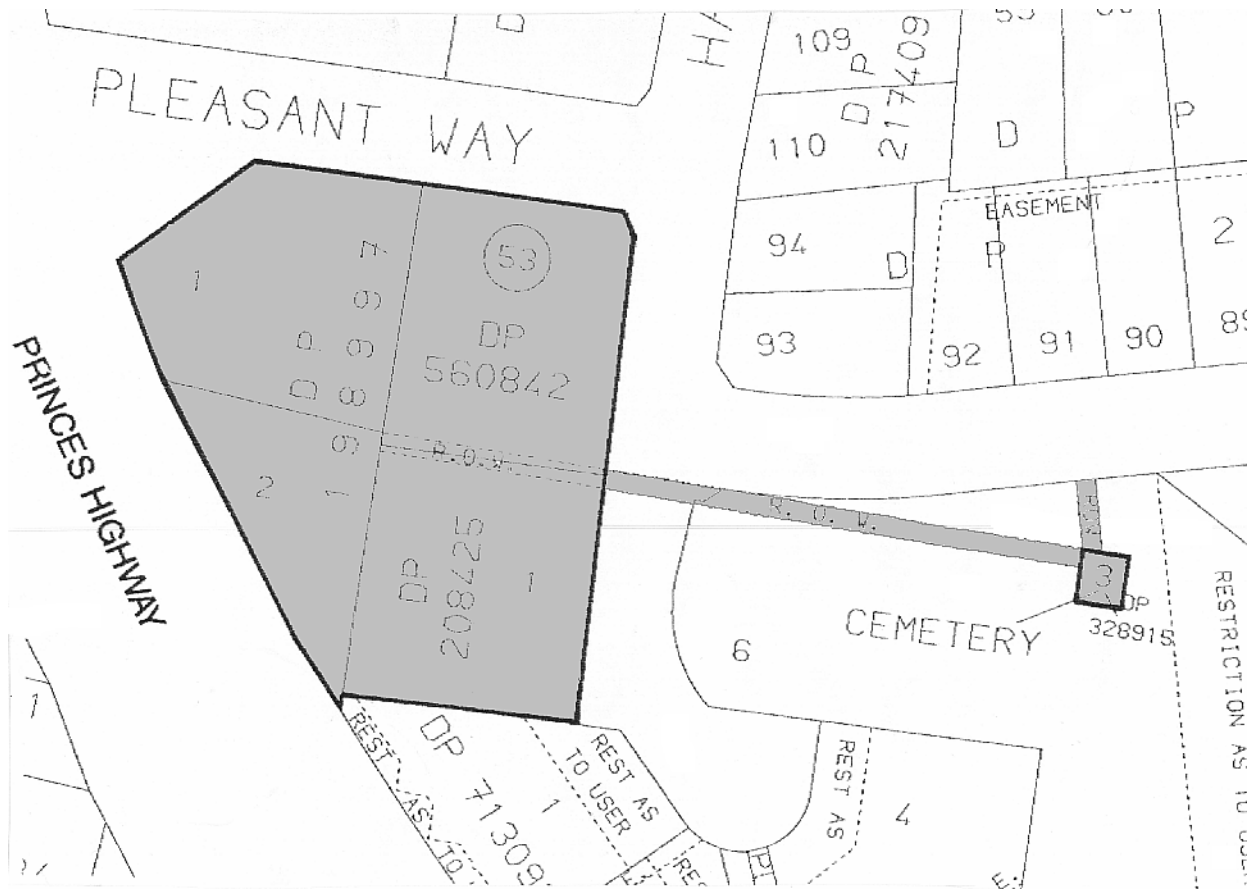
I Intrusive

This category covers those items which are so intrusive that they should be removed.

CURTILAGE



The curtilage for the assessment is as shown in the site plan below.

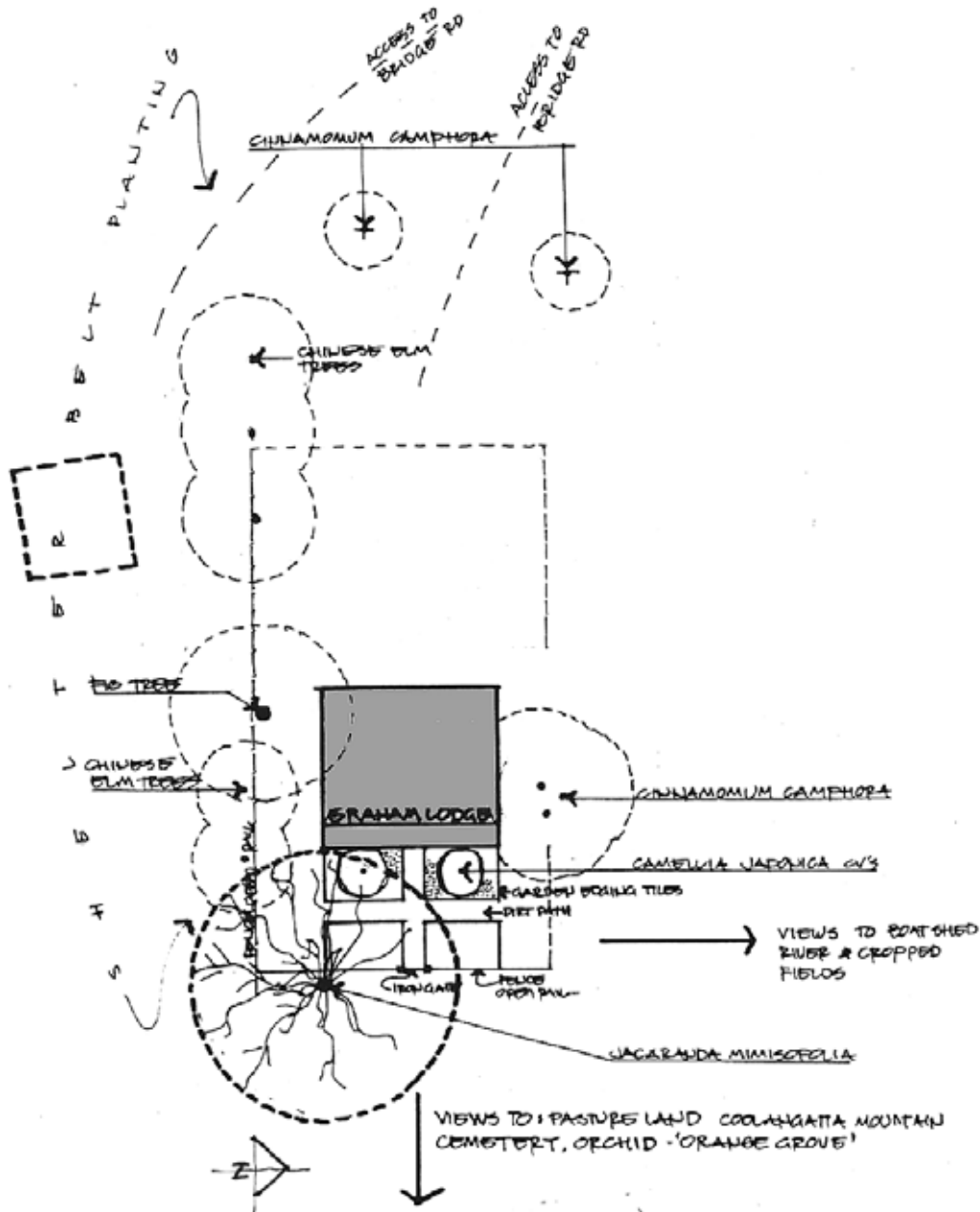


Curtilage, Graham Lodge precinct, Conservation Management Plan
Source: SCC 1998

This Conservation Management Plan is not however, confined to the property area currently owned by the Shoalhaven City Council. For the purpose of determining appropriate conservation policy, consideration has also been given to the adjacent properties and to the cultural landscape of the river flat area.



KEY PLAN



Indicative landscape plan of the Graham Lodge Precinct, at the time of Bourne purchase, c1929.
 Source:
 Hans Smit plan, 1998

HISTORICAL BACKGROUND & ASSOCIATIONS

James Meehan 1805 recorded that the area along the Shoalhaven River was covered with rainforest vegetation. There is evidence to suggest that this vegetation may have covered the Graham Estate. Paintings by Samuel Elyard in c1877 of Graham Lodge depict remnant trees in the middle ground of the paintings. These trees have been identified by Richard Hawkins of Yallah TAFE College as being *Eucalyptus botryoides* and/or *Eucalyptus saligna* with *Melaleuca* species also present. Ferns were depicted in the foreground. The trees were depicted as being tall, this could mean they were a remnant of a canopy of rainforest vegetation. A painting owned by Mrs Una Thurgate [which was also painted by Samuel Elyard] also depicts similar vegetation

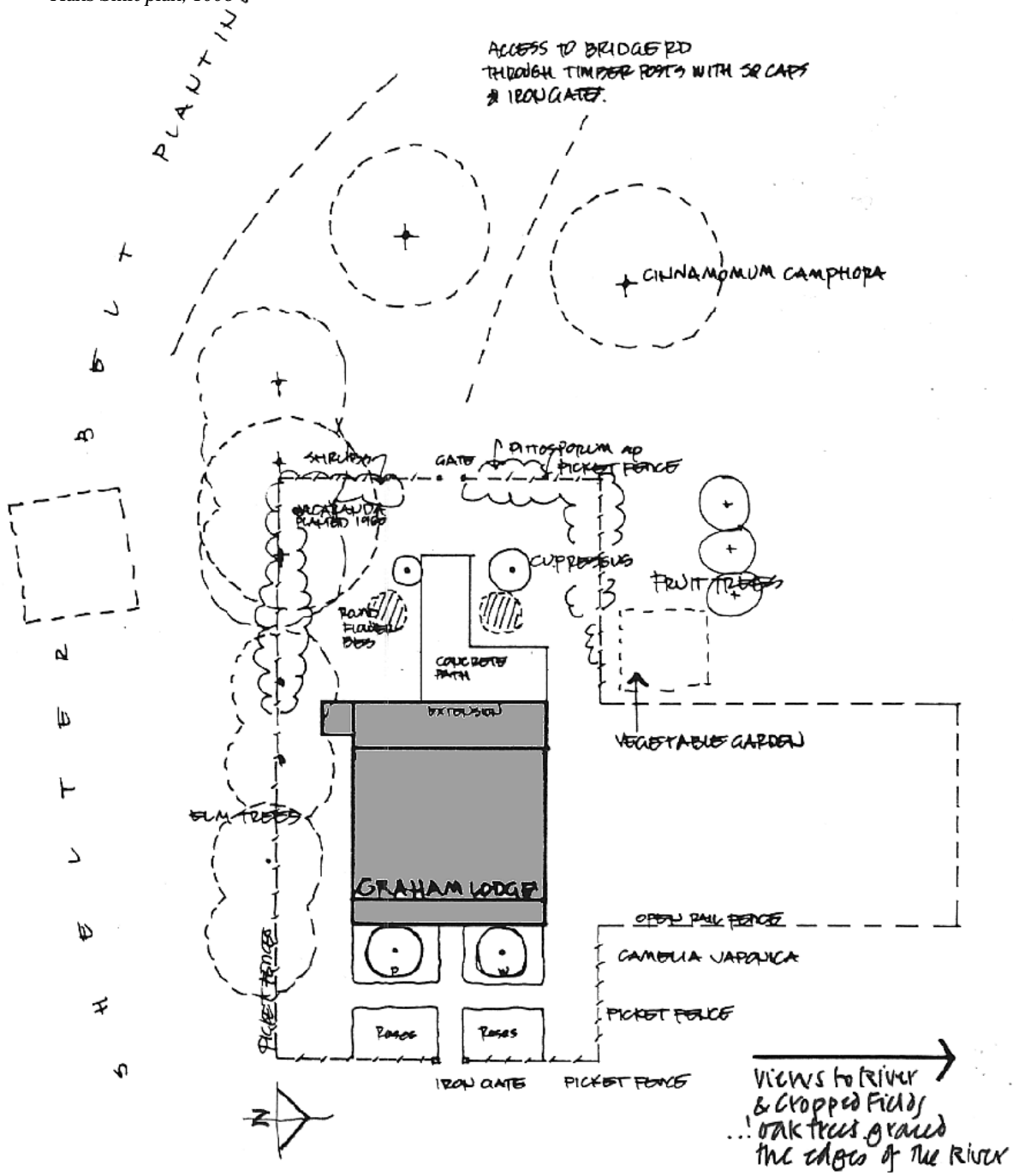


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Indicative landscape plan of the Graham Lodge precinct during Bourne occupancy, c1935.

Source:
 Hans Smit plan, 1998

with *Acacia* species occurring as an understory to the pockets of existing trees. Clearing the land for pasture and cropping was recorded as early as 1827. The 1828 NSW Census records that of the land taken up by William Graham, 50 acres was cleared and a further 20 acres were cleared for cultivation. Cultivation for cropping became part of landscape pattern for the estate with most occurring in close proximity to the river.

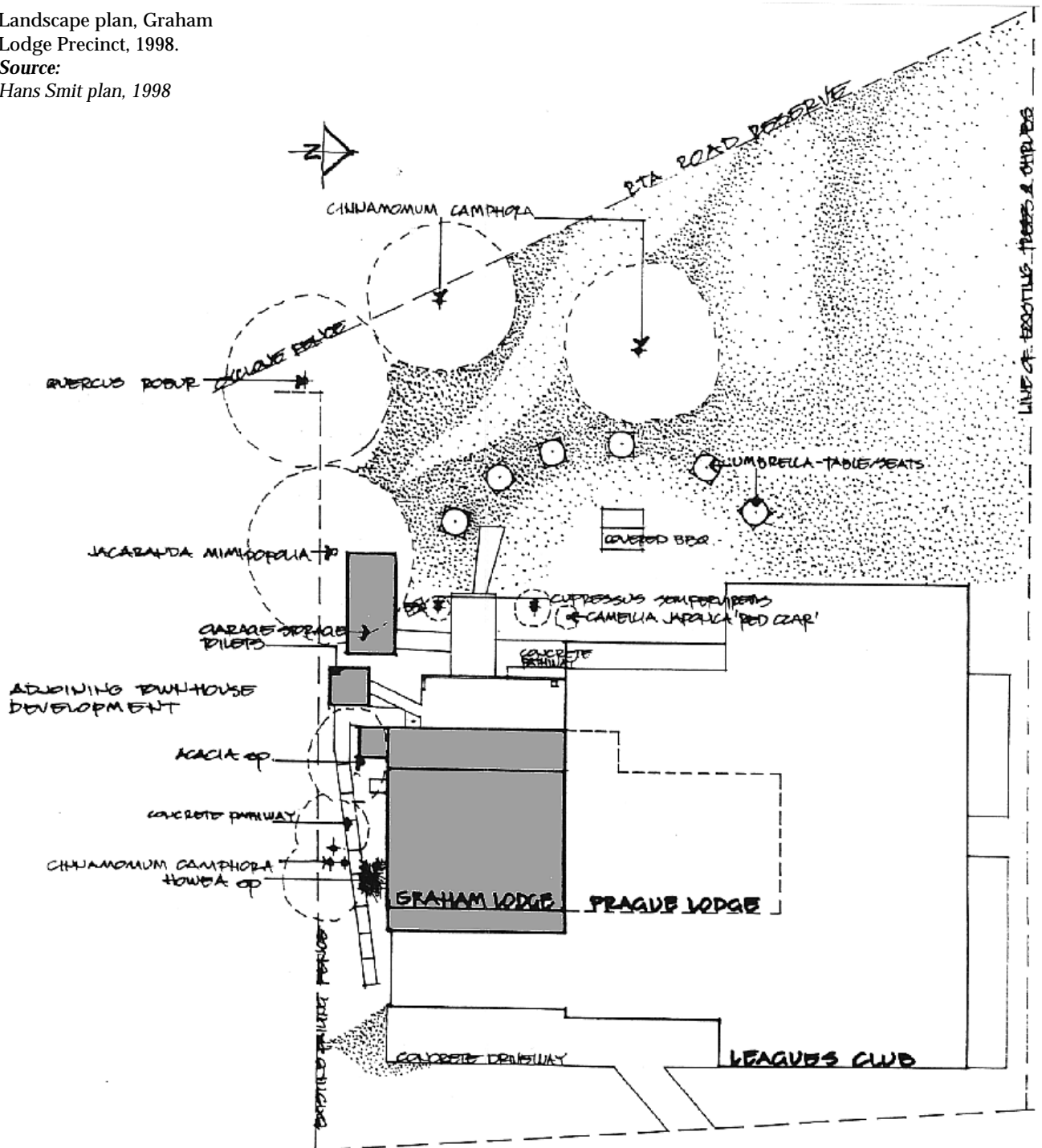




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Within this century, with the contraction of the Graham property to the high western ground, and with the subsequent modifications/ functional uses of the Graham Lodge precinct. The precinct 'landscape' has contracted to the area due west of the Graham Lodge building, refer plan below.

Landscape plan, Graham
Lodge Precinct, 1998.
Source:
Hans Smit plan, 1998





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Sequential views of the
Graham Lodge precinct
landscape from the Nowra
bypass road.
Hans Smit photographs 1998



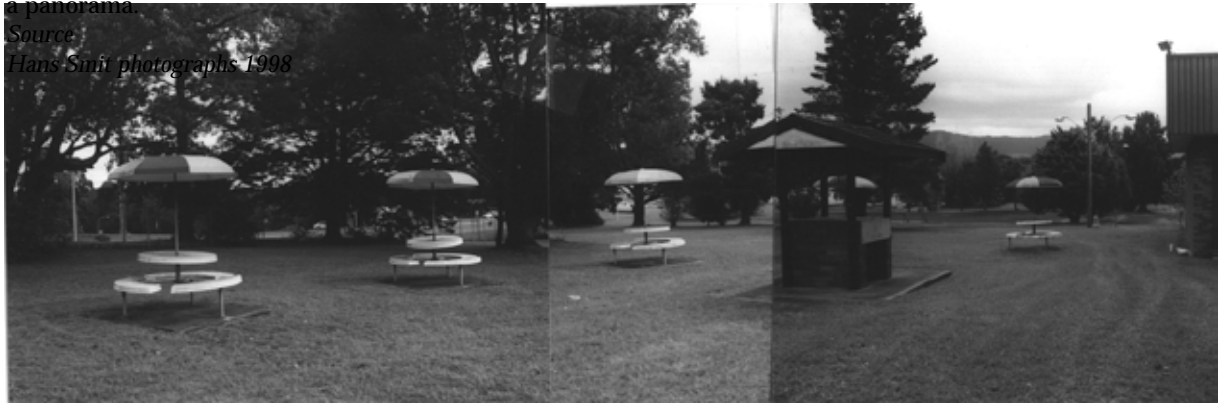
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Panoramic photographs of the Graham Lodge precinct from Hawthorn Avenue. The lower two photographs form a panorama.

Source
Hans Smit photographs 1998



Panorama of the western 'garden' area of the former NBLC.
 Source
Hans Smit photographs 1998

DESCRIPTION

The adaptive reuse of the former Club building as the new Nowra Visitor Centre; and the associated landscaping and hard surfacing associated with that development, have further confused the reading of the precinct.

ASSESSMENT OF SIGNIFICANCE

The following assessment of significance is comparatively based i.e. landscape features extant from the late nineteenth century [Graham period] is of **highest** significance; landscape features extant from the early twentieth century [Bourne period] is of **moderate** significance and landscape features extant from the mid to late twentieth century [Club/Visitor Information Centre period] is rated as being of slight significance.

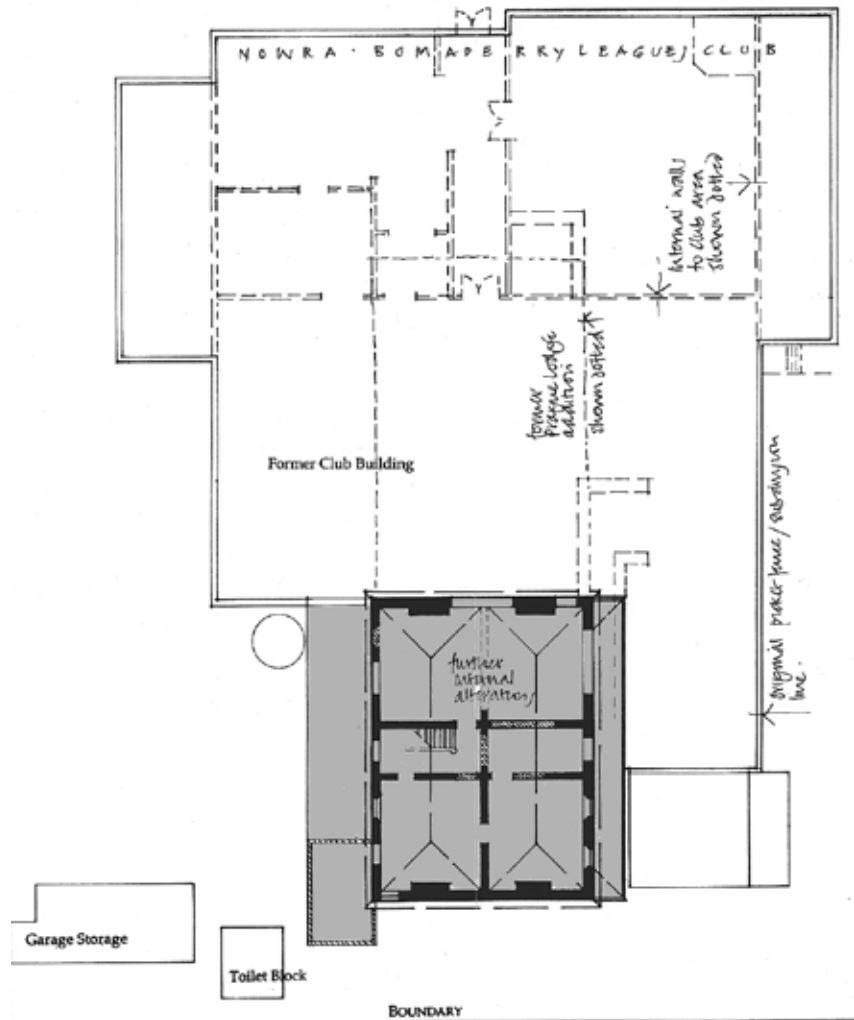
There are few elements still extant from the Graham period a part from the Graham Family **cemetery** [treated separately within the Inventory] and the general landform adjacent Graham Lodge [i.e. the river flats and the sandy ridge in which the Lodge was built]. There are no known species remnant on the site from that period. Similarly, there are few landscape elements from the Bourne period extant on the site. The remnant elms to the southern boundary, and the *cinnamomum camphora* to the west date from this period, as do the archaeological traces of fence lines etc. but little remains. The *Kentia Palm* to the south also date from this period.

COMPARATIVE SIGNIFICANCE RATING

- 4 Landscape associated with the Graham period or the natural history of the site.
- 3 Landscape associated with the Bourne period
- 1 Landscape associated with the more recent Prague Lodge and Nowra Bomaderry Leagues Club buildings.



KEY PLAN



NAME

The structure has been variously known as Greenhills; Graham Lodge; Prague Lodge; and more recently the Nowra Bomaderry Leagues Club. It is now known as Graham Lodge.

HISTORICAL BACKGROUND & ASSOCIATIONS

The planning of Graham Lodge, erected in 1860-61, owes much to the colonial Georgian style. This is reflected in the cellular, loadbearing, cross wall construction, central corridor and the positioning of fireplaces centrally in each of the external side walls with fenestration restricted to the main elevations. Although no plan of Wogamia House, erected in 1844, has been sighted, the external form of that building suggests a similar layout. There were family connections between the Graham and Glanville families during the 1850s. Wogamia House was a local expression of the colonial Georgian style seemingly influenced by the cultural origins of Richard Glanville, and it is possible that Graham's



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residence was influenced by the architectural style of Wogamia. The construction of a 'country house' [or farmhouse] in the Georgian tradition



Samuel Elyard, c1877
painting of Graham's
Greenhills.
Source:
Graham family collection

was well established by the late eighteenth and early nineteenth centuries in England. Such houses controlled the farm landscapes as an expression of wealth and position within the social hierarchy of the rural sector. This pattern was well established in rural New South Wales by the 1840s.

The expression of wealth and position, and the need to be fashionable [in two storeyed masonry form] can also be seen at Eyrie Bowrie [1866], Bundanon [1866], Mount Airlie [1868], Barrengarry House [1868-1870] and at Boolgatta [erected in 1870]. Eyrie Bowrie and Bundanon display similar planning characteristics to Graham Lodge. The later properties display the Victorian predilection for the use of Gothic and Italianate forms in their architectural style. Both Graham Lodge and Eyrie Bowrie display Regency influence in the use of margin glazing. These two storey residences were erected almost exclusively in rural settings as the focus of the properties which generated the wealth necessary for their construction.

Other early structures in Shoalhaven appear, on the available evidence, to have been in the Georgian tradition and of single storeyed form. Two storeyed forms did not appear until after the growth of stable urban centres such as Nowra and Milton and the associated development of local government during the last half of the nineteenth century.

DESCRIPTION

Graham Lodge was constructed of locally fired bricks on sandstone footings. Externally the bricks were rendered, the surface tooled to look like ashlar masonry. The floors were timber framed and typically



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The western elevation.
Note the remnant *Cupressus sempervirens* from the Bourne period; and the remnant Chinese elms and Jacaranda trees at right.
Hans Smit photographs 1998



covered with sawn boards. Internal finishes and cedar carpentry including plasterwork, lath and plaster ceilings, architraves and skirtings were typical of their time but of high quality.

The roof covering was of slate, in keeping with the quality of the building. The slate covering required a substantial roof structure to support it across the full width of the house. The solution adopted was to use two hipped roofs parallel to the principal elevations with a central gutter. The four fireplaces were expressed externally by paired hexagonal chimneys supported on square bases. The fireplace in the front ground floor, north eastern room appears to have been marble suggesting that this room was the sitting room. Other fireplaces featured timber surrounds in cedar. A surviving fireplace surround clearly indicates Colonial Georgian influences in its simplicity and the use of roundels at the corners. The alcoves on either side of fireplaces on the ground floor also featured cedar half cupboards.

All external doors and windows were fabricated in cedar with window sills and lintels of stone. The ground floor sash windows featured narrow glazing bars and four glass panes uncharacteristically early in Shoalhaven. The first floor French doors featured three large panes in each door with margin glazing above a panelled lower section. The two smaller sash windows on the first floor were typical of lesser houses in the use of small panes. The eastern, main entrance door was characteristic of panelled doors of the 1860s which appear in carpentry and joinery texts of the time, and featured a semi circular fanlight. The rendered arch was inscribed with the words *Graham Lodge*.

The former Graham Lodge has been gradually surrounded by development such that the eastern and northern elevations can no longer be seen. The southern elevation is now obscured by adjacent modern development.

STRUCTURE

The 1998 MacDonald structural report states:

Roof structure and cladding

The roof structure consists of timber framing with both slate and metal sheet cladding. The cladding is in poor condition with the metal sheeting being badly corroded. This has resulted in the roof leaking causing extensive damage to the interior of the building. The slate that remains is in poor condition. The slate section of the roof is leaking badly as evidenced by the many attempts to waterproof it from inside the roof space ... many of the slate tiles themselves are in fair condition and could be reused in a new slate roof. The timber in the roof is generally in poor condition with some members suffering from borer damage and splitting. The gutters and downpipes are in very poor condition. Both the fascias and eaves are in poor condition. In some areas the eaves are badly water damaged and are dropping away.

External Walls

Structurally the external walls are in an adequate condition. Several minor cracks were viewed in the render, with cracks over the windows and doors on the eastern wall and also under the verandah on this side. The paint on these walls is in poor condition.



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • GRAHAM LODGE GENERALLY • PAGE 14



Top:
The southern elevation
looking from the west and
the east.
Below:
The southern wall, detail
Hans Smit photographs 1998



COMPARATIVE SIGNIFICANCE RATING

- 4 Graham fabric [the house generally]
- 3 Bourne fabric
- 1 Prague Lodge and NBLC additions generally.



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • GRAHAM LODGE GENERALLY • PAGE 15



The eastern elevation with
the former NBLC building in
foreground.
PF photograph 1998



The northern elevation of the
former Nowra Bomaderry
Leagues Club and car park.
PF photograph 1998



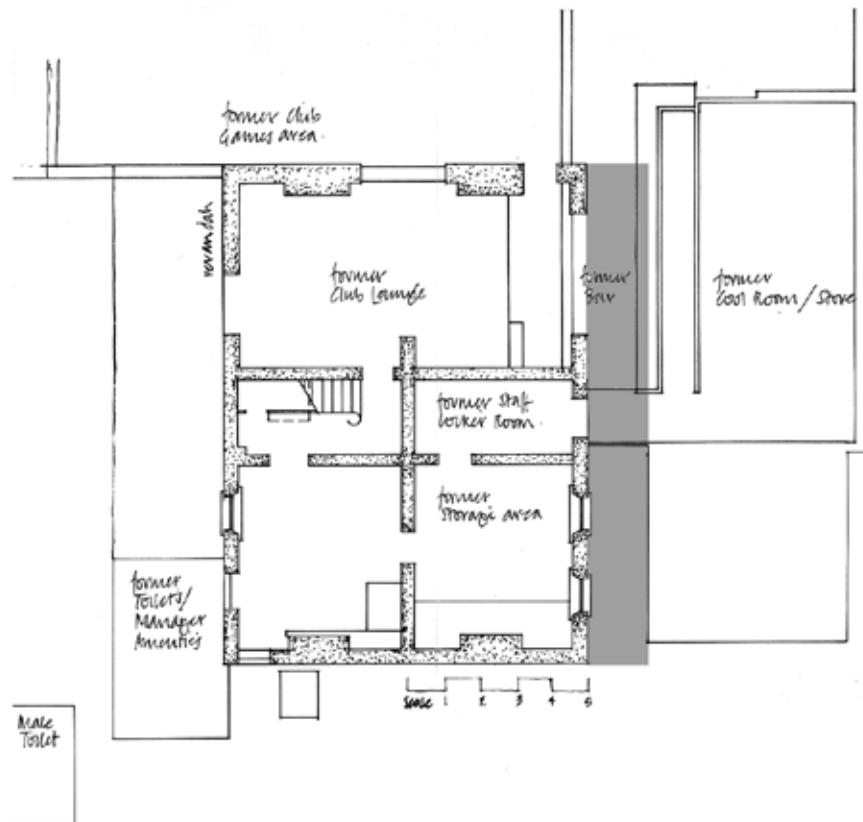
GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • GRAHAM LODGE GENERALLY • PAGE 16



The northern elevation of
Graham Lodge with the Club
building in the foreground.
PF photograph 1998



KEY PLAN



ROOM NAME

The eastern verandah overlooked the river flats and the Shoalhaven River. The verandah and east elevation was the formal 'front' to the residence, and overlooked the walk from the Graham's Greenhills across the flats to Greenhills village.

HISTORICAL BACKGROUND & ASSOCIATIONS

Refer Sequential plans 1, 3, 5 and 6, Historical Overview, Volume 1 Part 1

Refer c1890, 1930 photographs, Historical Overview, Volume 1 Part 1

The verandah structure was retained intact up until the NBLC development. This development effectively 'cut off' the eastern aspect of the building to the river and the flats, and whilst the verandah structure was retained at first floor level; it was partially demolished at the ground floor.

DESCRIPTION

Delicate cast iron verandah structure with cast iron columns and decoration. The timber upper floor of the verandah is in poor condition and is unsafe. The bellcast corrugated iron verandah roof is also in poor condition. The verandah's lower structure remains intact, but compromised by the adjacent modern NBLC additions

Structure: The 1998 MacDonald structural report states:
The whole verandah is in an extremely poor and unsafe condition.



Top:
Detailed photographs of the
front verandah. Note the
poor condition of the
structure, and the adjacent
[eastern] NBLC structure.
Below:
The eastern elevation.
PF photographs 1998

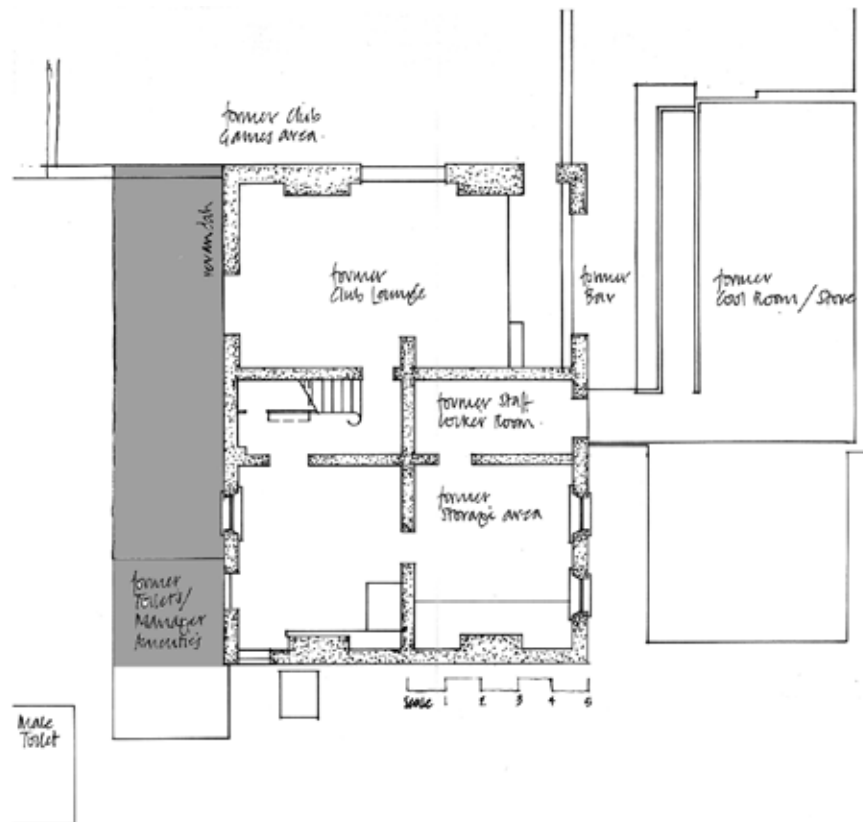


COMPARATIVE SIGNIFICANCE RATING

- 4 Graham fabric [eastern verandah generally]
- 3 Bourne fabric
- 1 Prague Lodge and NBLC additions generally.



KEY PLAN



ROOM NAME

The western or rear verandah.

HISTORICAL BACKGROUND & ASSOCIATIONS

The verandah structure was retained intact up until the 1930s. Una Thurgate recalls that when her parents purchased the property, the rear or western elevation, which faced back to Bridge Road and the Bridge 'approach', became the 'front' or public elevation of the residence. The verandah was added to ensure that the building addressed the western [Bridge Road] entry.

DESCRIPTION

The western elevation was conceived as a symmetrical composition of paired windows and central door to the ground floor; and three similar windows to the first floor. A covered way gave access to a separate kitchen. When the Bournes took over the Lodge, a two storey verandah was added to this elevation. The former NBLC added the spiral stair; and the balustrade panels to the verandah structure.

Structure: The 1998 MacDonald structural report states:

This verandah and clad timber frame section appears to be an addition to the original building. Both these sections are in poor condition. The stairs from the verandah are in poor condition.

*Refer Conjectural Floor Plans
 Nos 1 & 2
 Historical Overview,
 Volume 1 Part 1*





GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • WESTERN VERANDAH • PAGE 20



The western elevation of Graham Lodge. The spiral stair was added during the Prague Lodge/NBLC period. PF photographs 1998

COMPARATIVE SIGNIFICANCE RATING

- 4 c.1860 Graham fabric [western elevation]
- 3 c.1930 Bourne fabric generally [verandah structure]

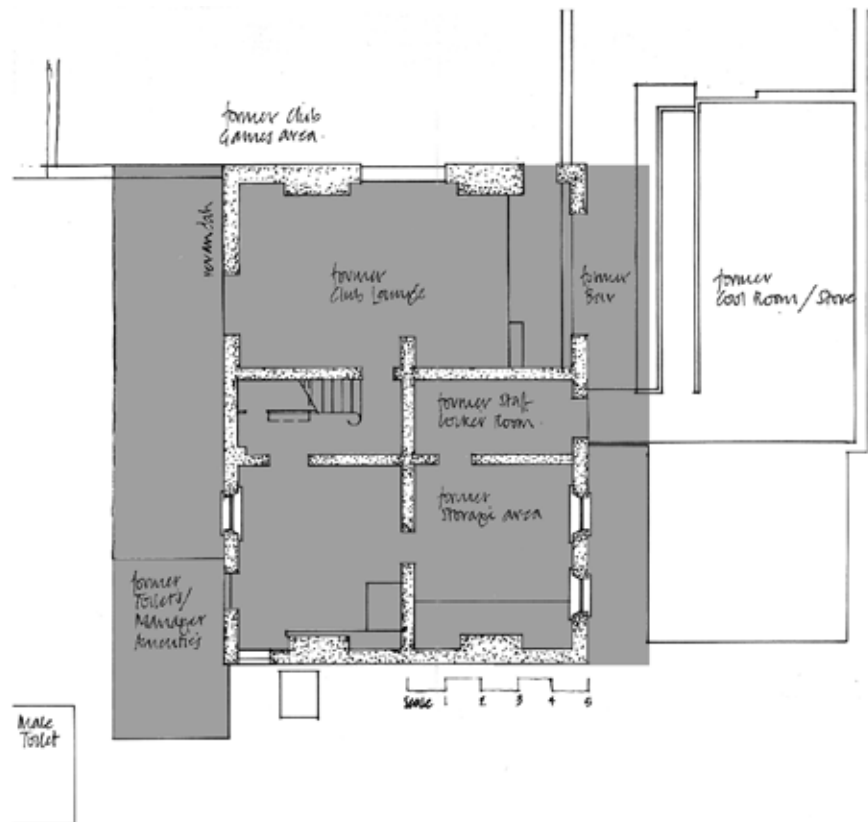


GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • WESTERN VERANDAH • PAGE 21

I Prague Lodge and NBLC additions generally.



KEY PLAN



NAME

The ground floor, Graham Lodge

HISTORICAL BACKGROUND & ASSOCIATIONS

As erected the ground floor plan of Graham Lodge comprised four almost identical rooms of 15 feet by 18 feet in dimension [4.5 x 5.0 metres]. There were two rooms either side of the central hallway, with paired window openings in the principal elevations. An arched opening in the hallway expresses the central wall and parallels the arched door openings to the principal elevations. Front and rear entrances to the hallway were centrally placed in each principal elevation. The positioning of the doorways suggests that the south west corner room functioned as the dining room since the door was located close to the back entrance to the hall, i.e. the service entrance. The front, adjacent room probably served as a living room. The two rooms across the hallway probably served as a family and formal parlour. The kitchen was a separate building to the west reached by a covered way. The staircase was located at the western end of the hallway.

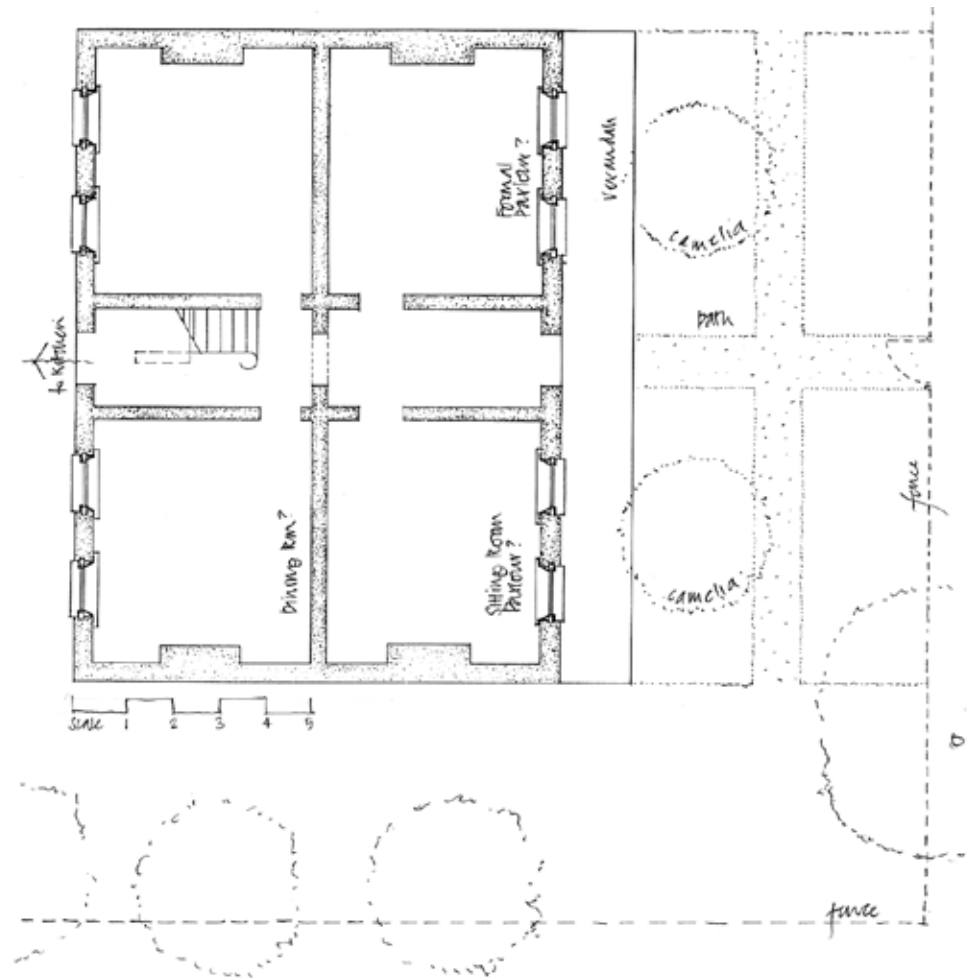
DESCRIPTION

The current ground floor area has been radically altered, during the Prague Lodge and NBLC occupancies. Refer inventory description for specific ground floor spaces and elements [below].



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2

SECTION 2 • THE GROUND FLOOR • PAGE 21



COMPARATIVE SIGNIFICANCE RATING

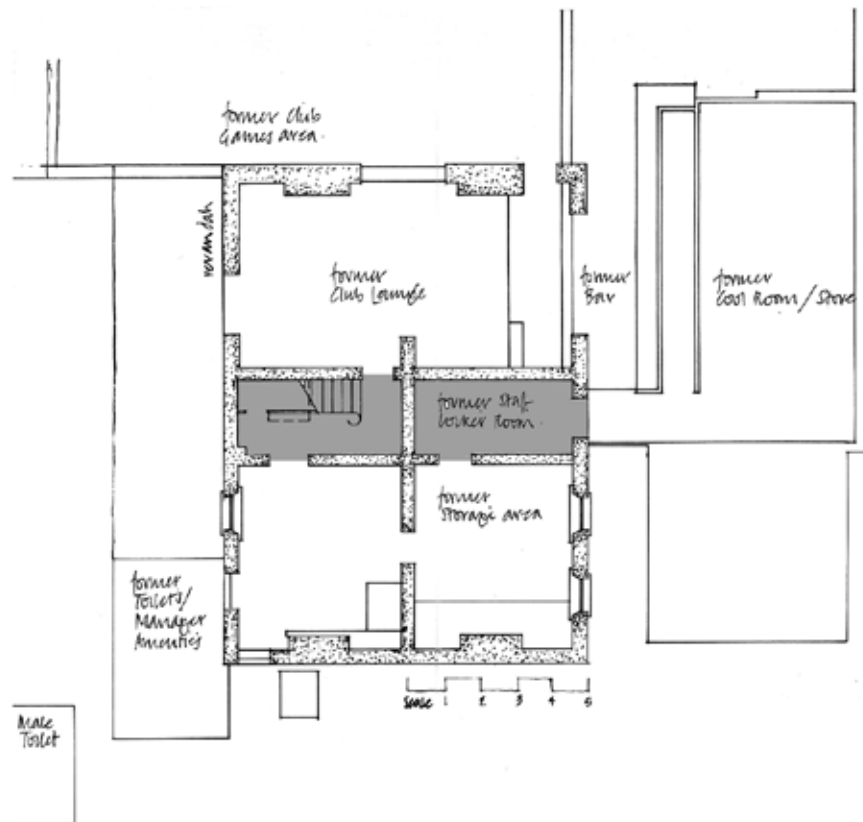
Graham Lodge,
 conjectural Ground Floor
 plan, early 1860s.
 Conjectural room
 functions shown.

Source:
 PF/PG measured drawing
 1998 from c.1890s
 photographs

- 4 Graham fabric [the house generally]
- 3 Bourne fabric
- 1 Prague Lodge and NBLC additions generally.



KEY PLAN



ROOM NAME

Former Entrance Hall and Stair.
 Divided into two rooms, dining club occupancy; both spaces derelict and unused. The eastern space was used by the NBLC as a staff locker room; and the western space as the stair access.

HISTORICAL BACKGROUND & ASSOCIATIONS

Originally the entrance hall and stair to Graham Lodge. The hall was entered from the east [front] or the west [access from rear garden and Graham Lodge outbuildings]. The western entrance gained importance in this century, due to the importance of Bridge Road; and the subsequent development along that road. Both eastern and western entrance doors had arched heads with fanlights over. Over the eastern entry was the painted inscription *Graham Lodge*.

*Historical Overview
 pp 34 & 50
 Volume 1 Part 1*

DESCRIPTION

The blocking of the hall during the first NBLC works has radically changed the character of this space; and the lodge as a whole. The blocking of the rear door has had a similar effect.

Architectural Style



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE FORMER ENTRANCE HALL & STAIR • PAGE 23

Victorian Georgian style observable in the entrance door joinery; and stair detailing.



PRINCIPAL ELEMENTS

Timber floor: poor condition, with vinyl sheet overlay.

Walls: rendered walls with polished plaster finish.

Ceilings: modern fibro sheet with cover strips, probably over original [lath and plaster] ceiling.

Services: wall mounted power and light conduits.

Structure: The 1998 MacDonald report states:

The timber floor structure is in very poor condition with some members being no longer structurally adequate. The stairs are in very poor condition with the stairs pulling away from the wall support. This is due to the floor below dropping. In addition the wall under the stairs and the stair stringers have been damaged by borers.

The ceiling in this area is in poor condition and requires repair.

COMPARATIVE SIGNIFICANCE RATING

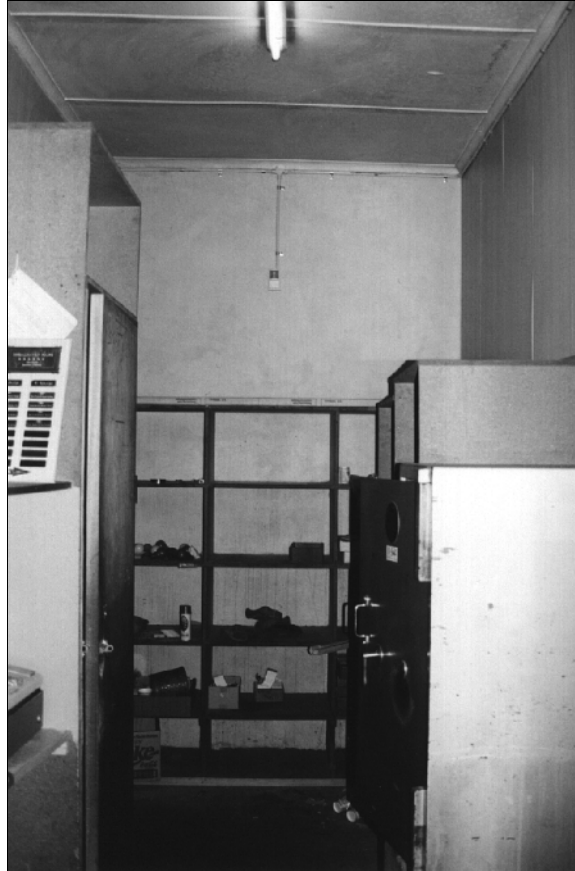
- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally
- I Prague Lodge and NBLC additions generally



The Entrance door from the east. The door had a painted inscription 'Graham, Lodge', [now painted over].
PG photograph 1998



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE FORMER ENTRANCE HALL & STAIR • PAGE 26



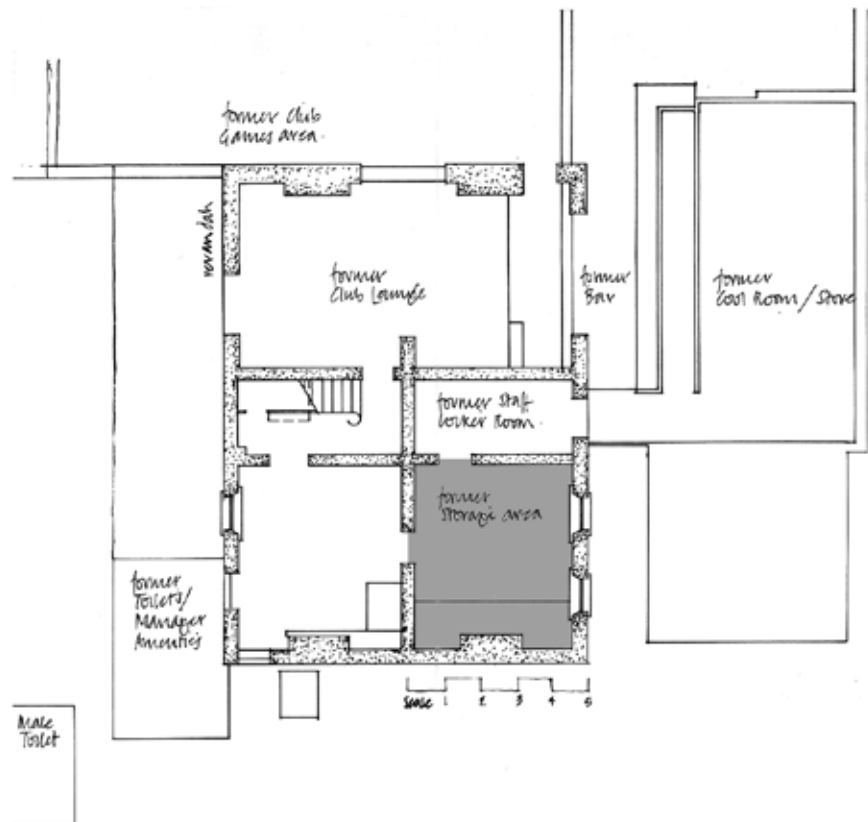
The eastern space. The original arched entrance is just observable. Note the fibro ceiling.
PG photograph 1998



Looking east from the eastern space. Note the intact entrance door joinery, and the Club additions beyond. PG photograph 1998



KEY PLAN



ROOM NAME

*Una Thurgate pers. comm.
1998 and plan, refer p.49,
Volume 1 Part 1*

Originally a parlour or dining room [Graham period].
In the Bourne period it was used as a dining room and the fireplace had a cedar mantel and surround with cedar half cupboards on either side.

HISTORICAL BACKGROUND & ASSOCIATIONS

This room was one of the 'formal' ground floor rooms of Graham Lodge. The two eastern windows allowed views across the river flats to Greenhills village; to the Ferry Road and the ferry; and to the Shoalhaven River.

DESCRIPTION/PRINCIPAL ELEMENTS

Floor: timber floor in poor condition with concrete plinth to the southern wall.

Walls: plaster in fair condition, with some patching and plaster damage due to falling damp.

Ceilings: lath and plaster ceiling in fair condition.

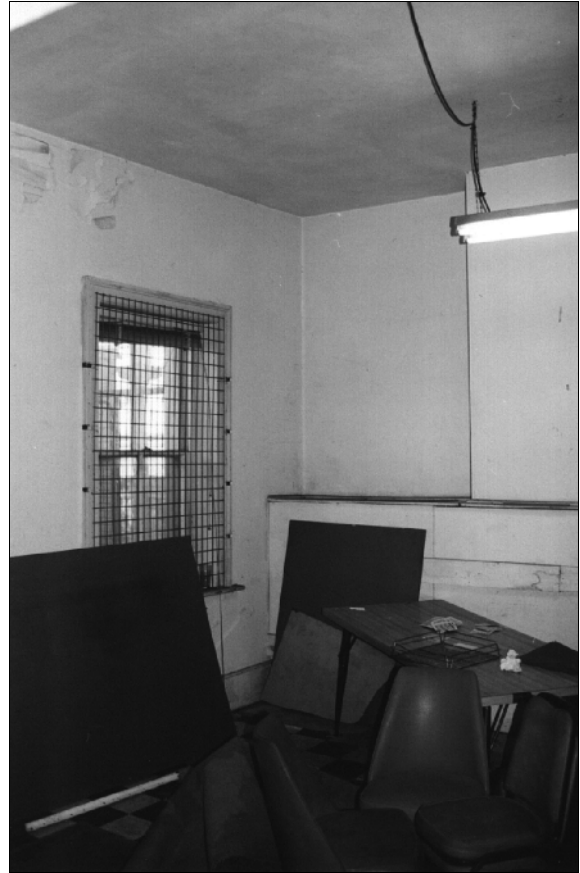
Joinery: window joinery to two eastern windows in fair condition.

Chimney/fireplace: to south wall, blocked off and covered with fittings to dado level.



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE SOUTH-EAST ROOM • PAGE 26

Services: surface mounted conduits and modern light fittings.

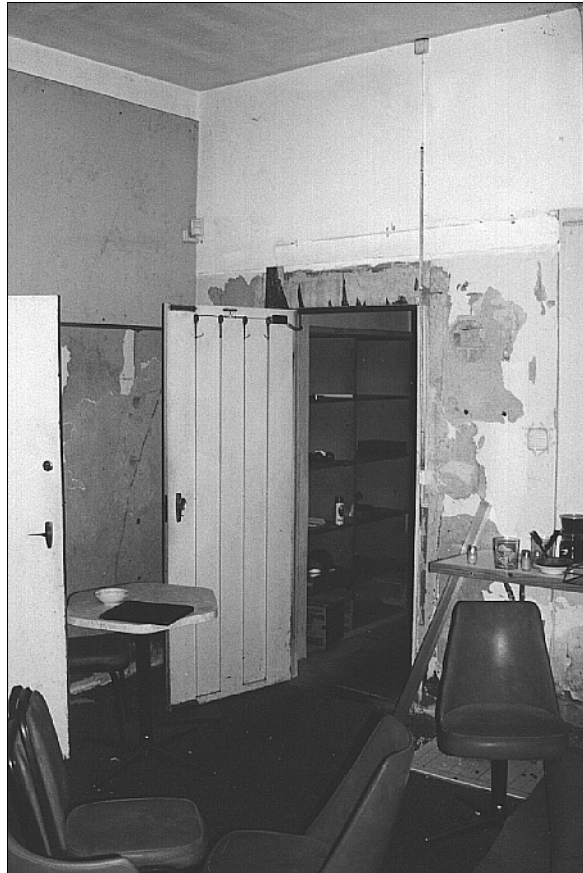


Above: Looking towards the north east corner. Note the electrical distribution board and the surface conduiting.

Above right: Looking towards the south east corner. Note the modern plinth and dado fitting to the original fireplace.

Right: the South-East Room looking towards the north-west corner. Note that the door to the South West Room [at left] is modern; and that the door to the former Hall/Stair has been relocated.

PG photographs, 1998



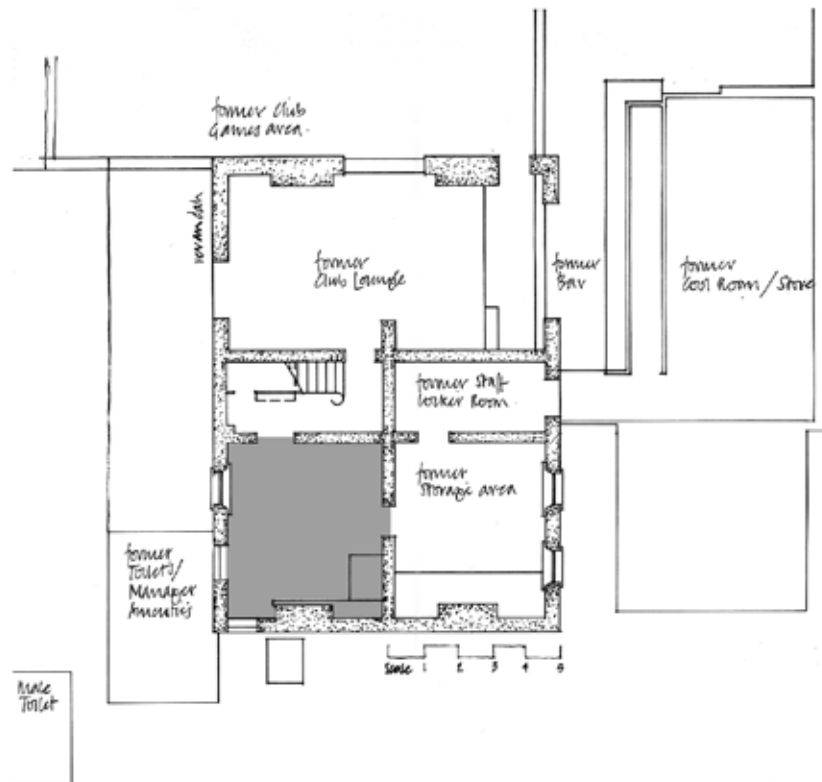
Structure: The 1998 MacDonald structural report states:
The timber floor structure is in very poor condition with the majority of floor joists being very badly rotten. Mould on the lower area of the southern wall indicates the possible presence of rising damp. The walls and ceiling are in fair condition.

COMPARATIVE SIGNIFICANCE RATING

- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally
- I Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

South west room.
 Probably a dining room in the Graham period, but converted to kitchen use during the Bourne period.

HISTORICAL BACKGROUND & ASSOCIATIONS

Una Thurgate pers comm. 1998, and plan, refer Historical Overview, p. 49, Volume 1 Part 1

The Bournes installed a fuel stove within the fireplace, with cupboards on either side. There was also dark green wallpaper to the kitchen walls. Within the Bourne period the SW window was enlarged to become a door to provide access to the laundry, placed in the western verandah. Within the Prague Lodge period the space continued in use as a kitchen.

DESCRIPTION/PRINCIPAL ELEMENTS

Floor: timber floor with carpet overlay; plinth to SE corner.

Walls: plaster finish to masonry walls; modern laminated dado generally; and modern kitchen fitments. Modern [Bourne] door and window to SW corner.

Ceilings: modern plaster/hardboard ceiling [with battens] over timber boarded ceiling.

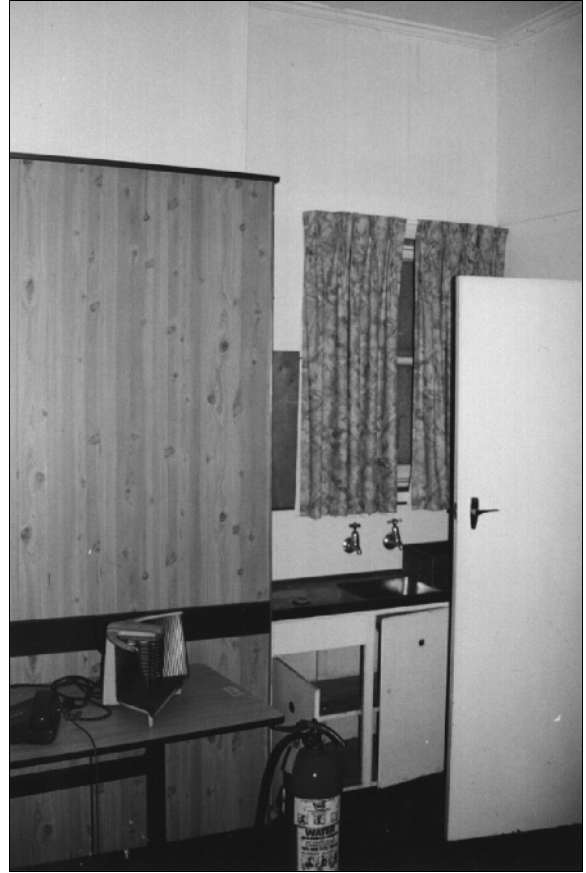
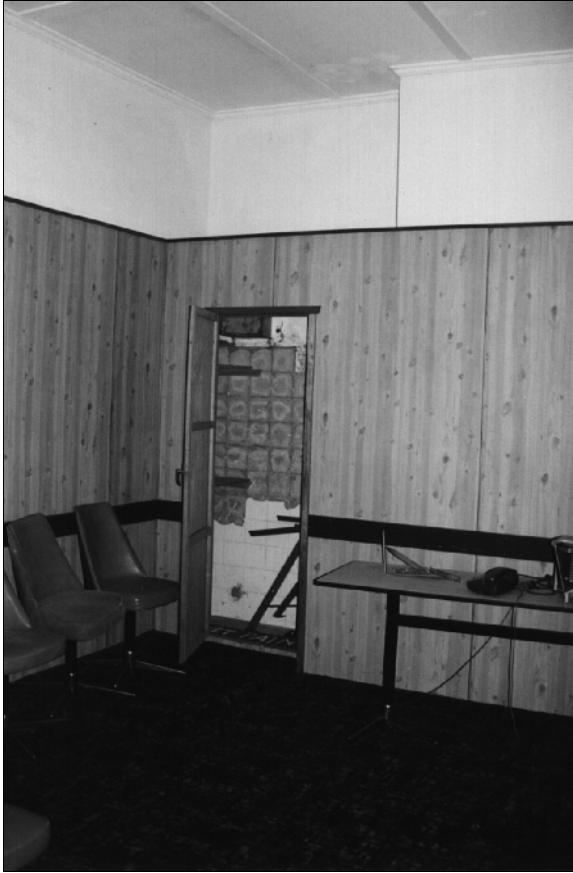
Services: Modern services, e.g. water, electricity etc.

Structure: The 1998 MacDonald structural report states:



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
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The room has a concrete slab floor which is in good condition. The walls and ceiling are in fair condition.



The south west room
[Ground floor], formerly a
Bourne/Prague Lodge/
NBLC kitchen.

Above: Looking south [two
photographs]. The corner
window and panelling are
modern.

Right: Looking west to
former Graham Lodge
window and Bourne door.
PF photographs 1998



COMPARATIVE SIGNIFICANCE RATING



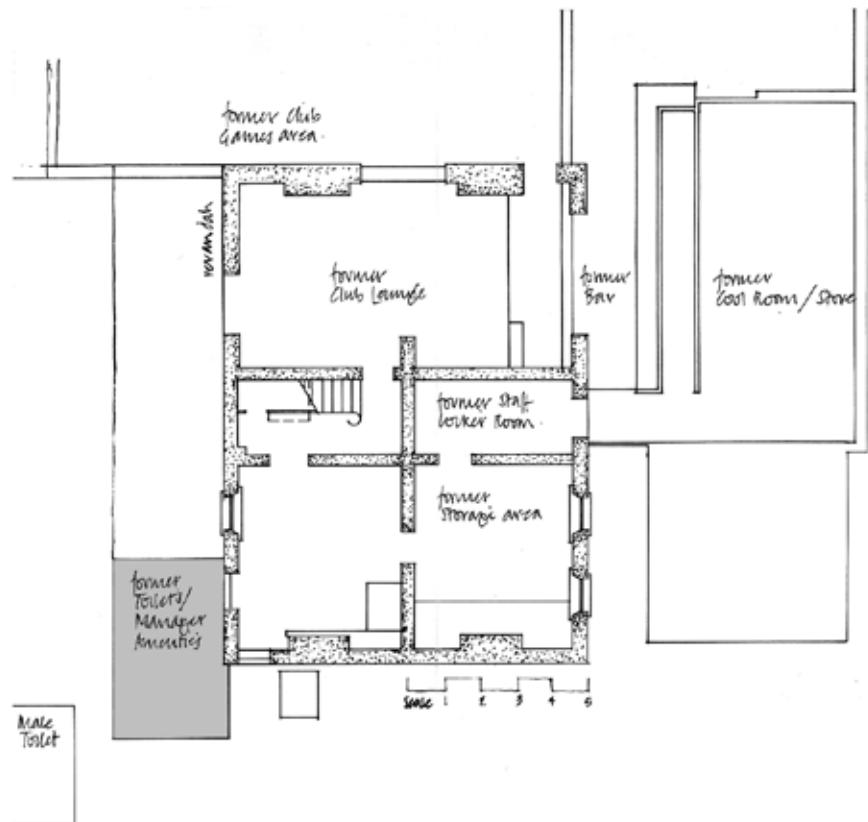
GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2

SECTION 2 • THE SOUTH-WEST ROOM • PAGE 30

- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally
- I Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

A **laundry** built within the western verandah by the Bournes, with access obtained through a former window extended as a door. Utilised by the Nowra Bomaderry Leagues Club as manager’s toilet facilities.

HISTORICAL BACKGROUND & ASSOCIATIONS

Refer Sequential Plan No. 3, p.53, and contemporary photographs of the Bourne period. Refer also Prague Lodge and NBLC sequential plans Nos 4 & 5.

Initially, the western elevation was the ‘rear’ elevation to Graham lodge, and the kitchen [and scullery, pantry and laundry] were contained within a separate building, linked to the main house by a covered way. With the removal of these ‘secondary’ buildings, the kitchen and laundry were located within the house or on the western verandah, which itself had been added by the Bournes in the 1930s.

DESCRIPTION/PRINCIPAL ELEMENTS

Floor: concrete.

Walls: modern stud walls with external fibro cladding and internal hardboard lining.

Ceiling: hardboard lining

Services: Modern services, e.g. water and electricity.



The former laundry
[foreground].
PF photograph 1998

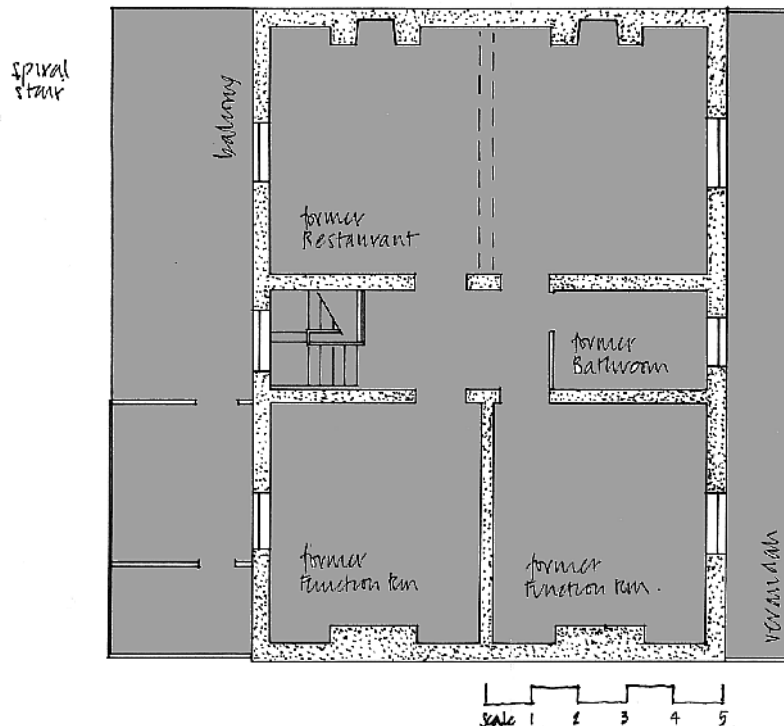
Structure: The structure is in very poor condition, having been altered as part of the Club occupancy; and having been subject to water damage from the upper roofs.

COMPARATIVE SIGNIFICANCE RATING

- 4 c1860 Graham fabric generally
- 3 c1930 Bourne fabric generally
- 1 Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

The first floor, Graham Lodge

HISTORICAL BACKGROUND & ASSOCIATIONS

At first floor level four similar rooms served as bedrooms. The easternmost two rooms opened via French doors onto the upper deck of the eastern two storeyed verandah. A central window in the eastern elevation provided light to the hallway with a similar window above the staircase in the opposite wall. The two rear rooms featured single sash windows located centrally in the western wall of each room. Each of the four rooms was equipped with fireplaces located in the minor elevations. Fireplaces were expressed internally as chimney breasts.

The first floor has historical associations as the bedrooms for the Graham Lodge and Bourne periods; and the function rooms/bedrooms during the Prague Lodge/Nowra Bomaderry Leagues Club periods.

DESCRIPTION

The current first floor area has been radically altered during the Prague Lodge and NBLC occupancies. Refer Historical Overview, Volume 1, pp. 56 to 67 for description of those changes. Refer Inventory below for description of specific first floor spaces and elements.

Structure: The 1998 MacDonald structural report states:

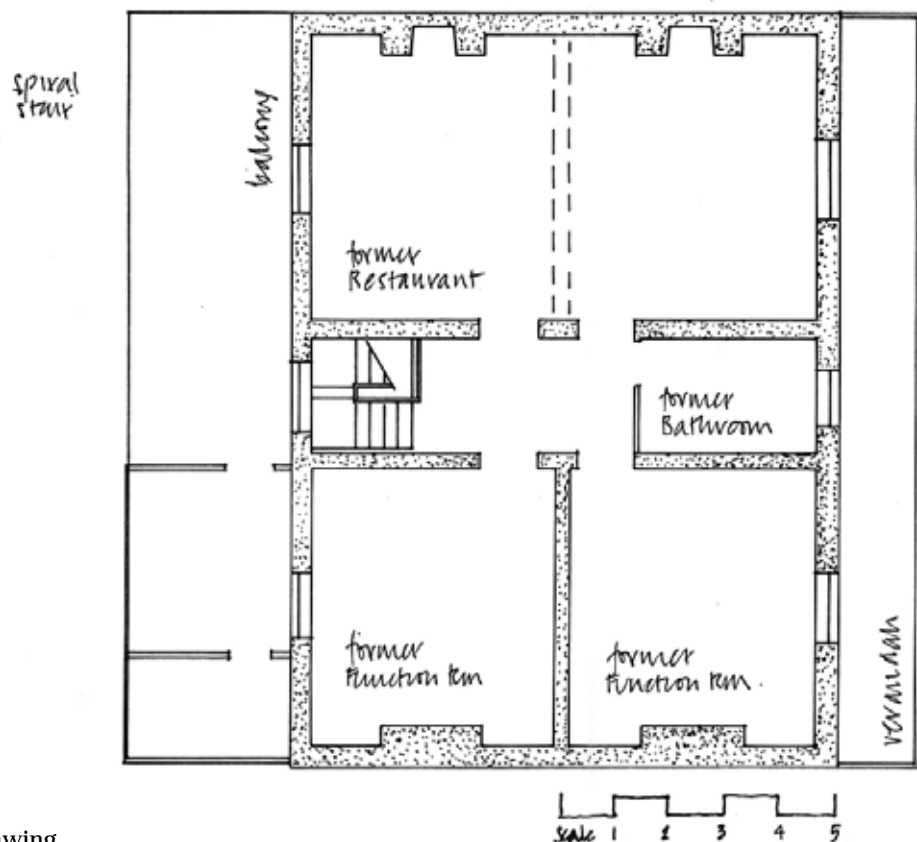


GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE FIRST FLOOR GENERALLY • PAGE 36

The floor structure was viewed via the NE corner of Bed 3. Our viewing revealed extensive termite damage. Based on the section viewed and the bouncy nature of the floors it appears that the whole upper floor structure needs to be inspected in detail and most likely completely replaced.

The ceiling has dropped in places due to the ceiling coming away from the battens or the battens coming away from the ceiling joists. All the ceilings are in poor condition with water damage and mould in areas. The north western corner has a hole in the ceiling due to water damage from a hole in the roof over. In this area the floor also has water damage. The ceiling is supported off battens spaced at 450mm centres.

The walls are in fair condition.



First Floor Plan, 1998

Source:
PF/PG measured drawing
1998 and Nowra Bomaderry
Leagues Club plans

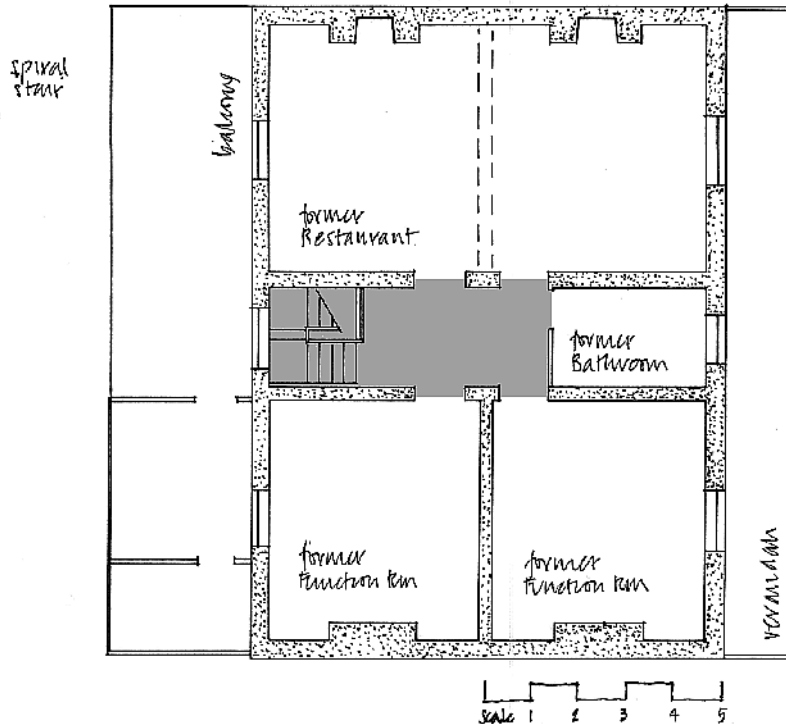


COMPARATIVE SIGNIFICANCE RATING

- 4 Graham fabric generally
- 3 Bourne fabric generally
- 1 Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

Hall/Stair and former Bathroom

HISTORICAL BACKGROUND & ASSOCIATIONS

The Stair Hall was divided; probably in the 1930s [Bourne occupancy] by the insertion of a bathroom at the eastern wall. Refer Una Thurgate plan p. 49, Volume 1. The bathroom fittings have been removed and only a partition wall [and sliding door] remain. The entire floor has received a second layer of joists [and boarding]. In consequence the floor to ceiling height has been reduced; and the stair balusters have been cut down to accommodate the raised floor height.

Una Thurgate pers comm. 1998, and plan, refer Historical Overview, p. 49, Volume 1: Report

DESCRIPTION

Floor: timber joists with modern wall to wall carpet.

Walls: plastered brick walls.

Ceilings: fibrous plaster sheet.

COMPARATIVE SIGNIFICANCE RATING

- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally
- 1 Prague Lodge and NBLC additions generally



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2

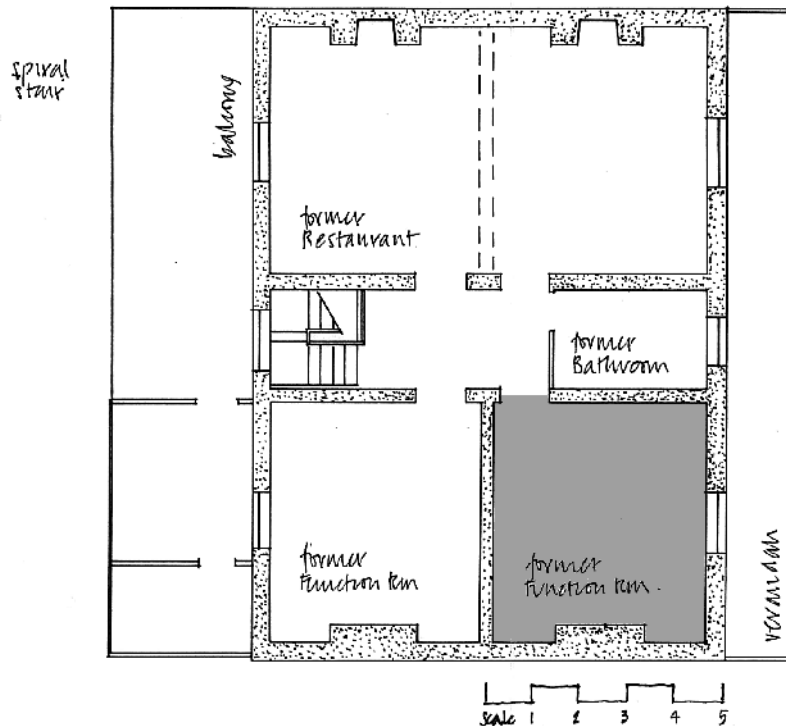
SECTION 2 • THE FIRST FLOOR GENERALLY • PAGE 38



The Stair/Hall area looking
east.
PG photograph 1998



KEY PLAN



ROOM NAME

Historical use as bedroom; later used as function room [Prague Lodge].

HISTORICAL BACKGROUND & ASSOCIATIONS

This room was one of the upper bedrooms of Graham Lodge. The two eastern windows allowed views across the river flats to Greenhills village; to the Ferry Road and the ferry; and to the Shoalhaven River.

*Una Thurgate pers comm.
1998, and plan, refer Historical
Overview, p. 49, Volume 1:
Report*

Una Thurgate recalls that all the bedrooms were 15 ft by 15 ft, with cedar surrounds [chimney pieces?] to the fireplaces. This bedroom had half height cedar cupboards in the south-east corner. Kerosene lamps were used until electricity was connected by Frank Moorhouse c.1930.

DESCRIPTION

Floor: Modern timber floor over original floor. Fair condition.

Walls: Plaster in fair condition, with some patching.

Ceilings: Modern plaster sheet and cornice in fair condition.

Joinery: French door joinery to eastern opening in fair condition. Note the detailed arch over the door from the Stair/Hall. Note that the doors have been cut down to accommodate raised floor level.

Chimney/fireplace: To south wall, blocked off.



Services: surface mounted conduits and modern light fittings.



The South-East [Bedroom]:
Looking to north-east corner
PG photograph 1998



The South-East [Bedroom]:
Looking to south-east corner
PG photograph 1998

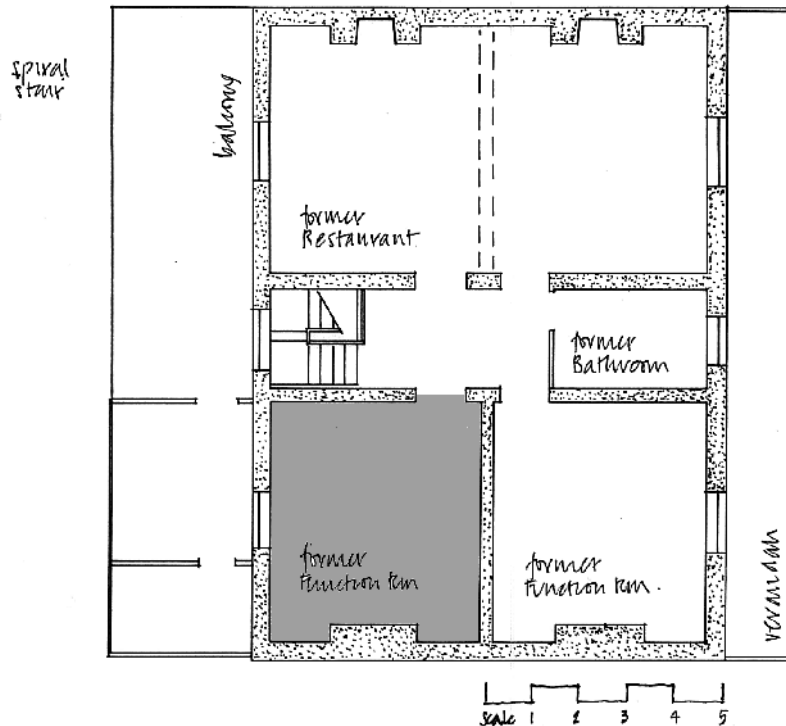
Structure: The 1998 MacDonald structural report states:
The [first] floor structure appears badly damaged by termites and appears to need complete replacement.

COMPARATIVE SIGNIFICANCE RATING

- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally
- 1 Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

Historical use as a bedroom. Later used as a preparation room for Prague Lodge restaurant.

HISTORICAL BACKGROUND & ASSOCIATIONS

Una Thurgate pers comm. 1998, and plan, refer Historical Overview, p. 49, Volume 1: Report

Una Thurgate recalls that all the bedrooms were 15 ft by 15 ft, with cedar surrounds [chimney pieces?] to the fireplaces. This bedroom had half height cedar cupboards in the south-east corner. Kerosene lamps were used until electricity was connected by Frank Moorhouse c.1930.

DESCRIPTION

Floor: Modern timber floor over original floor. Fair condition.

Walls: Plaster in fair condition, with some patching.

Ceilings: Modern fibrous plaster ceiling and cornice, probably over earlier [lath and plaster?] ceiling.

Joinery: French door joinery to eastern opening in fair condition. Note the detailed arch over the door from the Stair/Hall. Note that the doors have been cut down to accommodate raised floor level.

Chimney/fireplace: To south wall, blocked off.

Services: surface mounted conduits and modern light fittings.

Structure: The 1998 MacDonald structural report states:



GRAHAM LODGE PRECINCT • NOWRA
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The [first] floor structure appears badly damaged by termites and appears to need complete replacement.



Above: the South-West Room, looking into the Stair Hall. Note the original door leaf [with 'cut down' bottom rail], and the modern fibrous plaster ceiling and cornice.

Above right: The South-West Room looking into the West Verandah Bathroom. Note the poor condition of the ceiling and the 1930s door joinery [this was formerly a window]. The door to the West Verandah Bathroom has been relocated from the western Ground Floor entrance.

Right: The South-West Room looking south to the infilled fireplace.

PG photographs 1998



COMPARATIVE SIGNIFICANCE RATING

- 4 c.1860 Graham Lodge fabric generally
- 3 1930-1960 Bourne fabric generally

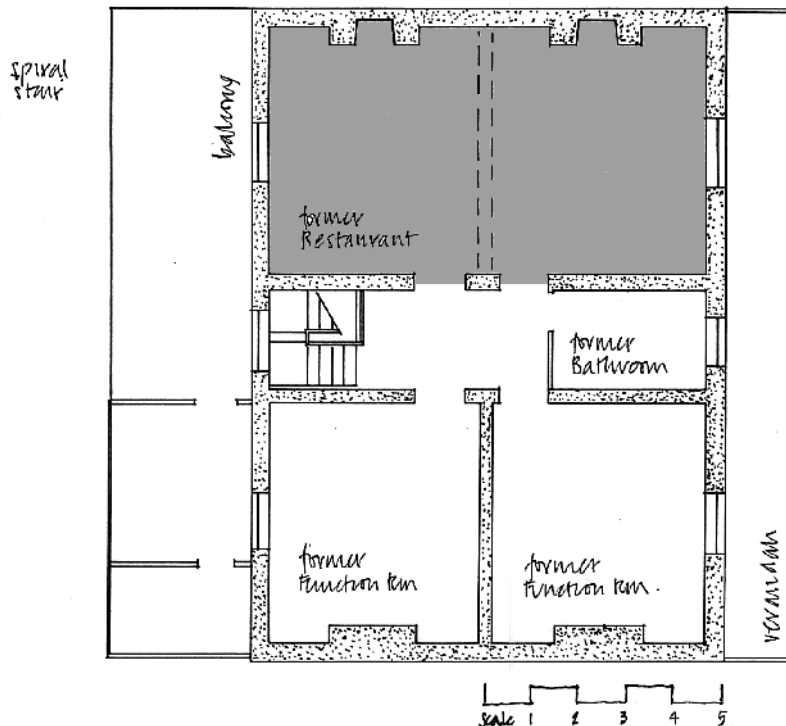


GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE FIRST FLOOR SOUTH-WEST ROOM • PAGE 43

I Prague Lodge and NBLC additions generally



KEY PLAN



ROOM NAME

North-East and North-West Rooms

HISTORICAL BACKGROUND & ASSOCIATIONS

Una Thurgate pers comm. 1998, and plan, refer Historical Overview, p. 49, Volume 1: Report

This space was originally two bedrooms. Una Thurgate recalls that all the bedrooms were 15 ft by 15 ft, with cedar surrounds [chimney pieces?] to the fireplaces. This bedroom had half height cedar cupboards in the south-east corner. Kerosene lamps were used until electricity was connected by Frank Moorhouse c.1930. It would appear that the two rooms had been 'opened up' by 1930, for Una Thurgate's sketch recollections indicate a cedar folding door screen between the rooms.

Within the Prague Lodge period this room was used as a restaurant.

DESCRIPTION

Floor: Modern timber floor over original floor. Fair condition.

Walls: Plaster in fair condition, with some patching.

Ceilings: Modern plaster sheet and cornice in fair condition.

Joinery: The original eastern French door remains intact. The western window opening has been extended as a door onto the western verandah. A timber veneer has been placed over part of the northern wall.



Services: surface mounted conduits and modern light fittings.



The northern rooms, looking east. Note the large area of damp below the roof leak; and the modern chimney veneer and mantel installed during the Prague Lodge period.
PF photograph 1998



The northern rooms, looking west.
PF photograph 1998



Detail view of the floor in the northern rooms. The 'modern' and original floors can be clearly seen. PG photograph 1998



The 'western' chimney and fireplace. PG photograph 1998

Structure: The 1998 MacDonald structural report states: *The [first] floor structure appears badly damaged by termites and appears to need complete replacement.*

COMPARATIVE SIGNIFICANCE RATING

4 Graham fabric generally



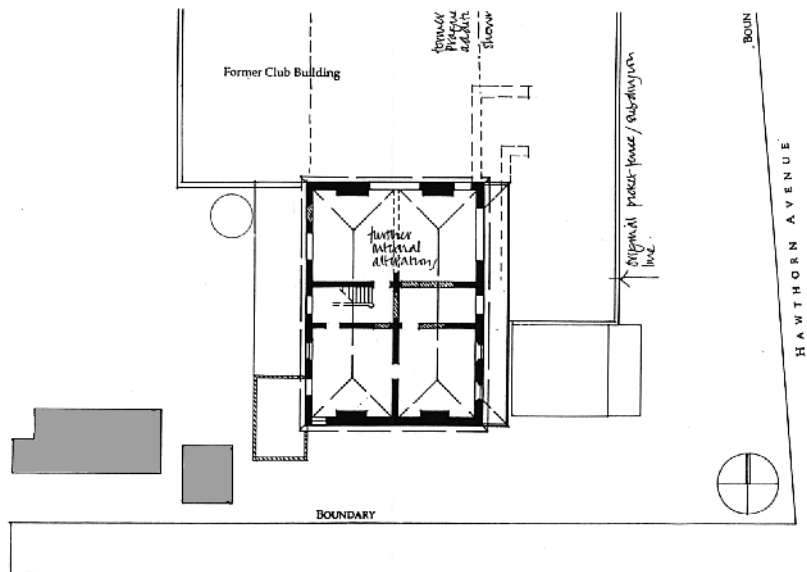
GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2

SECTION 2 • THE FIRST FLOOR NORTHERN ROOMS • PAGE 46

- 3* Bourne fabric generally
- I* Prague Lodge and NBLC additions generally



KEY PLAN



NAME

Storage and Toilet Buildings

HISTORICAL BACKGROUND & ASSOCIATIONS

These outbuildings [and western garden structures] relate to the Prague Lodge and Nowra Bomaderry Leagues Club occupancy of the site.

DESCRIPTION

Utilitarian buildings without architectural style or presence.



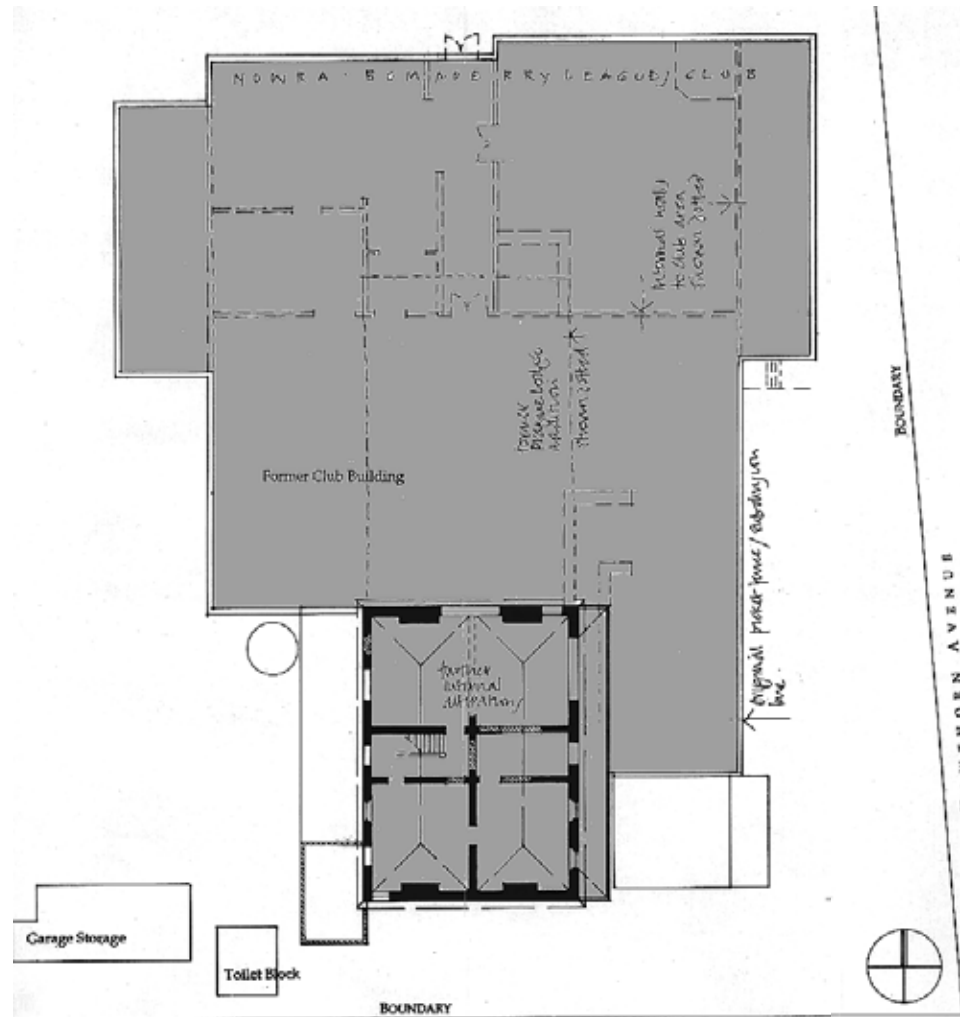
The garage/shed from the west.
HS photograph 1998

COMPARATIVE SIGNIFICANCE RATING

I Prague Lodge and NBLC fabric generally



KEY PLAN



NAME

Nowra Bomaderry Leagues Club

HISTORICAL BACKGROUND & ASSOCIATIONS

The extensions to Graham Lodge commenced with the Prague Lodge extension; and then two stages of NBLC extension followed, resulting in the current configuration of the building. Refer pp. 56 to 67, Historical Overview, Volume 1.

Refer pp. 56 to 67, Historical Overview, Volume 1 Report

DESCRIPTION

The 1998 MacDonald structural report states:

Roof Cladding



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • FORMER NOWRA BOMADERRY LEAGUES CLUB • PAGE
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Generally the roof cladding is in good condition with very light surface corrosion. On the auditorium roof the pipes from the air conditioning units have caused localised corrosion of the cladding.

The flashing of the fascia on the northern side has two sections with a large amount of surface corrosion.

On the auditorium roof an angle has been bolted to the roof cladding which is causing the roof to corrode. Also near this angle there have been several holes drilled through the roof.

Generally all gutters and downpipes are in very poor condition. The gutters and downpipes have become blocked up with leaves that have caused the gutters to overflow and cause damage to internal sections of the building. Also these gutters and downpipes have undergone large amounts of corrosion. (See photo 13 in Appendix B)

The roof cladding over the bar area near Graham Lodge is extremely corroded. The flashing to the coolroom is in very poor condition and the coolroom roof is covered in dirt and leaves.



The northern elevation of the NBLC building.
PG photograph 1998

External Walls

Northern Wall

The brickwork is in good condition with a small misalignment at the corners along the damp course which appears to be due to brick growth.

The metal fascia is in good condition with the eaves having water stains in places.

The windows are in good condition.

The front steps consist of a concrete slab with metal hand rails. The layer of concrete topping on the stairs has broken away. The handrails have undergone corrosion.

Eastern Wall

The brickwork is in good condition. There are hairline cracks running along the damp course due to brick growth.

The eaves have water stains in places.



Along the section to the south of the men's toilets the eaves are in poor condition and the downpipes are extremely corroded. The timber doors are weathered. The windows are in fair condition.

The stairs are in fair condition and require a hand rail.

The lean-to structure off the coolroom is in poor condition with one post being badly damaged.

The coolroom panels are beginning to corrode at the base.

Southern Wall

In the Games Area the brickwork is in good condition. The stormwater disposal system in this area is not adequate with water flooding against the doors. This has caused the doors to become water stained and are in a very poor condition.

Along the wall of the female toilets the brickwork is in good condition. A section of the eave is in poor condition and the downpipes are also in poor condition.

Western Wall

Along the Games Area section the brickwork is in fair condition. The timber surrounding the windows is in fair condition. The downpipes are extremely corroded and the eaves are in a fair condition.

Along the storeroom wall the brickwork, fascia and eaves are in good condition.

Roof Structure and Building Frame

The roof over the front section of the building including the auditorium, foyer, dining room, kitchen and stores appear to be in good condition and analysis has confirmed this. The lateral bracing in this section of the building depends on the columns that are built into the brickwork. The lateral bracing appears to be inadequate.

The roof over the Lounge 1 has undergone many alterations due to the various extensions and sections of this roof are likely to be inadequate.

The roof over the games room was not readily visible. Spot checks of the roof structure and later detail analysis of several members revealed them to be adequate.

The roof structure over the keg storeroom is closed in and therefore could not be viewed. Viewing of the area generally revealed that it has performed adequately to date.

Subfloor Structure

The floor structure consists of a combination of concrete slabs and timber floor systems.

The subfloor area is very damp with very little ventilation.

The floor under the male and female toilets is a Bondek slab. The Bondek steel under the female toilets has corroded badly.

The sections with a timber floor system consists of bearers and joists with the bearers supported on 230 x 230 brick piers on mass concrete pads. Due to the dampness in the subfloor, some of the bearers and joists are covered in a mould. In sections such as the Games Area the timber members have gaps between the floor boards and the joists. In other areas the bearers are no longer bearing on the brick piers, which would cause the floor to be bouncy.

The flooring in the Auditorium and Coffee shop area is mainly 19mm "Pineboard" flooring with the exception of the dance floor area in the Auditorium which has structural plywood flooring.



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CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
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The Lounge 1 and Games area have 19mm pine tongue and grooved flooring while the centre area of the Lounge/Games area which appears to be the original clubhouse, has 60 x 25mm hardwood tongue and grooved flooring.

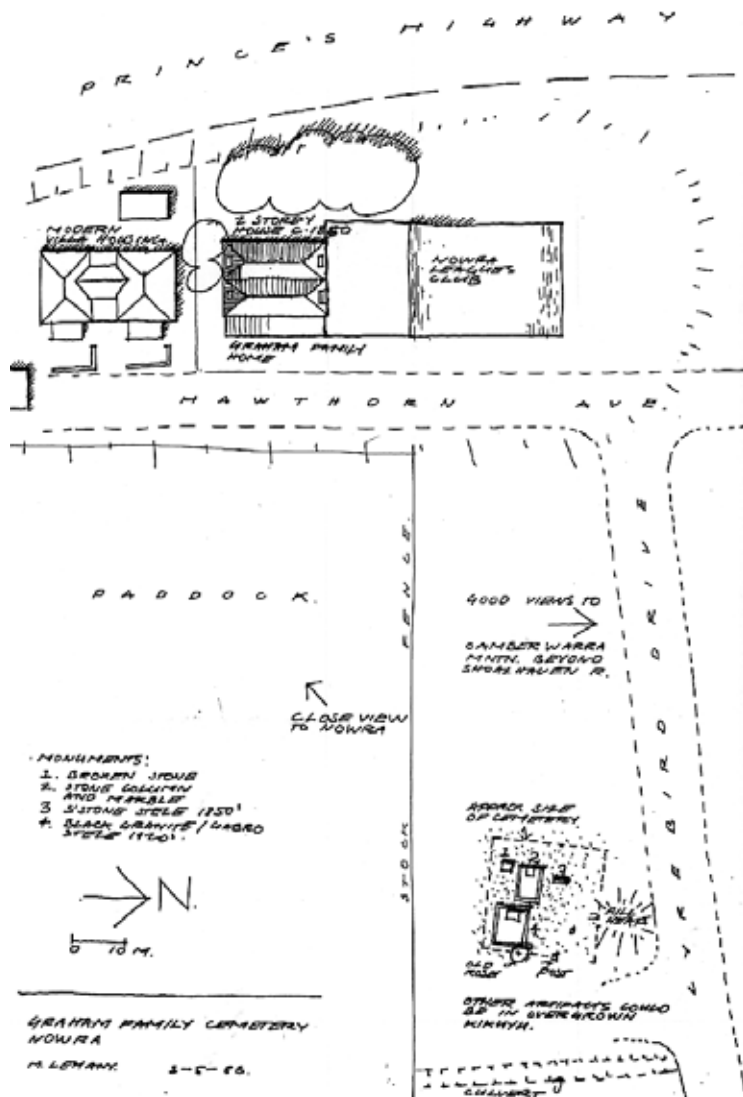
Other areas of the floor that have conventional suspended slabs. These slabs appear to be structurally adequate.

COMPARATIVE SIGNIFICANCE RATING

I Prague Lodge and NBLC additions generally



KEY PLAN



NAME

The Graham Cemetery

HISTORICAL BACKGROUND & ASSOCIATIONS

A cemetery which has had close association with the Graham family occupancy of this area over 100 years. The cemetery was placed close to the house, presumably because of flood danger.

DESCRIPTION

The NTA NSW [1986] citation states:

History, Location & Surroundings, Layout Landscape, Structures, Monuments/Styles, Burials of significance, Earliest known burial date

A small private cemetery which marks the final resting place of the Graham family is located on low ground approximately 400m south of the Shoalhaven



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • INVENTORY • VOLUME 2
SECTION 2 • THE GRAHAM FAMILY CEMETERY • PAGE 52

River (just above normal flood level). The four surviving monuments face east and are located in a grassy verge at the edge of a large paddock used for dairy cattle. A title search carried out by Shoalhaven City Council indicates that William Graham was the original land grantee (land granted 1851). The site, which is covered by rampant Kikuyu, is overlooked by the Nowra Leagues Club, one building of which is a two-storey late Georgian house with verandah which is reported to have been built by Graham in the 1850s. Few plantings are visible on site other than a solitary rose and recently introduced gladioli. A large area of fill covered by weeds separates the cemetery from the road to the north. A barbed wire fence separates the cemetery from the paddock. There are sparse remains of timber fences which do not appear to be original. Monuments are a sandstone desk with scroll which is damaged and which is missing its tablet. Pieces of this monument are present and it is repairable. The second monument is a large sandstone broken column on sandstone pedestal with white marble tablets (Hermione, Ross Stuart, Douglas Earle, Graham 1893, 1906 and 1918 respectively.) The third and earliest monument is a very elegant sandstone stele, gabled with square shoulders and acroteria, to the memory of William Graham, died 20/9/1852. The final monument is a large black granite gabbro desk/stele with scroll framed with inlaid sprigs of laurel and sandstone surrounds to Emily Anne Graham (died 1924) and James Graham (died 1927). No masons' names were discernible. If it is established that the nearby house was indeed built by Graham the visual relationship between the cemetery and house would become particularly significant.



Looking from adjacent the Cemetery to Graham Lodge and the former NBLC.
PF photograph 1998

This small private cemetery containing 3 3/4 perches is located on the Greenhills Estate not far from the Graham Lodge homestead and appears to have been used for the first time for the burial of William Graham, The Elder, who died on 20th September 1852.

The cemetery was classified by the National Trust in 1986

"... The monument of William Graham is an early headstone which predates the Civil Register of 1856 and is of particular note because it marks the grave of an original land grantee located on part of his original grant. The Graham family were prominent in the Nowra area during the latter part of the nineteenth century..."

Known burials: William Graham 20 Sept 1852



GRAHAM LODGE PRECINCT • NOWRA
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	Margaret Graham	20 Dec 1853
	John Graham	24 April 1862
	James Graham	24 July 1867
	Hermoine Ivy Graham	2 February 1893
	Ross Stuart Graham	7 February 1906
	Hubert Lionel Graham	14 September 1919
	Emily Anne Graham	13 November 1924
	James Graham	4 June 1927
Memorial:	Douglas Erle Graham	KIA 14 April 1918

Headstones: *In loving memory of*
Emily Anne Graham born 22nd April 1854
died 13th November 1924 aged 70
Beloved wife of James Graham & a Loving Mother, For ever with the Lord
and her beloved husband, James Graham, born 28th Nov 1852 Died 5th June 1927
A Loving Father
They Have Met Again.

*Sacred to the memory of **Hubert L. Graham***
Fell asleep in Jesus 14th September 1919
Aged 43 years
Erected by his loving wife and daughter

*Sacred to the Memory of **William Graham***
born Dec 16th 1772
who departed this life 20th Sept 1852

Graham Monument: (North side)

In loving memory of
Douglas Erle, dearly beloved son of J & N Graham
Killed in Action 14th April 1918 aged 22
His duty done
He sleeps in peace

(South side)

In loving memory of
Ross Stuart, beloved youngest son of J & E Graham
died 7th February 1906 aged 27 1/2 years
After life's fitful fever he sleeps well.

(East side)

*In fond memory of **Hermoine Ivy**, youngest dearly loved child of James & Emily Graham who died*
2nd February 1893 aged 7 years
This lovely Bud so young & fair, plucked hence by early doom
Just came to show how sweet a flower
In Paradise doth bloom.

COMPARATIVE SIGNIFICANCE RATING

- 4 Graham family site and gravestones
- I Modern fencing



Greenhills Farm from the north-east c.1869, Samuel Elyard. Signed and dated on back 'C.G. 1869'.
Source: Mrs Anne Pulvertaft, Sunshine Beach, Queensland

GRAHAM LODGE PRECINCT • NOWRA CONSERVATION MANAGEMENT PLAN

VOLUME 3 OF 3 CONSERVATION MANAGEMENT POLICY

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FINAL
AUGUST 2000



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • VOLUME 3

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1.1 BACKGROUND TO THE CONSERVATION MANAGEMENT PLAN

Within Section 1 of the Conservation Analysis: Report [Volume 1] a comprehensive introduction to the Plan and its briefing has been set out. The reader is referred to that section for information on **Consultant Brief, Project Curtilage, Terms and Methodology and Consultant Team and Authorship.**

1.2 ACKNOWLEDGEMENTS

In the course of preparation of this conservation management policy document, we have received assistance from those people/organisations listed within the Introduction to the Conservation Analysis; and also from the following:

**Mr Dennis Haddy and
Mr Alan Baptist**
Community Services Group
Shoalhaven City Council

Mr Terry Quinlan
Researcher
Earlwood, Sydney

**Mr Wayne Brighton
Mr Paul Jennings**
Special Projects
Shoalhaven City Council



2.1 PREAMBLE

The following 'development of conservation management policy' section is set out as a series of 'policy issues' discussions. At the conclusion of these discursive sections, and as appropriate, a conservation management policy recommendation is provided. These policy statements are 'gathered' at **Section 2.9** below, as a **statement of conservation management policy** for the precinct.

2.2 POLICY ISSUES ARISING FROM THE CULTURAL SIGNIFICANCE OF THE GRAHAM LODGE PRECINCT

Any discussion concerning an appropriate conservation/development policy strategy for the precinct must take into consideration, from the outset, the developed statement of significance for the precinct. The following statement has been arrived at as part of the Conservation Analysis study of the precinct [refer Section 5, Conservation Analysis, Volume 1], and is as follows:

*Statement of Significance
Conservation Analysis
pps 87 and 88, Volume 1*

Graham Lodge is historically significant for its association with the Graham family who arrived in the district in 1826. The family purchased Butler's grant fronting the Shoalhaven River which was to become the focus of the Greenhills Estate acquired and worked by the Graham family until 1930. The residence was erected by James Graham [senior] from 1860 and would appear to be associated with his election to the first Shoalhaven Municipal Council in 1859 and subsequently his election in 1860 as Mayor. The residence was the second two storey residence to be erected in the Shoalhaven District and is important in illustrating the expression of social standing and the introduction of architectural idiom following the growth of the community, private towns and local government in the 1860s.

Graham Lodge is significant because those historical values identified above are rare, endangered and unusual aspects of the history of Shoalhaven and the Illawarra region.

Although modified and adapted Graham Lodge is significant as a late example of the Colonial Georgian style with Regency influences expressed in the details and as such represents a transition from Colonial to Victorian values in a rural setting. The use of slates in the roof was probably the earliest in Shoalhaven and a reflection of the need to express quality and permanency in all parts of the building. This quality is evident in the remnant internal cedar joinery, the design of the principle elevations, the use of a two storey verandah reflecting urban building styles and the massing and scale of the building. The two storey verandah form would appear to be the earliest in the Shoalhaven district.



Graham Lodge is the earliest example of a two storey verandahed house and is a transition from Colonial to Victorian values. Built in 1860 the house is the second oldest example of a two storey house in the Shoalhaven district and possibly the first 'polite' residence erected in Shoalhaven.

*The site has potential archaeological significance in the foundations of cottages and sheds recorded in Samuel Elyard's painting of 1877; and Greenhills [the remnant land component of the Graham Estate] and Graham Lodge [the Graham residence] are rare archaeological survivors demonstrating the estate of a pastoral family with clear connections with Aboriginals [as retainers and as part of the Greenhills community]. Archaeologically, Greenhills/ Graham Lodge is of **State** significance.*

Graham Lodge is significant for its educational potential as an example of an early two storey house which can contribute to an understanding of mid nineteenth century construction, the story of settlement, local government and history in the Shoalhaven district during the nineteenth century. This significance is enhanced by the close association with the Graham family cemetery and the wider setting.

Graham Lodge and Greenhills has significance to the community of Nowra and the immediate region, as the Graham family had early connections with the governance of the local municipal areas; and the former Lodge, as function centre and later as Club building, functioned prominently in the social life of the town/city and region. In comparative terms, Graham Lodge is of regional to State cultural significance.

The **regional** significance resides in the strong associations of the Greenhills Estate and Graham Lodge to the Shoalhaven area; the **State** significance resides in the ability of the Estate, and Graham Lodge, to demonstrate a broad sweep of history, from prehistoric, post contact and European settlement.

As a result of the Conservation Analysis undertaken for the precinct, we can attribute the following areas of **significance** to the Graham Lodge precinct:

- The precinct and Lodge have clear and long-term associations with the Graham family. James Graham [senior] was the first mayor of Shoalhaven Municipal Council [the earliest of the predecessors of the current Shoalhaven City Council].
- The Lodge itself is architecturally significant within the region as one of the first of the 'architecturally polite' residences built within the Shoalhaven area.
- The cultural landscape of the Lodge and its adjacent eastern river flats is of high significance within the region as a testament to the early importance of the river villages [early European settlement, eg Greenhills village]; the early



dependence on dairying and cropping [refer early Elyard paintings of the cultivation of the river flats]; and the growth of the town/city of Nowra, to the west of the marshy eastern river flats.

- The Graham Lodge precinct and the Shoalhaven City Council Administrative Centre are **physically linked**, as they are both situated within the original 100 acre Graham allotment.
- The Greenhills/Graham Lodge area is archaeologically rich, for it evidences Aboriginal contact occupancy and a broad range of early European sites and buildings. The Greenhills site is assessed to be of **State** archaeological significance.

We can thus attribute **regional/State significance** to the **Graham Lodge/Greenhills precinct**. It can also be stated that were Graham Lodge to have remained intact [in its late 19th century form], and to have maintained its original close relationship to the river and the river flats, the precinct could have been judged to be of **State significance**.

Given the agreed cultural significance of the Graham Lodge precinct, it is feasible to suggest specific policy recommendations for the precinct. These recommendations are as follows:

Policy Recommendation No. 1:
MANAGEMENT TO RETAIN
CULTURAL SIGNIFICANCE

The Graham Lodge precinct should be managed so as to retain its cultural significance. This significance relates to over one hundred and sixty years of continuous occupation. No single point in time during that period is seen as being of over-riding importance, although the Graham and Bourne occupancies are most significant. The conservation policy and strategies for the precinct seeks to respect the contributions of each phase of occupation of the place according to the relative significance of the remnant fabric from each of these phases.

Policy Recommendation No. 2:
CONSERVATION/DEVELOPMENT
INTERVENTION

Given the architectural significance of the Lodge itself, the landscape significance of the Lodge's immediate surrounds, and the wealth of our understanding of the late Graham/early Bourne period, the Lodge should be restored to its early 1930s form [ie including western verandah]; and the immediate surrounds should be appropriately interpreted.

2.3 POLICY ISSUES ARISING FROM THE CULTURAL LANDSCAPE CONTEXT

The relationship of Graham Lodge to the wider landscape setting is an important aspect of understanding and interpreting the place. The Graham occupancy stems from a close relationship between the farm as focus of dairy and agricultural activity during the period 1826 to 1860. This relationship, i.e. the overlooking of the landscape for management, and a sense of control in an open



landscape setting, is implicit in the location of the house above the cleared areas of grazing. This viewscape extends to the horizon and includes the Graham family cemetery, elements of the riverscape and Coolangatta Mountain. Links with Nowra Wharf and the Nowra Road Bridge have also been, and continue to be, important aspects of the site since the 1880s. The latter links are important given the interruption to the landscape setting created by the Nowra by-pass which has effectively isolated Graham Lodge on an 'island'.

Any discussion of the Shoalhaven River flats in history should recognise that historical river flooding has been subsequently modified by works upstream from Nowra, and that although the river flats remain **flood prone**, the threat of wholesale flooding has lessened [compared with the 19th century]. However, the Shoalhaven City Council has determined that the further development of the remnant flats not be encouraged; thus effectively quarantining the flats and limiting its further development. With this in mind, it is clear that potential uses of Lodge precinct and the adjacent river flat should be guided primarily by the cultural significance of the Lodge and river flats **in conjunction**.

Given the primacy of the siting of the Graham Lodge [in history and at present] at the **entrance** to Nowra proper; given that the Lodge precinct and the Shoalhaven City Council's Administration Centre are sited on the same 'historical' land originally granted to Graham; and given that James Graham [senior] was the first mayor of the Shoalhaven Municipality, it is recommended that the precinct serve as a visitor entry and orientation to Nowra and the Shoalhaven City Council region.

Policy Recommendation No. 3:
ADAPTIVE RE-USE OF THE
GRAHAM LODGE PRECINCT AND
BUILDINGS

An adaptive re-use function is required for Graham Lodge, since a used building is a conserved building. It is recommended that the most appropriate use would be as an interpretation centre for the City of Nowra and the settlement[s] of the Shoalhaven River, and for the art of Nowra painter, Samuel Elyard. Such an adaptive re-use will be supported by the new Visitor Information Centre within the former Club building. It is recommended that Graham Lodge contain the interpretation display which would utilise historical [eg Elyard and other] images and modern material.

Policy Recommendation No. 4:
INTERPRETATION OF THE RIVER
FLATS

It is recommended that the historical walk from Greenhills House [Graham Lodge] to Greenhills village be reinterpreted by a new walk, on the axis of Graham Lodge, across the river flats to end, eventually, at Ferry Lane. This walk would have interpretative stops, rest points and panels at intervals to explain the cemetery, the river flats and villages, and the rise of Nowra town/city.



Policy Recommendation No. 5:
USE OF THE RIVER FLATS AREA

It is further recommended that, apart from the proposed elderly person's development to the east, no new development be allowed within the river flat area, and that the land adjacent the cemetery and around the adjacent Mavromattes residential development be purchased by Council to ensure an intimate connection between the new Lodge precinct, the river flats and Ferry Lane.

It is further recommended that Council explore the possibility of achieving better access to the southern area of the river flats, and hence better access to the Graham Lodge precinct. This may include, for example, a pedestrian underpass to the Princes Highway and/or better parking and access provisions from North Street. It is further recommended that Council acquire the north-eastern block fronting Ferry Lane; thus allowing access from the lane to the river flats walk.

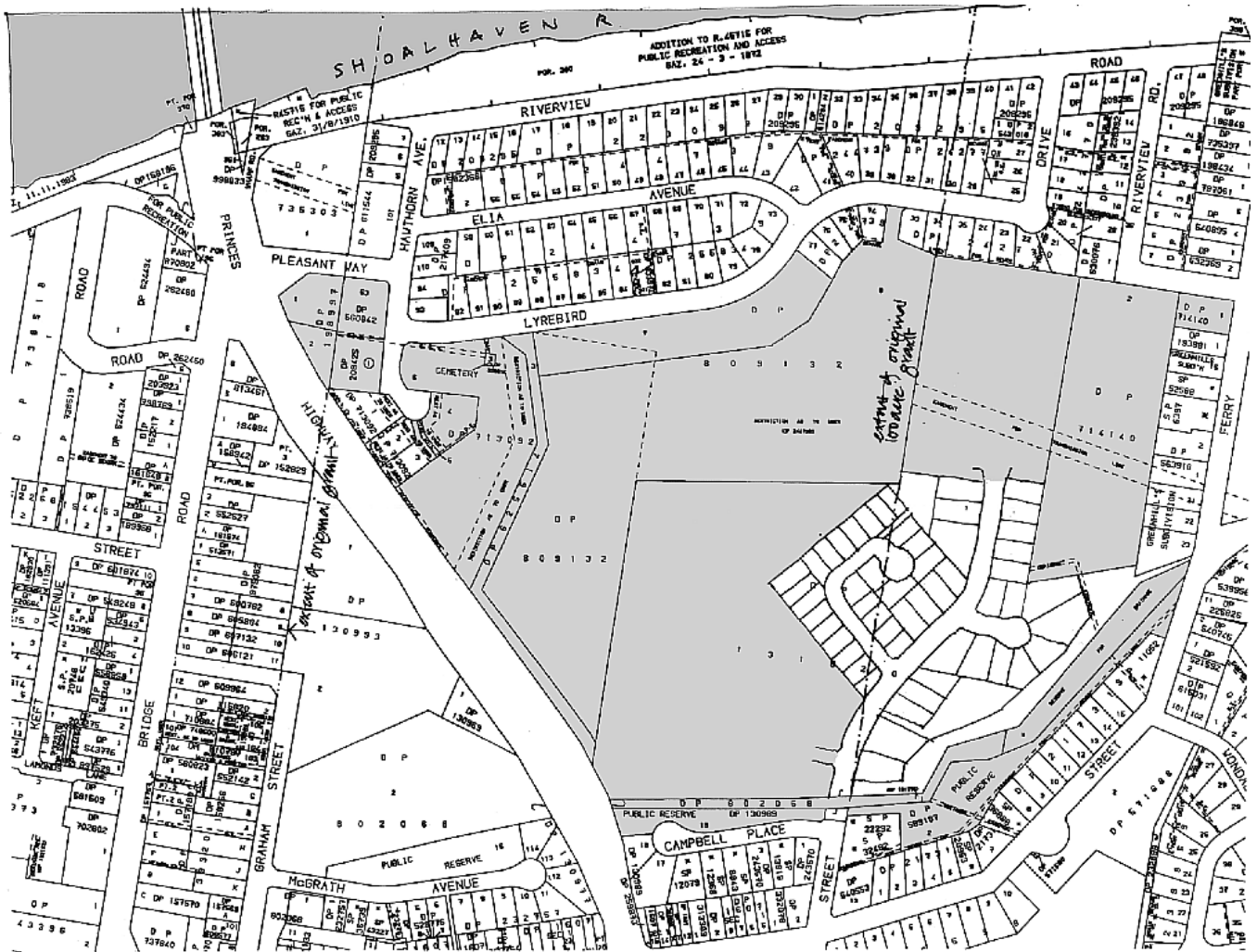
Policy Recommendation No. 6:
THE CONSERVATION AND
DEVELOPMENT OF THE RIVER
FLATS

It is recommended that the precinct and the river flats be conserved/developed such that the viewscape east of Graham Lodge is retained and the historical links with the grazing areas, family cemetery, riverscape and Coolangatta Mountain is retained and enhanced. This should also include views to the Lodge. It is further recommended that views to the site, including the approach from the north and the Road Bridge and Nowra Wharf, should be identified and enhanced so as to retrieve the historical contribution of the Lodge to the sense of place experienced on arriving in Nowra.



Policy Recommendation No. 7:
 LAND ACQUISITION

It is recommended that the current 'isolated' nature of the precinct be addressed in terms of the enhancement of the landscape to ensure links to the wider landscape; and through the acquisition of additional land by Council. The indicative area to be retained and acquired is shown in the plan below. The most immediate requirement is for a more direct connection between Graham Lodge and the Graham Cemetery.



2.4 POLICY ISSUES ARISING FROM THE STATUTORY
 RECOGNITION OF THE GRAHAM LODGE PRECINCT

Land Acquisition Proposal
 Summary LEP plan, 1998. Areas
 owned or to be acquired by SCC
 shown shaded.
 Source: SCC LEP map, 1994

Shoalhaven City Council
Local Environmental Plan

The Graham Lodge precinct is **not** entered as an item of the Environmental Heritage within the Shoalhaven City Council's Local Environmental Plan; however the precinct [including the Cemetery] is accorded **regional significance** within the Shoalhaven Heritage Study; and is recommended for inclusion within the SCC LEP as an item of the environmental heritage.



The SHS **Statement of Significance** is as follows:

'A notable early Victorian residence, one of the first built in Nowra. Originally a prominent site, close to the highway and the river. Retains essential fabric despite unsympathetic alterations and additions. Regionally representative of early two storey residences. Regional significance [Illawarra].'

The SHS **recommended conservation action** is as follows:

'Subject to the outcome of a Conservation Management Plan, the following urgent priorities should be implemented to prevent further deterioration.'

'Demolish all inappropriate extensions both attached and detached, which severely degrade the significance of the original homestead. This development dating from 1971 is the legacy of its use by the Nowra Bomaderry Leagues Club. The store rooms and cool rooms are constructed across the eastern elevation ie the main frontage of the house. The original homestead should be freestanding with a substantial clear landscaped curtilage surrounding. The homestead should be made weatherproof by repairs to slate roof chimneys and flashings.'

'Door and window openings should be sealed and should be replaced or restored to original profiles and details. The timber verandahs are structurally unstable and in need of urgent repair, and many panels of cast iron balustrade and frieze are either missing or heavily rusted. The concave corrugated iron roof should be replaced.'

'Exterior rendered walls are in poor condition and should be repainted to ensure effective weatherproofing. Internally the building requires extensive and reconstruction which should follow the guidelines of the Conservation Plan to reinstate the former room layout. Much of the original interior finishes and joinery, including the staircase have been lost and should be reconstructed.'

Policy Recommendation No. 8:
LISTING AS AN ITEM OF THE
ENVIRONMENTAL HERITAGE
WITHIN SCC LEP

It is recommended that the Graham Lodge precinct [including the Graham Cemetery] be entered as an item of the environmental heritage within the Shoalhaven City Council Local Environmental Plan.

Register of the National Estate

The Graham Lodge precinct is not entered in, or nominated for, the Register of the National Estate. In view of the recommendation of the Shoalhaven Heritage Study and this Conservation Management Plan that this precinct is of **Regional to State** significance, it is a recommendation that the precinct be nominated to the Register of the National Estate.



Policy Recommendation No. 9:
NOMINATION OF GRAHAM LODGE
PRECINCT TO THE REGISTER OF THE
NATIONAL ESTATE

It is recommended that the Graham Lodge precinct be nominated for entry in the Register of the National Estate.

NSW Heritage Register

The Graham Lodge precinct is not entered in, or nominated for, the NSW State Heritage Register. In view of the recommendation of the Shoalhaven Heritage Study and this Conservation Management Plan that this precinct is of **Regional to State** significance, it is a recommendation that the precinct be nominated to the NSW State Heritage Register.

Policy Recommendation No. 10:
NOMINATION OF GRAHAM LODGE
PRECINCT TO THE NSW STATE
HERITAGE REGISTER

It is recommended that the Graham Lodge precinct be nominated for entry in the NSW State Heritage Register.

2.5 STATUTORY REQUIREMENTS ARISING FROM CONSERVATION / DEVELOPMENT OF THE PRECINCT

Although little remains of the former Graham farm complex, lost through subdivision and demolition, elements which potentially contribute to an understanding of the significance of the place should be conserved. This includes the 'archaeologically sensitive' area to the west of the Lodge and the new Tourist Information Centre [refer archaeological diagram, **Section 2.7** below] and the Graham family cemetery.

Refer
Appendix 3
Heritage Impact Statement
Volume 3

As a component of the Development Application for the adaptive re-use of the Graham Lodge precinct, it is a requirement that 'A Review of Environmental Factors' be prepared [this Review has been prepared by the archaeological consultants Heritage Archaeology, and is appended at **Appendix 3** below]. The Review finds that it is unlikely that there will be any significant environmental impact as a result of the proposed [adaptive re-use] work; that the proposed safeguards identified within the Conservation Plan and Archaeological Assessment will be adopted and implemented; and that an 'Environmental Impact Statement' is not required for the proposed works.

It is also a requirement that a 'Statement of Heritage Impact' be prepared in order to provide assessment of the likely impacts of the proposed adaptive re-use on the significant fabric of Graham Lodge and its immediate precinct. This statement has been prepared by Heritage Archaeology, and is appended at **Appendix 3** below. The assessment of heritage impact finds that there will be no adverse heritage impact as a result of the proposed work; that the proposal will enhance the heritage status of the property; that



safeguards identified in the proposal will be adopted and implemented; and that restoration work will be carried out in accordance with the standards of best practice guidelines of the Heritage Office of New South Wales.

The assessment finds that some aspects of the Development Control Plan [and the resultant architectural plans, refer **Appendix 1**] require modification in alignment with the conservation management policy for the Lodge fabric.

Policy Recommendation No. 11:
STATUTORY REQUIREMENTS

*A 'Review of Environmental Factors' and a 'Statement of Heritage Impact' have been prepared to accompany the Development Application for the part restoration of Graham Lodge [refer Appendix 3]. The further conservation and development of the precinct should accord with these statements and with the approved Development Control Plans and Archaeological Management Plan. An Architectural Zoning Plan has been provided to the Shoalhaven City Council by the consultant archaeologist; and draft Development Control Plans have been developed as part of this Conservation Management Plan, refer **Section 3.1** below.*

Policy Recommendation No. 12:
ARCHAEOLOGICAL ZONING PLAN

The archaeological significance of the place should be conserved as recommended in the 'Report to the Heritage Council of NSW on Test Excavations at Greenhills, Nowra, NSW'. The archaeological zoning plan [refer page 13 below] is to be the basis of an Archaeological Management Plan for the precinct.

Refer
Section 3
Policy Implementation
Volume 3

The architectural quality of Graham Lodge stems from the simplicity of the late Colonial Georgian plan form coupled with sensitive detailing, the hipped roof form and the two storey verandah. The strength of the design, its scale and form are clearly evident in historical photographs. Although much of the interior has been lost through adaptation for its use as a function centre, sufficient fabric remains to form the basis for sensitive conservation. Much of the original timber of the floors is in poor condition, and within one ground floor room this timber has been replaced by an in situ concrete slab. [Refer **Section 3.0** Policy Implementation for detailed Schedule of Remedial Works.]

Policy Recommendation No. 13:
CONSERVATION/DEVELOPMENT
OF GRAHAM LODGE FABRIC

*The recommended conservation [presentation, reconstruction, restoration, adaptive re-use, etc] works to the Graham Lodge are as recommended within **Section 3** below; the 'Statement of Heritage Impact' [refer **Appendix 3**]; and as documented in the SCC conservation works drawings [refer **Appendix 1**].*

The former outbuildings, paths, fences, orchard and gardens around Graham Lodge were intact at the end of the nineteenth century, and largely intact during the Bourne period. The advent of the Prague Lodge and Club use of the precinct effectively saw



the removal of most of the 'external' precinct elements, with the exception of the cemetery and the trees to the south west of the precinct. A landscape plan has been prepared by Shoalhaven City Council as part of the Development Application for the conservation of the precinct. However it is considered that given the current 'complexity' of the site that only the eastern garden; the western boundary; and the buildings footprint be interpreted. These proposals are notionally based on the Graham and Bourne period of the Lodge precinct.

Policy Recommendation No. 14:
THE GRAHAM LODGE SURROUNDS

*It is recommended that these works should be oversighted by an experienced historic landscape person; that the actual works be based on the Bourne/Thurgate 1930s plan [refer **page 48, Volume 1, Conservation Analysis**] and that the interpretation former outbuilding sites within this area be carried out as part of the Interpretation plan for the precinct, refer **Section 2.6** below Graham Lodge Precinct Interpretation Plan.*



Graham Lodge: Urgent Works

Because of the current poor condition of the Graham Lodge fabric, there are a number of immediately required remedial works to ensure that no further degradation of the Lodge occurs during the period [of uncertain duration] it remains unoccupied. Some of these urgent works have been attended to and others remain to be complete, refer **Section 3.2.1** below.

Policy Recommendation No. 15:
URGENTLY REQUIRED REMEDIAL
WORKS

It is recommended that the schedule of urgently required remedial works listed within the conservation management plan be undertaken as soon as is feasible.

2.6 POLICY ISSUES ARISING FROM ADAPTIVE REUSE AND INTERPRETATIVE POLICIES

It is recommended that the Graham Lodge building serve as part of the new Nowra Interpretation Centre and Elyard Gallery. It is envisaged that the ground floor of the Lodge building would be made available for museum/display use; particularly for temporary [travelling] exhibitions to Nowra. The specific strategy proposals related to this policy [ie with respect to the building fabric] are set out at **Section 3.2.3** below.

It is envisaged that the upper floor of the Lodge building would be made available for a meeting room. This upper floor has only stair access and hence will necessarily have a less public function. This upper space would take advantage of the upper floor verandah views. The specific strategy proposals related to this policy [ie with respect to the building fabric] Prepared as part of a separate consultancy [by Three D Exhibition of Sydney] to the Shoalhaven City Council. These interpretation and adaptive reuse proposals are briefly described below.¹

External Interpretation

Externally we recommend that landscaping works consist of a simple grassed surface with inlaid building footprints making the positions of former outbuildings to the west, and about five or six interpretative panels dotted around the grounds. We recommend that the 1860 flood boat is situated in the Visitors Centre south verandah.

We also propose a large scale but low impact organic landscape artwork across the eastern Greenhills paddock which interprets previous flood

¹ Quoted text comes from Three D Exhibitions Graham Lodge Precinct Interpretative Proposals [August 80].



levels. Other interpretation in the paddock could be achieved using signage panels.

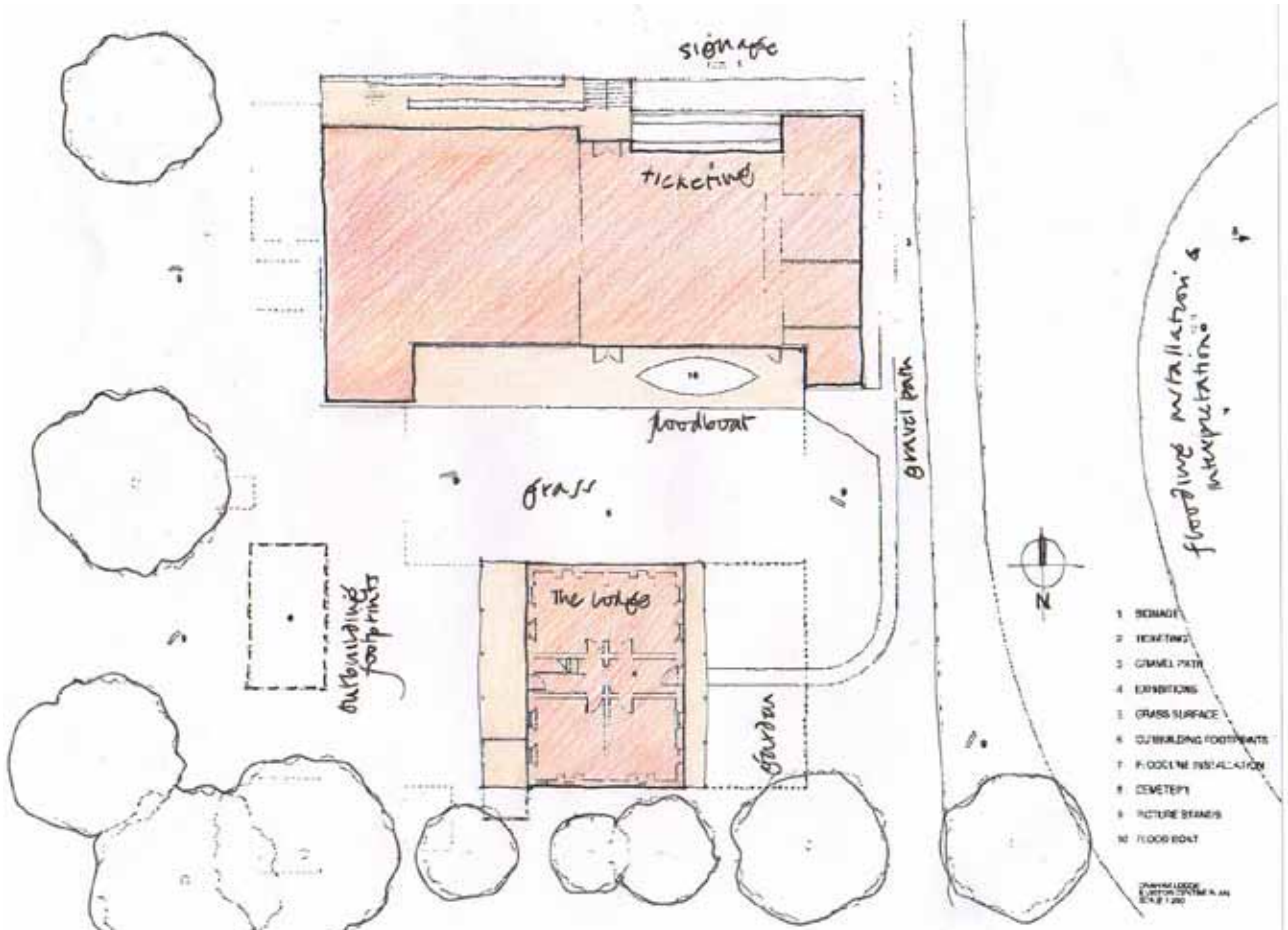
Internal Interpretation

On the ground floor in the so-called conversations room we are proposing that the room is returned to the Graham period, and that the windows are screened with blackout panels. We also propose a range of small AV monitors from the walls which may require minor penetration of the walls and ceilings.

In the so-called Portrait Gallery we are also considering hanging pictures from the walls which would also require minor penetration.

For the Elyard Gallery we propose that the space is fitted out as a contemporary gallery with suspended track lighting, sub-floor air condition or dehumidification, picture rails screwed to all walls, and glass self-closing doors at both doorways to assist with climate control.

Throughout the building we are interested in the possibility of revealing and displaying large sections of the walls – even entire walls if possible.



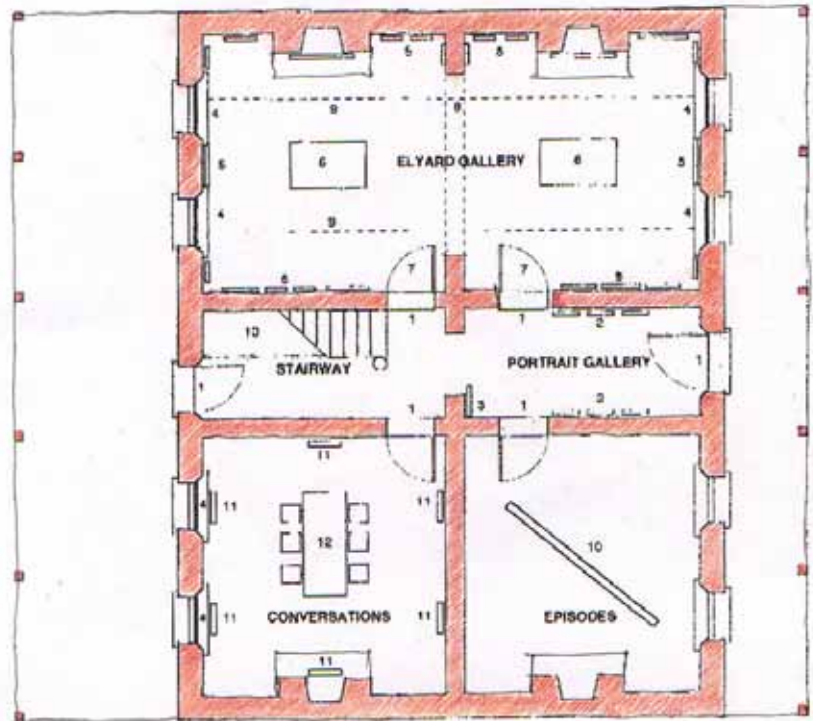


The Lodge Precinct
Interpretative proposals.
*Source : Three D Exhibitions,
PF annotation*



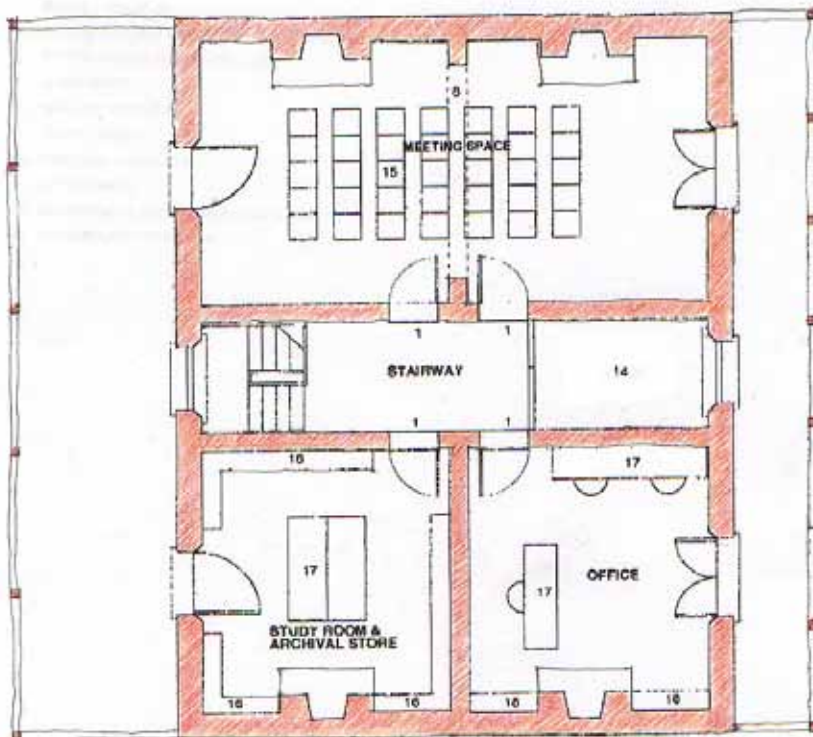
Ground Floor

1. Threshold Plaque dating various uses of Rooms
2. Portrait of key occupant
3. Interpretative signage
4. Screen windows
5. Elyard collection paintings & photographs.
6. Elyard collection showcases
7. Glass doors
8. Wall footprint
9. Track lighting
10. Episodes showcase
11. AV portraits
12. Ghost dining table showcase & stools.
13. AV hardware cupboard.



First Floor

1. Threshold Plaque dating various uses of Rooms
8. Wall footprint
- 14 Kitchenette
- 15 Seating
- 16 Object storage
- 17 Desks
- 18 Library



Policy Recommendation No. 16:
 INTERPRETATIVE & ADAPTIVE
 REUSE PROPOSALS

It is recommended that the Three D Consultancy proposals be proceeded with on the proviso that a simple recreation of the eastern 'Lodge' garden



be incorporated into the landscaping; and that the western [cadastral] boundary of Graham Lodge/Greenhills Estate be appropriately marked.

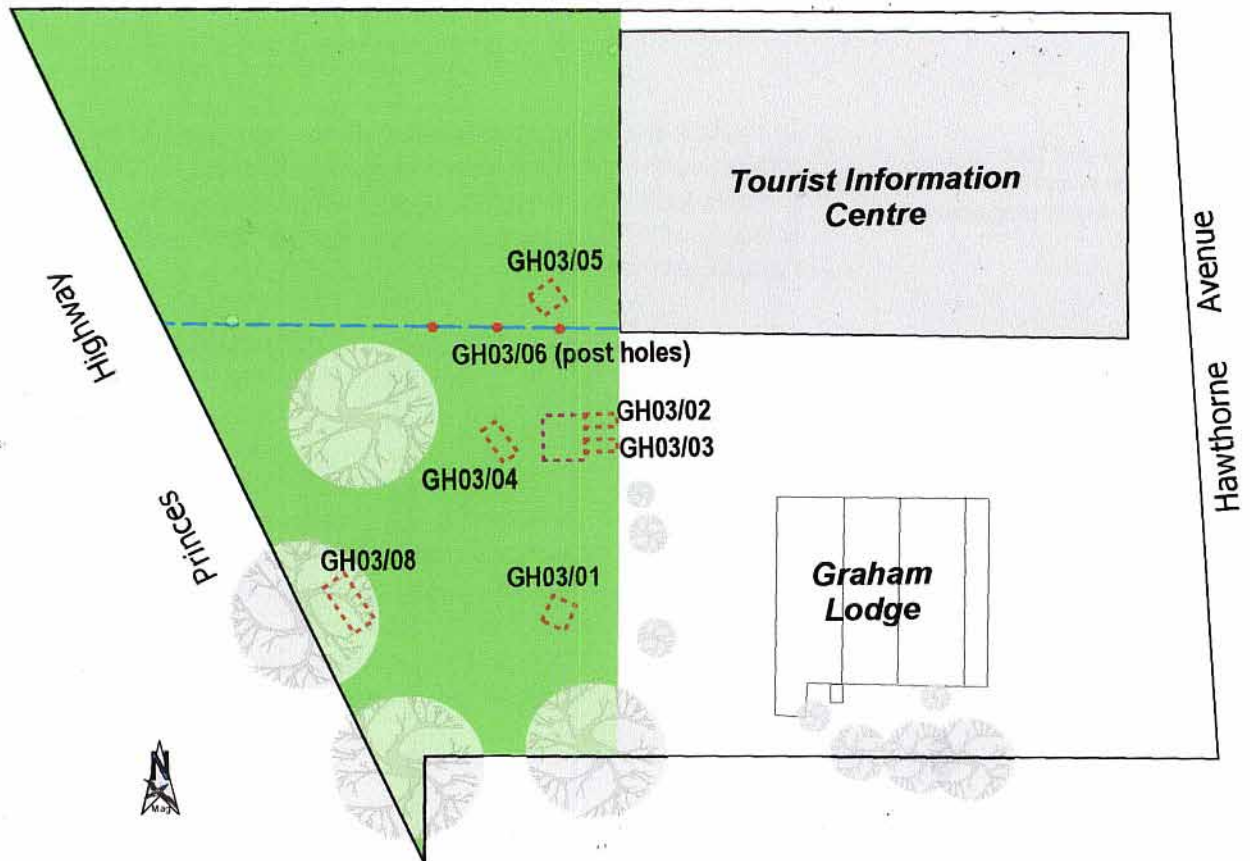


2.7 POLICY ISSUES ARISING FROM ARCHAEOLOGICAL SIGNIFICANCE

A comprehensive archaeological survey of the Graham Lodge precinct has been undertaken by Heritage Archaeology for the Shoalhaven City Council. A final Report has been presented to Council, and the final Report is now being prepared. In summary, the archaeological assessment has concluded that the **western area** of the precinct [shaded green in the site plan below] is of **high** archaeological significance, and the blank area surrounding Graham Lodge is of **slight** significance [ie very disturbed soil yielding little of archaeological interest].



Test Excavations at Gh03 (in association with demolitions)



- GH03 - Rear garden *Graham Lodge*
- Post holes for fence - monitored and sieved.
- Excavations

Archaeological Zoning Plan
 from *Archaeological Assessment
 of Greenhills, Nowra, NSW.*
 Heritage Archaeology, 2000
 [Green shading:
 high significance]
 [No shading:
 slight significance]

The archaeological assessment relates both to the site surrounding Graham Lodge and to the exterior of the Lodge itself. It is anticipated that archaeological overview of the interior will be undertaken when the next stages of the internal conservation works are carried out.

Policy Recommendation No. 17:
 ARCHAEOLOGICAL SURVEY OF
 GRAHAM LODGE

It is a policy recommendation that prior to works being undertaken on the Lodge fabric [refer Conservation Works Schedules below] that a thorough archaeological investigation of the interior of Graham Lodge be completed. The specific archaeological recommendations within the



archaeological assessment [Volume 2] are to be undertaken [in parallel with the recommendations of this Plan].

Policy Recommendation No. 18:
ARCHAEOLOGICAL MONITORING
AND INVESTIGATION

It is recommended that, prior to the commencement of works on the building, an excavation permit, under the Heritage Act of NSW, should be obtained. It is further recommended that an archaeological monitoring program should be undertaken during development and conservation works, and if relics relating to the improvement of the property prior to 1860 are located, they should preferably be conserved without further disturbance. They may require more thorough archaeological investigation if further disturbance is unavoidable. It is further recommended that sufficient time and resources should be made available for the proper excavation and recording of archaeological features discovered during the archaeological investigation of the building.

The following recommendations relating to cemetery and archival recording are considered to be appropriate for the level of significance of Graham Lodge and its associated sites.

Policy Recommendation No. 19:
ARCHIVAL RECORDING OF
HERITAGE ITEMS

It is recommended that, prior to development and/or change of use, the heritage items should be recorded to archival standard. [Guidelines for archival recording were prepared by the NSW Heritage Office in 1998].²

Note that comprehensive architectural documentation of the Graham Lodge fabric has been completed by SCC [Paul Jennings] and this documentation meets the archival recording requirements of the NSW Heritage Council.

Policy Recommendation No. 20:
CONSERVATION OF THE GRAHAM
CEMETERY

It is recommended that the private cemetery should be conserved in accordance with standard guidelines. [The National Trust published a policy paper on cemetery conservation in 1986.]³

Policy Recommendation No. 21:
ARCHAEOLOGICAL EXCAVATION

The standard conditions of the excavation permit require the work to be completed to a high standard. The investigation should include a detailed record of all features and structures discovered, using plans, photographs and written records; a catalogue of all the artefacts and other relics recovered, including accurate provenance, description and interpretation; the stabilisation, cleaning and packaging of all the artefacts, and the placement of the collection in a permanent repository; the backfilling of the excavation, where appropriate; and the preparation of a final report, including a description and interpretation of the excavation, detailed historical research, the contribution to research themes, and excavation method.

Note that the archaeological assessment prepared by Heritage Archaeology [1999-2000] meets the above requirements.

² NSW Heritage Office, 1998. *How to prepare archival records of heritage items*, Heritage Information Series, Sydney

³ National Trust of Australia [NSW], 1986. *Cemeteries*, Policy Paper



2.8 POLICY ISSUES ARISING FROM THE SCC CULTURAL PLAN

The proposed adaptive re-use of the Graham Lodge precinct [buildings and river flat] is as an Interpretation Centre for Nowra, with an associated river flat walk [which re-creates the original walk to Greenhills Village and Greenwell Point]. The centre will comprise some orientation, interpretation and museum/display elements. It is important that the functions of the Centre be integrated within the Cultural Development Strategies of the **SCC Community Plan**.⁴

The heritage elements of the Cultural Development Strategies are to retain and enhance the quality of the physical, environmental, cultural and social aspects of the Shoalhaven: ... *'to recognise heritage in its own right for its importance both culturally and economically to the community. The potential impact on local identity, education and economic tourist development needs to be identified to ensure a commitment to the preservation and conservation of significant buildings and sites ... to ensure that the region's physical environmental, social and cultural resources are maintained and developed in a quality manner so as to ensure a sustainable economic viability and integrity for the region ... to consider the preparation within the LGA of an inventory to ensure identification and preservation of both built and natural items of historical and cultural significance and sites of Aboriginal significance.'*

Policy Recommendation No. 22:
CULTURAL DEVELOPMENT AND
THE GRAHAM LODGE PRECINCT

It is recommended that the development of adaptive re-use policies and strategies for the Graham Lodge precinct be carried out in liaison, and in consultation, with the SCC Cultural Development Strategies [with respect to interpretation, orientation and museum/display functions within the precinct].

2.9 POLICY ISSUES ARISING FROM COMMUNITY CONSULTATION

Because of the widespread community interest in the Graham Lodge project; the Shoalhaven City Council has sought community responses on the draft Conservation Management Plan. A community group with a **specific** interest in the Graham Lodge project has also been formed. This group is known as the **Friends of Graham Lodge**. Their submission was the only one received by the Council. The 'Friends' submission related specifically to the retention of the western verandah; the proposed landscape plan for the precinct; and the need for comparative evaluation of the Graham Lodge management proposals with

⁴ SCC Shoalhaven Community Plan, 1998.



other cultural sites [eg. Bundanon]. The full *Friends of Graham Lodge* responses appended, refer **Appendix 4** below.

The comments made by the Friends have been considered in this Plan. Generally speaking, the following responses are made;

- The **western verandah** is an integral element of the Bourne occupancy and demonstrates the changed orientation of the Lodge to Bridge Road and the Shoalhaven River Bridge accordingly it is to be retained albeit in a simplified form [i.e. without the fibro panelling].
- The **front [eastern] garden** will consist simply of a central garden path [in gravel]; a surrounding fence and entrance gate [a facsimile of the original]; and two camellias. It is 'recommended that the rear [western] garden not be created; and that the western area consist only of grassed area with building 'footprints'.
- The existing **cyclone fence** to the eastern frontage will be removed; and it is recommended that the physical heritage of the Lodge with the Graham Family cemetery be actively pursued by Council.

Policy Recommendation No. 23:
COMMUNITY CONSULTATION

It is recommended that the Friends of Graham Lodge be formally invited to join the Graham Lodge Advisory Committee and that the committee seek advice from the Bundanoon Trust and the Historic Houses Trust of NSW with respect to the operation of the Lodge Precinct as an interpretative and gallery centre.

2.10 ADOPTION AND REVIEW OF POLICIES

Policy Recommendation No. 24:
ADOPTION AND REVIEW OF
POLICIES

It is recommended that this reviewed conservation management plan be formally adopted by the Shoalhaven City Council; and that a review of conservation analysis and the conservation policies be undertaken at an appropriate time in the future, for example, following the first stages of remediation and conservation works to the building.

2.11 A HISTORY OF THE GRAHAM LODGE AND GREENHILLS PRECINCT

During the compilation of this conservation management plan, additional research was undertaken into the history of the Graham Lodge Precinct [refer Historical Overview, Section 2, Conservation Analysis, Volume 1]. This historical overview was informed by many sources, eg *A Village Jaunt : From Greenhills to Greenwell Point* by Robyn Florance, and background research completed by Ian Jack and Roger Hobbs as a component of the *Shoalhaven Heritage Study*.

Another important area of historical research was in the area of contemporary artistic depiction of Greenhills/Graham Lodge and



its surrounds, particularly by the artist Samuel Elyard. Three **separate** Elyard paintings of Greenhills [as it was then known] have been located in the course of this work. In addition, searches within the NSW Land Titles Office have located a substantial amount of information related to the early [settlement] history of the area.

Given the wealth of historical research already undertaken, and the potential interpretative importance of a recreated Graham lodge precinct, the following recommendation is made.

Policy Recommendation No. 25:
A HISTORY OF THE GRAHAM
LODGE PRECINCT

It is recommended that a history of Graham Lodge and the Greenhills precinct be prepared and published; and that the published history be an aid in the interpretation and display of the adaptively re-used Graham Lodge precinct. It is further recommended that funding application be submitted by the Shoalhaven City Council for this project.



Appendix 2
Conservation/Development
Guideline Drawings

3.1 THE DEVELOPMENT CONTROL DRAWINGS

The following section deals with one strategy and implementation requirements for the policies arrived at [refer **Section 2.0**]. these strategies are put forward in both text and diagrammatic form. There are four Development Control diagrams [refer **Appendix 2**] as follows:

- Drawing No. 1 • Site Plan as Existing**
This plan shows the precinct cadastral boundaries, and the location of Graham Lodge and the former NBLC buildings.
- Drawing No. 2 • Opportunities & Constraints Plan**
This plan [prepared over an aerial photograph base] shows the existing opportunities and constraints of the Graham Lodge precinct.
- Drawing No. 3 • Context & Interpretation Plan**
This plan shows the current context plan of the Graham Lodge precinct, in relation to the River flats and to the City of Nowra. It also shows the proposed interpretative walk across the River flat.
- Drawing No. 4 • Proposed Graham Lodge Plan**
This plan shows the major elements of the adaptive re-use proposal for the precinct.
- Drawing No. 5 • Proposed Landscape Plan**
This plan shows the major landscape elements of the adaptive re-use proposal for the precinct.

These drawings are placed at **Appendix 2** to this volume.

3.2 A STAGED WORKS SCHEDULE FOR GRAHAM LODGE

The Brief for this conservation management plan requires that the consultant

'... include a practical maintenance strategy and set guidelines for appropriate usage and care of the items in accordance with the conservation policy...'

This Plan proposes the radical 'reconstruction' of the existing Graham Lodge/former Nowra and Bomaderry Leagues Club complex. The Plan proposes that the Lodge, with a co-located Visitor Centre building, be conserved⁵ [*reconstructed, restored, preserved*], and be adaptively re-used for interpretative/gallery uses.

In view of the radical reconstruction works required to Graham Lodge and its remnant landscape, it is considered that a **staged**

⁵ Australia ICOMOS Burra Charter. The italicised actions are subsets of the general descriptions of 'conservation'.



works schedule [rather than a maintenance schedule] would more appropriately form part of the conservation/development strategies for the Lodge precinct.

As this document is a **review** of the 1998 **Conservation Management Plan**, the original [1998] staged works schedule has also been reviewed with reference to subsequent [1998 to 2000] actions, including the demolition of the Prague Lodge fabric, the adaptive re-use of the former Club building as the Nowra Visitor Centre, and the restoration/reconstruction works to the Graham Lodge roof.

The **reviewed** schedule of staged conservation/ development works would be as follows:

3.2.1 STAGE 1 :

URGENTLY REQUIRED REMEDIAL WORKS:

GRAHAM LODGE BUILDING

[Refer Schedule of Urgently Required Remedial Works in the 1998 Plan]

These works have basically been completed; however some [1998 scheduled works] remain to be completed as follows:

EXTERNAL

- Remove spiral staircase access and temporary balustrade construction COMPLETE
- Reconstruct slate roof and associated rainwater goods COMPLETE
- Provide temporary sub-floor ventilation COMPLETE

INTERNAL

- Remove safe from entrance lobby and provide temporary solid core door to door entrance COMPLETE
- Ground floor rooms generally: remove floor finishes, carpet, etc NOT YET COMPLETE
- Construct temporary infill panels to northern wall openings COMPLETE
- Remove all furniture and modern Club fittings from Ground Floor rooms NOT YET COMPLETE
- First Floor rooms generally: remove floor finishes, carpets, etc NOT YET COMPLETE
- Remove all furniture and modern Club fittings from First Floor rooms NOT YET COMPLETE
- First Floor, north room: demolish affected flooring and reinstate fabric NOT YET COMPLETE



- Demolish and remove water damaged ceiling to north room NOT YET COMPLETE

3.2.2 STAGE 2 :
REMOVAL OF OUTBUILDINGS TO GRAHAM LODGE [SOUTH]

It was recommended [1998] that the store/toilet/spiral stair laundry outbuildings be removed, and the remnant Graham Lodge fabric be remediated. Note that the laundry has direct connections with the Bourne family; however, in the context of the adaptive re-use proposals, it was deemed inappropriate that the laundry be retained. THIS STAGE PARTIALLY COMPLETE

3.2.3 STAGE 3 :
REMEDICATION/REMOVAL OF INTRUSIVE GRAHAM LODGE FABRIC⁶

This work will be carried out in parallel with the archaeological investigations [refer **Section 2.7** above]. These proposed [current] works are set out below.

Graham Lodge architectural
documentation
SCC/Paul Jennings
Appendix 1

The comprehensive **recording** of the Graham Lodge building [to NSW Heritage Council Archive Recording standards] has been completed by SCC [Paul Jennings], refer **Appendix 1** below. The **Stage 3 works** will involve the following tasks: the thorough archaeological survey of the Graham Lodge fabric [see **Section 2.7** above]; and the removal/remediation of Graham Lodge fabric. These two tasks should be undertaken in conjunction, ie the 'opening up' of the fabric for remediation purposes will also allow the archaeological access to undertake survey and assessment work.

Eastern Elevation & Verandah

Return this elevation to its c.1930 form [refer c.1900 photographs, p. 34 Volume 1, Historical Overview, and the Jennings documentation]. It is proposed that the two storey verandah be restored to its original form and detail; and all joinery, plaster, sandstone verandah, slating etc be conserved [*restored, reconstructed, preserved, etc*]. This policy will require the reconstruction of the entrance door; and the north-east windows to the ground floor parlour.

⁶ Note that the description of rooms is as per the SCC [Jennings] Base Plans, refer **Appendix 1** below: Jennings documentation. Note also that the italicised works listed are 'removal works' only and ideally should be undertaken in conjunction with the conservation works for Graham Lodge.



No further removals at this stage; however sub-floor ventilators to be replaced with traditional wall openings once conservation works commence.

Northern Elevation

The north elevation was [historically] blank, without any windows to relieve it [refer Elyard c.1871 painting, front cover Volume 2, and Jennings documentation]. It is proposed that this elevation be returned to its late 19th century [and c.1930] form, ie with all modern openings infilled; and the exterior plastered and painted.

Western Elevation & Verandah

This verandah was constructed by the Bournes to accommodate the new 'public' face of Graham Lodge, ie from the west and Bridge Road [rather than from the south and east]. It is proposed that the verandah be conserved [*reconstructed, restored, preserved*]; and that this work will include the removal of the extant fibro panelling. It is also proposed that the Bourne 'laundry' structure be removed; and that the modern concrete paving at ground floor be retained and restored. It is further recommended that the former central door be retrieved [by demolishing brick infill] and restored; and that the two north-west parlour room windows be reconstructed. [Refer Bourne period photographs and plan, c.1930, pages 49 and 50, Volume 1 and Jennings documentation.]

Remove flanking brick wall [to north of western verandah] and reconstruct verandah corner post [to match existing]. Remove Bourne laundry and lean-to. Note that these rooms will be interpreted in other ways. Note also that the south-west corner post should be located as part of this removal. Remove Bourne south-west door and return to its original window configuration.

Southern Elevation

This elevation, as with its northern counterpart, was essentially a blank façade without windows. The Bournes inserted a window to the south-west corner when the configuration of the kitchen was modified [refer Jennings documentation]. This window should be removed and the wall made good.

It is recommended that the existing modern fitments and equipment to this wall be removed; and that the wall be remediated, ie restored and painted. Retain [Bourne] south-west window. Remove trees immediately adjacent building, but retain the elm tree and Kentia palm.

The Ground Floor Generally



It is recommended that the ground floor be basically retained in its current configuration, ie with three discrete spaces and a central hallway/passage. This policy will entail the removal of all NBLC and Prague Lodge fittings, the reconstruction of some of the original internal walls, and the conservation [*reconstruction, restoration, etc*] of all door/window openings and joinery. Refer also original [1860s] plan and Bourne plans, pages 29, 30 and 40, Volume 1, and the Jennings documentation. The c.1930 plan shows the hall doorways placed opposite. Remediate floor, wall and ceiling finishes generally.

The Entrance Hall & Stair
[Former Staff Locker Room]

Return space to its c.1930 conformation. It is recommended that the central arch be reopened; and that the 'rear' door entrance be reconstructed. The entrance door to the four discrete rooms will also be placed opposite each other. Remediate all floor, wall and ceiling finishes.

Remove staff locker room fittings, taking care not to damage the masonry walls.



The South-East Room

[Former Store Room]

Return space to its c.1930 conformation.

It is recommended that the 'southern' concrete plinth be removed; that the fireplace be reopened; and that the modern exposed conduits and fittings be removed. Relocate meter box from the north-east corner if feasible, and make good to all joinery. Replace door to entrance hall with 'historic' door, and block up central door opening to north/south wall. Remediate all floor, wall and ceiling finishes. Remove all loose furniture and fitments, carefully remove panelling from chimney and southern wall, and carefully remove concrete plinth and hearth to southern wall. Note that the existing hearth may still be extant.

The South-West Room

[Former Kitchen]

This was the Bourne and Prague Lodge kitchen. It is recommended that the Bourne south-east window be retained and the Bourne 'kitchen' door be removed and the opening returned to its window configuration; and that the 'modern' door opening to the entrance hall/stair be relocated to its original position.

Remove the south-eastern corner plinth and the concrete floor slab generally. Carefully remove the laminated dado panels generally. Remove kitchen fitments.

The Northern Room

[Former Club Lounge]

This room was originally the two 'northern' rooms of Graham Lodge. Because this room was the 'interface' between the Lodge and the modern Prague Lodge and NBLC developments, it has suffered the most radical damage. It is recommended that the configuration of the two spaces be retained, but that the dividing wall not be reinstated and that 'nib' walls mark the alignment of the original dividing wall. It is further recommended that the windows to the eastern and western elevations be reinstated; and the original door openings to the entrance hall/passageway be reconstructed. Remediate all floor, wall and ceiling finishes.

Remove all loose furniture. Carefully remove the suspended ceiling panels, and the suspended ceiling substructure, taking care not to damage the fibrous plaster ceilings. Carefully remove the laminated panelling to all walls, and make good to opening between the rooms.

The First Floor Generally



It is recommended that the first floor be returned to its c.1930 configuration **but** that the north/south dividing wall to the northern rooms **not be** reconstructed. This policy will entail the removal of all NBLC and Prague Lodge fittings, and the conservation [*reconstruction, restoration, etc*] of all door/ window openings and joinery. Refer also original [1860s] plan and Bourne plans, pages 29, 30 and 40, Volume 1 and Jennings documentation. Remediate all floor, wall and ceiling finishes generally. Note that this remediation **may** require the removal of the modern 'second' floor to the first floor spaces.

The Hall/Stair/Bathroom

[Former Prague Lodge and Bourne Bathroom]

The Thurgate plan [c.1920, refer page 49 Volume 1] indicates the bathroom placed within this space. The Bourne bathroom has been removed; and a modern timber partition [from the Prague Lodge period] remains. It is recommended that the remnants of the bathroom [screen, services, etc] be retained and interpreted; and that the east and west windows to this space be conserved [*reconstructed, restored, etc*].

*Remove all loose furniture. Carefully store **all** remnants of original south-east room wardrobe, which is currently stored in this room.*

The South-East Room

[Prague Lodge Function Room]

This room is in comparatively good condition. It is recommended that the French doors to the east elevation be restored; that the fireplace be opened; and that the modern services be removed. Remediate the floor, wall and ceiling finishes generally.

No further removals at this stage.

The South-West Room

[Prague Lodge Function Room]

This room is in comparatively good condition. It is recommended that the Bourne [western] door [which replaced the original window] and western verandah be retained and restored; that the fireplace be opened [Thurgate shows this as open verandah, refer page 49, Volume 1, and Jennings document].

No further removals at this stage. Modern door to western verandah to be retained.

The Western Verandah



The verandah is in poor condition and will require an extensive amount of reconstruction.

Carefully remove the Bourne sleepout, ie partition walls and western glazing. Note that this former room will be interpreted by other means.

The Northern Room

[Prague Lodge Restaurant]

This room was originally the two 'northern' rooms of Graham Lodge. Because this room was the 'interface' between the Lodge and the modern Prague Lodge and NBLC developments, it has suffered the most radical damage. It is recommended that the **configuration** of the two spaces be shown [by undertaking a similar approach to the Ground Floor Northern Room]; and that the interior fabric be conserved to its c.1930 form. The dividing walls would not be reinstated, and 'nib' walls would mark the alignment of the original wall.

It is recommended that the timber veneer to the north wall be removed and that the wall finish be remediated. Remove modern services and fittings. Remediate all floor, wall and ceiling finishes. Make good to the opening between the two rooms.

3.2.4 STAGE 4 :

RECONSTRUCTION OF GRAHAM LODGE 'EXTERNAL' FABRIC
[INCLUDING STABILISING, SECURING AND DAMP PROOFING]

Following completion of the remediation/removals, the next stage of remedial works should be undertaken. This work will include the reconstruction of the northern, and eastern walls to their c.1930 configuration, the reinstatement of the verandahs [including verandah forms] to their c.1930 configuration, and provision of drainage [stormwater and sewerage] to ensure proper dispersal.

The scope of work will be as follows:

- The reconstruction of the **eastern cast iron and timber verandah** structure. This work will include the sourcing and replication of missing verandah columns and ornament, the reconstruction of the timber upper verandah floor and roof, and the reconstruction and reinstatement of the sandstone flagging to the verandah. Note that the temporary ventilator will be removed, and permanent sub-floor vents cleaned and made operable. The verandah sandstone flagging will be reinstated, and the sandstone sill [accidentally cut at Stage 1] will be reused.
- The reconstruction of the **western timber verandah** structure. This work will include the removal of the remnant Prague



Lodge brick wall, the reconstruction [as required] of the timber verandah structure, and the retention and restoration of the concrete verandah paving, following archaeological investigation.

- The reinstatement of the original window and door openings to the Lodge, ie to the east and west elevations. Note that documentation for this work has already been completed. Note also that items of archaeological/historical interest, eg the 'incised brick' to be protected and conserved.

3.2.5 STAGE 5 : INTERNAL RESTORATION AND RECONSTRUCTION WORKS

Following completion of Stage 3 works, the conservation of the internal finishes can be undertaken. The interior would be informed by its c.1930 configuration, and all damaged internal fabric [floors, walls, ceilings, joinery, etc] would be remediated. This stage would also include the provision of electrical and water supply, and other services necessary for the adaptive re-use of Graham Lodge. It is **not** expected that mechanical ventilation or air conditioning will be introduced into the building.

3.2.6 STAGE 6 : ADAPTIVE REUSE AND INTERPRETATION WORKS

This stage would be undertaken once the adaptive reuse policy for the building has been agreed by Shoalhaven City Council and the NSW Heritage Council. The works would include provision for interpretative and exhibition display as required. Note that an Interpretation Plan and installation is currently being prepared for the Graham Lodge. This work is separately funded, but is being developed in parallel with the conservation works.⁷

3.2.7 STAGE 7 : ONGOING MAINTENANCE REQUIREMENTS

Following completion of the above works, an ongoing maintenance regime would need to be agreed and undertaken. Reference should be made to the NSW Heritage Office *Heritage Maintenance Manual* [1998] for guidance on this matter.

3.3 REVIEW OF THIS CONSERVATION MANAGEMENT PLAN

⁷ Graham Lodge Interpretation Project, Peter Tonkin & Associates, for the Shoalhaven City Council



It is an Article of the Australia ICOMOS Burra Charter⁸ that there should be an agreed period for the review and reassessment [as appropriate] of any conservation management plan. This document is a **review** of the 1998 Conservation Management Plan, and it is appropriate that a further review be completed at the end of the conservation/adaptive re-use works.



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • VOLUME 3

APPENDIX 1

**SCC ARCHIVAL DOCUMENTATION AND CONSERVATION WORK
DOCUMENTATION FOR GRAHAM LODGE
[PAUL JENNINGS]**



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • VOLUME 3

APPENDIX 2

**DEVELOPMENT CONTROL DRAWINGS FOR GRAHAM LODGE,
GREENHILLS
[PETER FREEMAN PTY LTD]**



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • VOLUME 3

APPENDIX 3

**'REVIEW OF ENVIRONMENTAL EFFECTS' AND 'STATEMENT OF
HERITAGE IMPACT' [HERITAGE ARCHAEOLOGY, TO
ACCOMPANY SCC DEVELOPMENT APPLICATION]**



GRAHAM LODGE PRECINCT • NOWRA
CONSERVATION MANAGEMENT PLAN • VOLUME 3

APPENDIX 3

**FRIENDS OF GRAHAM LODGE
RESPONSE TO DRAFT GRAHAM LODGE
CONSERVATION MANAGEMENT PLAN**

**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998/1999**

Conservation Architects & Planners

**PROPOSED CONSERVATION/
DEVELOPMENT
DRAWING NO. 3
CONTEXT & INTERPRETATION PLAN**

Graham Lodge sits forlornly south of the Shoalhaven River Bridge. It is bypassed by traffic, and is hemmed in by roads and its near neighbour, the former Nowra Bomaderry Leagues Club. It is proposed to conserve the Graham Lodge building and interpret the Graham Lodge precinct and the adjacent River flats.

In contextual terms it is proposed that the Lodge be 'reunited' with the River flat area [which is the *raison d'être* for the existence of the Graham Lodge building].

The interpretation sites, clockwise from Graham Lodge, are as follows:

- Interpretation point to describe Graham Lodge [eastern front] and the Graham Family Cemetery.
- Interpretation point within 'Hay Shed' structure, to describe the beginnings of the town/city of Nowra. A hayshed once stood at this location [refer Elyard 1871 painting].
- Interpretation point to describe the walk to Greenhills Village from Greenhills/Graham Lodge.
- Interpretation point to describe the villages of the Shoalhaven River and the buildings of Ferry Lane.
- Interpretation point at the pedestrian underpass to describe the river flats in history, and prepare the walker for the 'western' gardens.



**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998/1999**

**PROPOSED CONSERVATION/
DEVELOPMENT
DRAWING NO. 1
SITE PLAN AS EXISTING
SCALE 1 : 500**

The main 'Graham Lodge' site is composed of four land allotments and a right-of-way which extends across Hawthorn Avenue to the cemetery to the east. The four allotments are DP 259873 [two parts], DP 560842 and DP 208425. Within the 'northern allotments' is the former NBLC carpark[s]; and the former Graham Lodge and NBLC buildings are located in the south-eastern allotment. There is a scattering of mature trees throughout the precinct. These trees range in date from the late 19th century to more recent [NBLC and SCC] plantings.



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**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998/1999**

**PROPOSED CONSERVATION/
DEVELOPMENT
DRAWING NO. 4
THE GRAHAM LODGE PRECINCT
PROPOSED PRECINCT PLAN
SCALE 1:400**

The proposed development is located so that a clear view of Graham Lodge is available from the Bridge approaches and from the west. The former 'historical' boundary of the Graham Lodge property is marked by either bollards or a low wall which also define the landscaped 'entrance' courtyard to the new Graham Lodge Visitor and Interpretation Centre. A ramped pedestrian approach provides access from the reconfigured car park to the new landscaped entry courtyard.

The new building accommodates the Visitor and Interpretation Centre for Nowra/Shoalhaven City and toilet/rest rooms. The new building has a similar architectural grammar to Graham Lodge, ie a double gable roof profile of similar plan dimensions. To the eastern and western elevations a pergola/verandah would moderate between the building itself and its immediate context. The new building is deliberately low in scale; and is placed to allow clear sight lines to Graham Lodge from the Bridge gateways.

Around the Lodge itself are a number of reconstructed 'historical elements'. To the east of the Lodge is a reconstructed Lodge cottage garden with mature camellia trees planted symmetrically. The axis of the Lodge and this garden defines the walk across the River Flats to the Graham Cemetery, the Interpretation 'shed' and the 'Greenhills Village' site. To the west the former historical boundary is marked by bollards or deciduous trees.



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**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998/1999**

**PROPOSED CONSERVATION/
DEVELOPMENT
DRAWING NO. 2
THE GRAHAM LODGE PRECINCT
EXISTING SITE CONSTRAINTS &
OPPORTUNITIES**

The existing context of Graham Lodge is confused and it is difficult for the visitor to comprehend the original 'northern' gateway to Nowra; and to see the Lodge itself. To the west the Princes Highway bypass has 'dislocated' the Lodge from its urban context; however the 20th century western front, with its verandah, can still be seen from Bridge Road. To the south the existing residential development obscures the 'historical' view of the Lodge from Nowra itself; and to the north, the former Club and the complex traffic circulation [from the Highway into Bridge Road the Pleasant Way] precludes an easy view of the Lodge. Only the eastern aspect remains intact.

The opportunity exists for the Lodge to be seen from the Nowra Bridge 'gateway'; ie by the removal of the Club buildings, the enhancement of the view from the Bridge, and the co-location of a new Visitor and Interpretation Centre adjacent the Lodge itself. The opportunity also exists for the linking of the Graham Lodge precinct to the SCC Administrative Centre and proposed new Cultural Centre.



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**GRAHAM LODGE PRECINCT
CONSERVATION MANAGEMENT PLAN
1998/1999**

**PROPOSED CONSERVATION/
DEVELOPMENT
DRAWING NO. 5
CONSERVATION/ADAPTIVE RE-USE
WORKS
SCALES 1 : 100 AND 1 : 200**

This drawing shows the existing ground and first floor plans of Graham Lodge [1:200 scale]; and the proposed ground and first floor plans following recommended conservation works. For a detailed 'space by space' description of the proposed conservation works, refer Section 3.2, Volume 3, pp. 16 to 20.

Generally, it is proposed that the c.1930 conformation of the Lodge exterior and interior be reconstructed. This work will involve a number of different conservation works entailing *reconstruction, restoration and preservation*, and eventually, adaptive re-use. It is proposed that the northern rooms to both ground and first floors be retained in their present conformation [ie the two original rooms subsumed into one space]; but that the openings to the wall be modified by provision of brick 'nibs' at the wall alignment.



PETER FREEMAN PTY LTD
Conservation Architects & Planners

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1st June, 2000

Statement of Heritage Impact

This *Statement of Heritage Impact* refers to the property, *Graham Lodge*, Nowra, New South Wales.

Location:

Lot 1 DP 101 0062
Pleasant Way, Nowra, New South Wales.

Development Proposal :

Restoration of the heritage significant Georgian / Victorian building, *Graham Lodge*. The proposal is considered to be of heritage, educational and historical value. Part of the proposal is to provide in annexure to the Nowra Visitors Centre, a cultural display of the history of the Shoalhaven area. The building may be used to display art works associated with the history and heritage of the Shoalhaven.

Brief Historical Overview

Graham Lodge is located on the original c.1827 land grant known as *Greenhills*. It was the residence constructed for James Graham in 1860, and was continually used as a residence until converted in c.1967 to the reception facility, Prague Lodge. In 1971 the building became an integral part of the Nowra Bomaderry Leagues Club.

Incorporation of *Graham Lodge* with the Nowra Bomaderry Leagues Club diminished the heritage significance of the original building and destroyed much of the archaeological integrity of the curtilage. This was later recognised, and Shoalhaven City Council purchased the property to restore the building as a Council / Community asset.

The Nowra Visitors Centre was constructed in 1999 by significant alterations to the former Nowra Bomaderry Leagues Club and demolition of part of the structure to provide *Graham Lodge* with its own identity.

Demolition of Buildings on Lot 1 DP 101 0062

Shoalhaven City Council undertook the demolition of disused sections of the Nowra Bomaderry Leagues Club, external sheds, disused club facilities eg. umbrella stands, barbeques etc during September and December 1999.

This demolition was supervised by Heritage Archaeology. The demolition process and removal of the building material was monitored by archaeologists on site to ensure that destruction of the archaeological integrity of *Graham Lodge*, and potential archaeological sites within the curtilage, was kept to an absolute minimum.

It is considered that all due care and attention was taken during this process. An archaeological assessment and subsequent archaeological test excavations were conducted following the demolition.

Statement of Heritage Significance

A Statement of Heritage Significance for *Graham Lodge* is provided in the *Graham Lodge Precinct Nowra Conservation Management Plan* [April 2000 Review] prepared by Peter Freeman Pty. Ltd.

Heritage Archaeology, Canberra, ACT, has documented in *A Report to the Heritage Council of New South Wales on Test Excavations at Greenhills, Nowra, NSW* [May 2000] evidence which identifies *Graham Lodge* and *Greenhills* with both the Aboriginal - European contact period and further establishes the property's 19th century history and associations. The archaeological findings support that:

Graham Lodge within the precinct of Greenhills, is of Regional and State Heritage Significance.

An application by Shoalhaven City Council to the Heritage Council of New South Wales for the listing of this property on the State Heritage Register is recommended.

Evidence to support such an application is provided in full in the report *A Report to the Heritage Council of New South Wales on Test Excavations at Greenhills, Nowra, NSW* [Heritage Archaeology, Canberra. May 2000]

Considerations of Heritage Impact Implications

Consideration has been given to the following:

- recommendations according to a revised Conservation Management Plan prepared by Peter Freeman Pty. Ltd. Canberra, April 2000. The CONSERVATION MANAGEMENT PLAN proposes restoration and

reconstruction of the existing *Graham Lodge*. The Plan also proposes that *Graham Lodge* be adaptively re-used for historical interpretative /gallery uses;

- findings of the archaeological assessment and subsequent test excavations conducted by Heritage Archaeology, Canberra, ACT, and presented in a report to the Heritage Council of New South Wales, May 2000.
- that the development proposal should meet the heritage requirements in respect to the *Heritage Act (NSW) 1977* and subsequent amendments;
- that the development proposal for *Graham Lodge* should not impact upon the extended curtilage of *Greenhills*;
- that the development proposal should facilitate an aesthetic and environmentally positive setting;

Aspects of the Development Application that enhance the Heritage Significance of *Graham Lodge*:

LANDSCAPE / GARDENS

- Two camphor-laurels and one hakea are scheduled for removal; These trees are located on the southern extremity of Lot 1. They are in close proximity to the building, and are the cause of damage to pathways, and possibly the building foundations on the southern elevation.

Considerations:

The *Initial Archaeological Assessment* [Heritage Archaeology, September 1999] calls for the removal of these trees. It is not considered that they are associated in any way with either the Graham or the Bourne periods of occupation. These trees have no heritage significance, and their removal will aid the reconstruction / restoration of the building.

- Ivy to be removed from *Jacaranda mimisofolia*;

Considerations:

This *Jacaranda mimisofolia* requires the removal of ivy, to assist its stabilisation and regrowth. This tree is of heritage significance as part of the remnant [late Graham - early Bourne] garden. It requires protection.

EXTERNAL FABRIC

General

- reconstruction of the eastern cast iron and timber verandah structure;
- sourcing and replication of missing cast iron columns and ornament;
- reinstatement of the sandstone flagging to lower verandah [eastern elevation]
- removal of all temporary ventilators ;
- permanent sub-floor vents cleaned and made operable;
- the sandstone sill [cut at Stage 1] reused;
- reconstruction of the western elevation upper verandah floor and roof;
- sandstone flagging applied to the lower verandah [western elevation];

Alternative sympathetic solutions considered and discarded, with reasons.

The Conservation Management Plan calls for the construction of a timber verandah to the lower floor [western elevation]. This is considered inappropriate from a heritage perspective. At no time is there any evidence to suggest that a timber verandah was constructed on the lower floor. Archaeological evidence indicates that there was an ash / pitch floor pre 1930s, and this was later covered with cement slab. Sandstone flagging is considered appropriate and unobtrusive flooring for this area.

Eastern Elevation & Verandah

- the two-storey eastern verandah be restored to the period identified in the archaeological report as being the James Graham (I);
- all joinery, plaster, slating etc be conserved [*restored, reconstructed, preserved, etc*];
- reconstruction of the entrance door, fanlight and name and the north-east windows to the ground floor parlour;
- removal of the temporary sub-floor ventilators to be replaced with traditional wall ventilation;

Alternative sympathetic solutions considered and discarded, with reasons.

Archaeological evidence has revealed that *Graham Lodge* in its 'Victorian decorative cast iron' style was a feature of the 1870s - a refurbishment of the original 1860s building. It would not be appropriate for these cast iron embellishments to be removed. Therefore, any references in the Conservation Management Plan relating to the style of the structure that read 'restore to 1860' and include references to the decorative cast iron features, should be understood as '1870s'.

Northern Elevation

The northern elevation was blank, without windows [refer Elyard c.1869 painting]. This elevation to be returned to its c.1860s form.

- all modern openings in filled;
- preservation and protection for the dedication brick detailed in the archaeological report;
- the exterior plastered and painted according the archaeological report;

Western Elevation & Verandah

An upper floor verandah was constructed during the *Bourne* period 1930s, to accommodate the alternative 'front' and public presence of *Graham Lodge*, i.e. facing west and Bridge Road:

- upper verandah to be reconstructed in timber in its simplest form, without fibro infill and extensions;
- sandstone paving to be applied to the [western] lower verandah;
- the former central door be retrieved [by demolishing brick infill] and restored;
- the two north-west parlour room windows to be reconstructed;
- remove flanking brick wall [to north of western lower verandah];
- reconstruct verandah corner post;
- reinstallation of the window;

Alternative sympathetic solutions that were considered and discarded, with reasons.

The conservation management plan calls for the **retention of the Bourne 'Kitchen Door'**. This is considered inappropriate, given that the other Bourne extensions are to be removed.

Reinstallation of the window is necessary to maintain the original configuration of the *Graham Lodge* residence.

Southern Elevation

This elevation was essentially a blank façade without windows. During the Bourne period 1930s a window was inserted to the south-west corner when the conformation of the kitchen was modified.

- existing modern fitments and equipment to this wall be removed;
- the wall be restored and painted;
- closure of the window aperture and restoration of the brick and plaster;

Alternative sympathetic solutions that were considered and discarded, with reasons.

Retention of the Bourne laundry and lean-to was considered. Although the laundry has direct connections with the Bourne family, in the context of the adaptive re-use proposals, it was deemed inappropriate that the laundry be retained. These rooms are to be interpreted in other ways.

The Conservation Management Plan calls for **the retention of the Bourne kitchen window** on the Southern Elevation. This is considered inappropriate, as it effects the configuration of the original *Graham Lodge*.

INTERNAL FABRIC

Ground Floor - General

The ground floor is to be restored to four discrete rooms and a central hallway/passage, i.e.. hall doorways placed opposite.

- removal of all NBLC and Prague Lodge fitments;
- the conservation [*reconstruction, restoration, etc*] of all door/window openings and joinery;
- remediate floor, wall and ceiling finishes;

Entrance Hall & Stair

- central arch be reopened;
- door entrance be reconstructed;
- remediate all floor, wall and ceiling finishes;

- east and west windows to this space be conserved [*reconstructed, restored, etc*].
- remove meter box from the north-east corner;

It is appreciated that the electricity meter box is an essential requirement. Consideration should be given to its removal, if possible, from inside the building. If the box is to remain as an internal fixture, then it should be encased within a suitably designed feature.

- bathroom fittings **be removed**;

The Conservation Management Plan makes recommendations that the remnants of the bathroom [screen, services, etc] be **retained and interpreted**; Thurgate plan [c.1920, refer page 49 Volume 1 Conservation Management Plan] indicates the bathroom placed within this space. The Bourne bathroom **has been removed**; and a modern timber partition [from the Prague Lodge period] remains.

It is considered that these features **should be removed**, to assist in the internal historical presentation of the building's fabric.

Alternative sympathetic solutions considered.

South-East Room

- the 'southern' concrete plinth be removed;
- the fireplace be reopened;
- modern exposed conduits and fittings be removed;
- remove meter box from the north-east corner;
- replace door to entrance hall with door in the original configuration;
- block up central door opening to north/south wall;
- remediate all floor, wall and ceiling finishes;
- remove panelling from chimney and southern wall;
- remove concrete plinth and hearth to southern wall. N/B. existing hearth may be extant;

Alternative sympathetic solutions considered.

It is appreciated that the electricity meter box is an essential requirement. Consideration should be given to its removal, if possible, from inside the building. The most suitable and unobtrusive placement would be on the external southern wall. Alternatively, if the box is to remain as an internal fixture, then it should be encased within a suitably designed feature.

South-West Room

- the ‘modern’ door opening to the entrance hall/stair be relocated to its original 1860s position.
- remove the south-eastern corner plinth and the concrete floor slab;
- remove the laminated dado panels;
- closure of the window aperture and restoration of the brick and plaster;
- remove kitchen fittings

Alternative sympathetic solutions that were considered and discarded, with reasons.

The Conservation Management Plan calls for:

- retention of the Bourne kitchen window on the Southern Elevation;
- the retention of the kitchen fittings;

This is considered inappropriate, as it effects the configuration of the original *Graham Lodge*; the kitchen should be interpreted as it was in the Graham period to 1930 - as a semi-detached structure;

The Northern Room

This room was originally the two ‘northern’ rooms of *Graham Lodge*. This room was the ‘interface’ between Graham Lodge and the Prague Lodge / NBLC developments.

- the interior fabric be restored;
- the dividing wall **should** be reinstated,
- windows to the eastern and western elevations be reinstated;
- the original door openings to the entrance hall/passage be reconstructed.

- remove the suspended ceiling panels, and the suspended ceiling substructure;
- restore the fibrous plaster ceilings;
- remove the laminated panelling to all walls;

Alternative sympathetic solutions considered with reasons.

The Conservation Management Plan recommends that the 1860s dividing wall **not** be reinstated and 'that the current opening be modified as an opening with nibs at either end'.

It is considered that the dividing wall **should** be reinstated to restore the internal fabric of the building to its most historically appropriate configuration.

First Floor ~ Generally

- first floor be returned to its c.1930s configuration;
- the removal of all NBLC and Prague Lodge fittings;
- the conservation [*reconstruction, restoration, etc*] of all door/ window openings and joinery;
- remediate all floor, wall and ceiling finishes;

Alternative sympathetic solutions considered with reasons.

The Conservation Management Plan recommends that north / south dividing wall to the northern first floor rooms **not** be reconstructed.

As all Prague Lodge and NBLC fittings are to be removed, consideration should be given to the reinstatement of the dividing wall in its complete form. This would enhance the internal historical fabric of the building.

South-East Room

- French doors to the east elevation be restored;
- fireplaces be opened;
- modern services be removed;
- remediate the floor, wall and ceiling finishes;

South-West Room

- Bourne [western] door [which replaced the original window] be retained as access to the verandah;
- fireplace be opened;

Western Verandah

- verandah to be reconstructed in timber without the fibro infill;

Alternative sympathetic solutions considered and discarded, with reasons.

Consideration was made to the retention of the Bourne 1930s sleepout, i.e. partition walls and western glazing. It is considered that the verandah should be reconstructed in its most simple form.

Northern Room

This room originally comprised the two 'northern' rooms of *Graham Lodge*. It has suffered radical damage.

- removal of all Prague Lodge fittings;
- configuration of the two rooms be retrieved;
- the north/south dividing wall to the northern rooms **should be** reconstructed;
- the interior fabric be restored;
- timber veneer to the north wall be removed and that the wall finish be remediated;
- removal of modern services and fittings;

Alternative sympathetic solutions considered and discarded, with reasons.

Retention of the Prague Lodge 'mantlepieces' is out of context given that all other Prague Lodge fittings are being removed;

The Conservation Management Plan recommends that the north/south dividing wall to the northern rooms **not be** reconstructed'. It is considered that the dividing wall **should** be reinstated. As all Prague Lodge and NBLC fittings are to be removed, the reinstatement of the dividing wall in its complete form would enhance the internal historical fabric of the building.

DETERMINATION:

This *Statement of Heritage Impact* has addressed the proposal by Shoalhaven City Council for:

Reconstruction / restoration of the building, Graham Lodge, Nowra, New South Wales.

HERITAGE ARCHAEOLOGY has considered the potential for heritage impact upon the structure *Graham Lodge* and the extended curtilage, *Greenhills*.

It is determined:

- 1. that there will be no adverse heritage impact as a result of the proposed work;**
- 2. that the proposal will enhance the heritage status of the property;**
- 3. that safeguards identified in the proposal will be adopted and implemented;**
- 4. that restoration work will be carried out in accordance with the standards of best practice guidelines of the Heritage Office of New South Wales.**



Jennifer Lambert Tracey
Archaeologist / Heritage Assessment Consultant

1st June, 2000

1st June 2000

Review of Environmental Factors

PROPOSED ACTIVITY:

Restoration of the heritage significant Georgian / Victorian building, *Graham Lodge*.

LOCATION:

Lots 1 DP 101 0062
Pleasant Way, Nowra, NSW.

RESERVE NO:

N/A

PROPOSAL OBJECTIVES:

Preservation for the Shoalhaven Community of a property recognised as having Heritage Significance;

Preservation of a Shoalhaven City Council asset;

MAJOR ELEMENTS OF THE PROPOSAL:

Building restoration and reconstruction;

Landscape restoration;

EXISTING ZONING & PLANNING INSTRUMENTS

N/A

DESCRIPTION OF THE EXISTING ENVIRONMENT:

In recent decades, the area has been subject to extensive ground disturbance. The proposal for landscaping will consolidate and enhance the area. It will meet the heritage requirements in respect to the curtilage of *Graham Lodge*, and provide an aesthetic and environmentally positive setting.

Flora

- Two camphor-laurels and one hakea are scheduled for removal;
- Ivy to be removed from *Jacaranda mimisofolia*;
- Consideration is given to interference of drains and sewer;

Fauna

The project is located in a built-up residential area. It adjoins a rural landscape presently used in part for grazing cattle.

- It is considered that the proposal will not provide detrimental effects to fauna.

Threatened Species

- No known threatened species have been observed or identified within the site;

Topography / Geology/ Soils/ Water

All matters considered;

- No detrimental effects anticipated;

Archaeological / Heritage Status

Archaeological assessment and test excavations undertaken with a Permit from Heritage Council of NSW. Report completed by Heritage Archaeology, Canberra, and accompanying Development Application for information. Copy of the same report forwarded to Heritage Council.

Hydrology; Microclimate; educational/recreational/ scientific aspects;

The proposal is considered to be of educational and historical value.

Part of the proposal is to provide in annexure to the Nowra Visitors Centre, a cultural display of the history of the Shoalhaven area.

On occasions, the building may be used to display art works associated with the history and heritage of the Shoalhaven. The restored building is to form part of historical displays such as Heritage Festivals. The basic frame of the building is not proposed to be altered.

Existing use of land; adjoining land uses; visual amenity.

The *Graham Lodge* building is located on the original c. 1827 land grant known as *Greenhills*. It was used as a residence and converted in c.1967 to the Reception Facility known as Prague Lodge. In 1971 the building became an integral part of the Nowra Bomaderry Leagues Club.

Incorporation with the Nowra Bomaderry Leagues Club derogated the heritage significance of the original building. This was later recognised, and Council purchased the property to restore the building as a Council/Community asset, and to provide a Visitors Centre.

The Nowra Visitors Centre was constructed in 1999 by significant alterations to the former Nowra Bomaderry Leagues Club and demolition of part of the structure to provide *Graham Lodge* with its own identity. *Graham Lodge* neighbours medium density development.

- The proposed display operations are passive and are considered not to be of detrimental effects to the nature of the residential neighbourhood. It is considered that the restoration of the *Graham Lodge* building and its surrounding landscape will be an enhancement to the visual amenity of the neighbourhood.

PROPOSED ENVIRONMENTAL SAFEGUARDS AND MEASURES TO MINIMISE IMPACTS:

(construction constraints; sediment control measures; spoil disposal; road works; rehabilitation of construction area or area burnt; protection of heritage items)

- All construction work is to comply with Council’s requirements for building construction sites.

ASSESSMENT OF LIKELY ENVIRONMENTAL IMPACTS:

(beneficial or adverse; short term or long term; reversible or irreversible; direct and/or indirect; local and/or regional) Part 5 of the Environmental Planning and Assessment Act:

DOES THE PROPOSAL:	POINTS CONSIDERED
a) have any environmental impact on a community; Nil	<i>Working hours; Detours; Property access; Notifications; Staging works Duration; Public Visitation;</i>
b) cause a transformation of a community; Nil	<i>Modify vehicle and people movements Purpose of project;</i>
c) have any environmental impact on the ecosystem of the locality; Nil	<i>Permanent clearing; Restoration Affect on watercourses; Increase impervious area; Change of overland flows;</i>
d) cause a diminution of the aesthetic, recreational, scientific, social or other environmental quality or value of the locality; Nil	<i>Landscape plan; Wetlands; Rock platforms; Vandalism; Long term erosion; External building alterations;</i>
e) have any effect upon a locality, place or building having aesthetic, anthropological, archaeological, cultural, historical, scientific, or social significance or other special value for present or future generations; Restoration of the building and landscaping will enhance associated features of historical and heritage significance eg. Graham Cemetery.	<i>Structures; Buildings; Sand dunes (Aboriginal middens); Vibrations;</i>

<p>f) cause any endangering of any species of flora or fauna;</p> <p>Nil</p>	<p><i>Endangered species (frogs gliders etc)</i> <i>Habitat creation (i.e. place logs)</i> <i>Inspect trees prior to felling for animals; Isolated vegetation;</i></p>
<p>g) cause any long term effects on the environment;</p> <p>Nil</p>	<p><i>Additional traffic; Additional people</i> <i>Additional long term noise; Increased run off;</i></p>
<p>h) cause any degradation of the quality of the environment;</p> <p>Nil</p>	<p><i>Water quality; Underscrubbing;</i> <i>Paved areas; Topography;</i> <i>Geology;</i></p>
<p>i) cause any risk to the safety of the environment;</p> <p>Nil</p>	<p><i>Hazardous materials; Soil water management; Water ponds; Importing weeds; Fire; Speed Zones;</i></p>
<p>j) cause any curtailing of the range of beneficial uses of the environment;</p> <p>Nil</p>	<p><i>Existing Use; Paved areas; Public access; Parking; Change of land use (not necessarily zoning);</i></p>
<p>k) cause any pollution of the environment;</p> <p>Nil</p>	<p><i>Noise - construction vehicles; Water - stormwater; Air - dust, smoke; Plant - servicing, emissions; Spillage's - Paint, bitumen, lime;</i></p>
<p>l) have any environmental problems associated with the disposal of waste;</p> <p>Nil</p>	<p><i>Impervious Areas; Clean sediment Traps; Stumps; Concrete Spoil; Hazardous waste; Oil/Grease;</i></p>
<p>m) cause any increased demands on the resources, natural or otherwise, which are, or are likely to become, in short supply;</p> <p>Nil</p>	<p><i>Water; Gravels; Topsoil; Licensed suppliers;</i></p>
<p>n) have any cumulative environmental effect with other existing or likely future activities;</p> <p>Nil</p>	<p><i>Catalyst for development; Population growth; Sterile land; Loss of natural areas;</i></p>

8 PART TEST (*Threatened Species Act*):

In respect to the following possibilities, all have been considered.

- **No threatened, rare or endangered species has been identified as having habitat, on or in association with the property.**

- a) in the case of a threatened species, whether the lifecycle of the species is likely to be disrupted such that a viable local population of the species is likely to be placed at risk of extinction;*
- b) in the case of an endangered population, whether the lifecycle of the species that constitutes the endangered population is likely to be disrupted such that the viability of the population is likely to be significantly compromised;*
- c) in relation to the regional distribution of the habitat of a threatened species, population or ecological community, whether a significant area of known habitat is to be modified or remove;*
- d) whether an area of known habitat is likely to become isolated from currently interconnecting or proximate areas of habitat for a threatened species, population or ecological community;*
- e) whether critical habitat will be affected;*
- f) whether a threatened species, population or ecological community, or their habitats, are adequately represented in conservation reserves (or other similar protected areas) in the region;*
- g) whether the development or activity proposed is of a class of development or activity that is recognised as a threatening process;*
- h) whether any threatened species, population or ecological community is at the limit of its known distribution;*

DETERMINATION:

This *Review of Environmental Factors* has assessed the likely environmental impacts (in the context of *Clause 82 of the Environment Protection and Assessment Regulations*) of a proposal by Shoalhaven City Council for:

Reconstruction / restoration of the building, Graham Lodge, Nowra, New South Wales, and subsequent landscaping enhancement

HERITAGE ARCHAEOLOGY has considered the potential environmental effects of the proposal and the effectiveness and feasibility of measures for reducing or preventing detrimental effects.

It is determined that:

- 1. It is unlikely that there will be any significant environmental impact as a result of the proposed work.**
- 2. The proposed safeguards identified in the report will be adopted and implemented.**
- 3. An *Environmental Impact Statement* is not required for the proposed works.**



Jennifer Lambert Tracey
Archaeologist / Heritage Assessment Consultant

1st June 2000