

DRAFT

JARMAN'S COTTAGE
NOWRA NSW

CONSERVATION MANAGEMENT PLAN

PREPARED FOR

SHOALHAVEN CITY COUNCIL
BRIDGE ROAD NOWRA NSW



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1.0 Executive Summary

Conservation Management Plan for Jarman's Cottage, Nowra

The overall aim of this Conservation Management Plan is to investigate and analyse the documentary and physical evidence available to formulate a statement of cultural significance, and to provide management guidelines to enable this significance to be retained in future use and development. It has been prepared for Jarman's Cottage, which is located on Bridge Road in Nowra, for the Shoalhaven City Council.

The main points of this study can be understood by reading the following sections.

- **Analysis of Documentary and Physical Evidence (Section 5.0)**

This study, in brief, concludes that Jarman's Cottage is in relatively good condition. The original form and interior configuration of both buildings on the site can be clearly understood.

It is critical that any works at the site be documented and implemented in a way that allows for the retention in-situ of the maximum amount of existing significant fabric.

- **Statement of Cultural Significance (Section 6.0)**

Jarman's Cottage and the laundry shed have historic, aesthetic and technical/ research significance, all at a local level.

- **Constraints and Opportunities (Section 7.0)**
- **Conservation Policy (Section 8.0)**

This study suggests appropriate uses for the site, as well as various recommended actions which should be taken to conserve the existing site and structures.

Any present and/or future design proposals should be evaluated and reviewed in association with the conservation policies and recommendations provided in this report to ensure that the significant heritage values of the site and structures are retained and fully interpreted by the community.

In summary, we believe that if the site is carefully developed and regular maintenance is undertaken it can retain its heritage significance, be able to be interpreted as a former residence with associated outbuilding and may play an important function for the local community.

2.0 Introduction

2.1 Brief

The aim of this Conservation Management Plan is to assess the heritage significance of the subject site and use the findings of this assessment to provide conservation management guidelines to enable this significance to be retained in future use and development. The report has been prepared for Jarman's Cottage, 32 Bridge Road, Nowra, for Shoalhaven City Council.

This report entails the following.

Documentary Research

- Of the site/institutions/families/people associated with the site.
- Of the development of the site over time i.e. Dates of construction and past additions/alterations.

Physical Investigation

- Description of site and building (internal and external) and its setting.

Assessment of Significance

- Heritage assessment using State Heritage Inventory criteria.
- Significance ratings of building's fabric and setting.

Conservation Policy

- Conservation approach.
- Future development of the site.
- Physical conservation action recommended and other relevant issues such as use; investigation; etc.

Implementation Strategy

- Identification of immediate works required.
- Identification of future works recommended for the site.
- Identification of landscaping works required and recommended for the site.
- Options for future use of the site.

2.2 Study Area

For the purposes of this report the *place*, as defined in the Burra Charter (please refer to Section 8.1 of this report), is to be known as the study area.

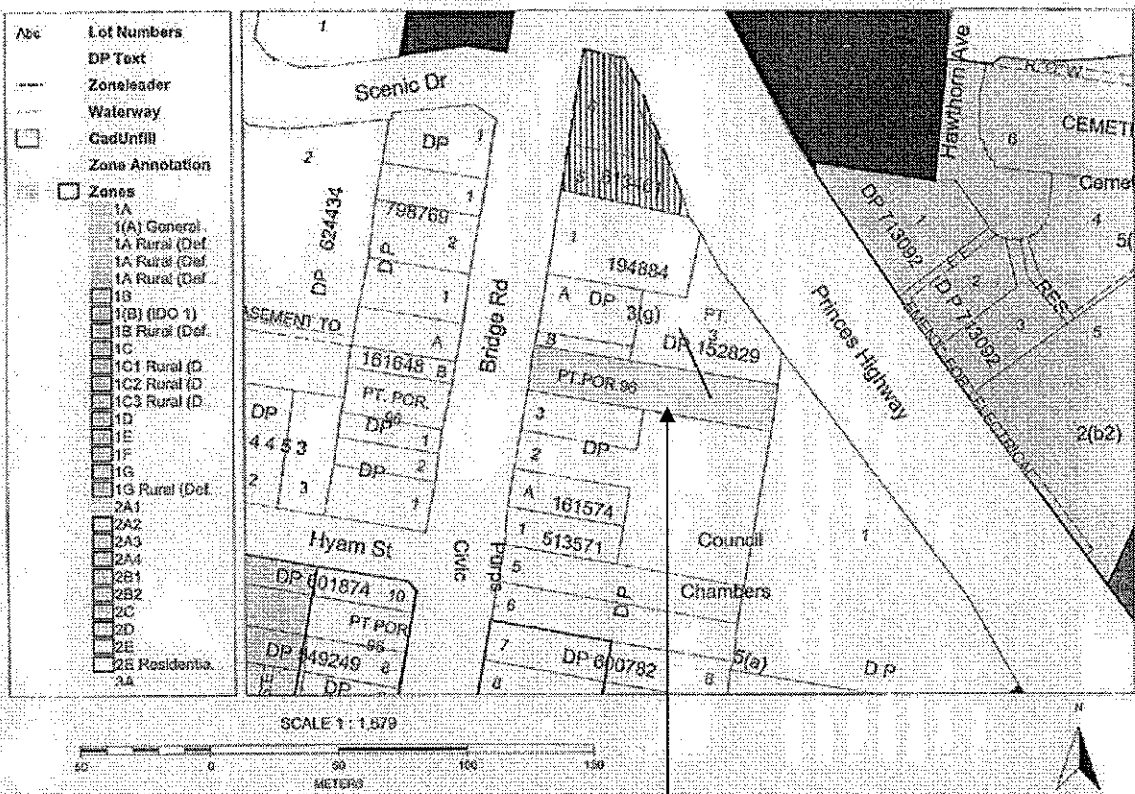
2.2.1 SUBJECT SITE

The subject site consists of part Lot 96 DP 755952 (Pt Por 96 Ph Nowra), located at 32 Bridge Road, Nowra.

Please refer to Figure No.1 of this report.

2.2.2 SUBJECT BUILDINGS

The subject buildings consists of a Federation period face brick cottage known as Jarman's Cottage and a fibro shed located on the subject site.



Subject Site

Figure No 1: Location Plan

2.3 Methodology

The method follows that set out in the NSW Heritage Manual provided by the NSW Heritage Office and NSW Department of Urban Affairs and Planning and is in accordance with the ICOMOS *Burra Charter*. The method is outlined below.

Investigate the significance

- Investigate the historical context of the item of study area
- Investigate the community's understanding of the item
- Investigate the history of the item
- Investigate the fabric of the item

Assess the significance

- Summarise your knowledge of the item or study area
- Describe the previous and current uses of the item, its associations with individuals or groups and its meaning for those people
- Assess significance using the NSW heritage assessment criteria
- Check whether you can make a sound analysis of the item's to support the statement of heritage significance (use the identified historical themes, and the inclusion and exclusion guidelines provided in *Heritage Assessments* as a guide)
- Determine the item's level of significance (local or state)
- Prepare a succinct statement of heritage significance
- Get feedback
- Write up all your information

Manage the significance

- Analyse the management implications of the item's level of significance
- Analyse the constraints and opportunities arising out of the item's significance (including appropriate uses)
- Analyse owner and user requirements
- Prepare conservation and management recommendations
- If any obvious options are not suitable, explain why
- Get feedback from the community
- Analyse statutory controls and their relationship to the item's significance
- Recommend a process for carrying out the conservation and management strategies

2.4 Limitations

No intervention to fabric was undertaken.

2.5 Author Identification

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Joanne Singh	Writer / Editor
Monique Quinlan	Architect

SUB-CONSULTANTS:

RF Historical Research Service	
Robyn Florance	Historian

3.0 Documentary Evidence

The following historical background has been prepared by historian Robyn Florance

3.1 Historical Background

3.1.1 Nowra

Charles Throsby journeyed through the Shoalhaven district in 1821, and made reference in his journal to "Noo-woo-ro", probably the first time the word "Nowra" was put in any written form.

A decade later in March 1831, Robert Anderson made application for "two sections of land in the district of Shoalhaven known by the native name of Nowry". The Surveyor-General in his response said that he did not know a place by the name of "Nowry". However in a plan of 1833-34, Surveyor marked "Nowra Hill", and so the name was established. Aboriginal translations of the word give several meanings of Nowra, including "a camp", "black cockatoo" and "you and me".¹

Nowra was approved as a government township in 1852, land was reserved, and the surveyor Thomas Mann laid out the 'village of Nowra' with the option of expansion to the south.

"The town survey was a traditional set out of town sections of ten chains square with one chain roads; the streets being orientated on magnetic meridian."²

Nowra was slow to develop, the first land sale in the Nowra Township was held on 2nd April 1855³ and the first house in Nowra was said to have been built on the edge of the swamp at the 'bottom of Junction Street on 21st April 1855, by John Smith'.⁴

In January, 1857, Mr Henry Gordon Morton visited the new township and in a report to Alexander Berry stated:

"... There are seven (7) dwellings, with one large workshop built of slabs. One weather-boarded - two slabs - the remainder built of slabs. They are shingled roofs, with verandahs in front... foundations of wood... Seven (7) families, embracing a population of 43 inhabitants, old and young..."⁵

The private settlements on either side of the Shoalhaven River did not have a lot of contact in the early days, as prior to the opening of the bridge in 1881 it took the Bomaderry Ferry at least half an hour to negotiate the stream.

The Greenhills Estate owned by the Graham family extended from Halcrow's Estate (Ratnett's Farm) to the boundary of the Terrara Estate owned by the De Mestre family.

Terrara was the main town on the south bank; it had a thriving business centre and was developing the facilities needed for the residents. The major flood which occurred in 1860 did plenty of damage but had little effect on the lifestyle. However when there was a similar occurrence in 1870, the people decided to move out.

The most convenient alternative was Nowra; it was just up the road on higher ground, and already had some government buildings and a small community. Its population in 1871 was 243, but it leapt to 886 in the next ten years. The major churches relocated to Nowra and the opening of the bridge at Nowra in 1881 gave the township the prominence it had long dreamed of and it became the commercial and industrial centre of the district.⁶

¹ Clark Alan, *Nowra 1888*, Leader Printery, Nowra, 1988, p 1

² *Street Name Origins, Shoalhaven*, Shoalhaven Historical Society 1986

³ Diary of Bernard Brown 2/4/1855

⁴ Bayley William A. *Shoalhaven*, Shoalhaven Shire Council, Nowra, 1975, p 64

⁵ Back to Shoalhaven Committee, *The Book of Shoalhaven*, Mortons Ltd. Sydney, 1926, p 22

⁶ Clark Alan. *A River and Its Bridges*, Shoalhaven Historical Society n.d.

The Post Office (old) in Junction Street was opened on the 1st May 1883 replacing the first Post Office, which had opened in the general store at Greenhills in January 1861.⁷

In the time between 1881 and 1891, the growth continued and the population almost doubled to 1705.⁸ Nowra was in the midst of a building boom, new business places, stately private residences and homely cottages sprung up in almost every direction. The rates collected by Nowra Municipal Council for the period 1890-1891 showed a 40% to 50% growth rate.⁹

The Railway to Bomaderry opened in 1893 and Nowra continued to expand and by 1901 the population reached 1,910.¹⁰

The streets were lit by gaslight. The first of these was installed in 1902 (acetylene) and changed over to coal gas in 1905 with the opening of the coal gas works in Bridge Road.¹¹ Electricity did not reach Nowra until 1927 and the first electric street light was installed in 1928.

A telephone service was not available in Nowra until 1908 when it was officially opened with 16 subscribers who were given continuous service between 9 am and 8 pm daily.¹²

Nowra was beginning to show signs of development in 1935 as 81 building applications had been approved, including the erection of one picture theatre and shop (West's) and 27 cottages.

Building applications for the year ending 31 December 1937 numbered 87 with 22 sub-division approvals. Seven cottages were demolished and two others closed and awaiting repairs to make fit for occupation.¹³

Half-yearly figures to 30th June 1938 showed 48 building applications had been received. By this time the population of Nowra was 3,000 persons occupying 750 houses. Eighteen months later 421 of these houses had been connected to the sewer.¹⁴

3.1.2 The Bridge Road

Ratnett's Farm as it became known in the 1850's, was originally a Crown Grant of 82 acres to John Jenkins Peacock on 26 August 1840, being portion 96 on the Town Map of Nowra. The land was situated at the North West corner of Butler's Grant in County St. Vincent, on the lower Shoalhaven River adjacent to the bridge that was erected in 1881.

Within two weeks of taking possession of the land, Peacock signed a Memorandum certifying that he had sold the property to Frederick William Evans on 7 September 1840. After the death of Frederick Evans his heirs sold the property to Benjamin Yabsley and John McMillan on 18 July 1843.¹⁵

A week later on 25 July 1843, Benjamin Yabsley and John McMillan of Windmill Street, Sydney, sold the 82 acres to William Ratnett for £100 'of lawful money of Great Britain.'

Ratnett sold 21 acres on the eastern portion of the estate to Hugh Halcrow, Master Mariner, for £550 on 4 September 1854. This land adjoined Graham's property and, following the death of Hugh Halcrow on 10 May 1857, the land was leased to Samuel Elyard.¹⁶

He also sold 1 acre of land at Greenhill Point to Owen Hewitt, blacksmith, on 1 September 1854, for the erection of a mill, for £100.¹⁷

⁷ Cremmer Vann, *Nowra Post Office History*, n.d. Shoalhaven Historical Society Archives

⁸ *Nowra Post Office History*, op.cit

⁹ Nowra and its prospects, *Shoalhaven Telegraph* October 1 1890

¹⁰ Bailey, op.cit, p.93

¹¹ Antill R.G., *Settlement in the South*, Weston & Co., Kiama 1982, pp 299-300

¹² *Nowra Post Office History* op.cit

¹³ *Shoalhaven News* 3/8/1938

¹⁴ *Settlement in the South* op.cit, p.159

¹⁵ Conveyance found in Book 4 Memorial No 477 dated 18 July 1843

¹⁶ Conveyance Book 111 No. 991

¹⁷ Conveyance Book 34 No. 438

William Ratnett was a pioneer of the district having arrived in the Shoalhaven in 1826. Research into William's life revealed that he arrived in Australia as a convict

William Ratnett, alias Hanslop, was convicted and sentenced to life imprisonment at Warwick Assizes on 29 July 1815 and sent to Warwick Gaol to await transportation. He was a labourer when convicted, aged 24, and a native of Buckinghamshire. He arrived in Sydney on board the convict transport "Atlas" on 22 July 1816¹⁸ and by 1822 he was working as a sawyer at Parramatta. On 20 May 1823 he married Ann Nowland at St. John's Church, Parramatta.¹⁹

Ann, a Roman Catholic, had been sentenced to 7 Years at Dublin in February 1817 and arrived in Sydney on the "Elizabeth" on 19 November 1818 at the age of 18 years. The 1822 Muster lists her as being employed as a servant at Parramatta.²⁰

Berry & Wollstonecraft employed William and Ann at Broken Bay in 1824 and the couple moved to Broughton Creek (Berry) in 1826. William was a sawyer at the Broughton Creek Establishment and by 1834 he was the overseer.²¹ He was recommended for a Conditional Pardon on 21 November 1835.²²

He was a very industrious and energetic man and took a great interest in the erection of the Episcopalian Church on the Terrara Estate and was a very large subscriber there to charitable organisations. Year after year, like his friend, Mr Hyam, he would go through the district collecting for the Infirmary, Benevolent Asylum, particularly for the Children's Asylum.²³

Ann died on 25 January 1865 and Ratnett donated acres of land to the Catholic Church for the purpose of a church and cemetery.²⁴ The church was a simple, cheap structure of bark-slabs and an iron roof. It served from 1865-1877.

Ratnett expressed a wish to be buried in a portion of the land and gave instructions that his grave was to be fenced, with no tombstone.²⁵

In 1865 after the death of his wife, Ratnett sold the remaining portion of his 82 acres to Michael Hyam. The terms of the sale being that Michael Hyam, his heirs, executors or assigns pay a yearly rent of £55 for the term of William Ratnett's "natural life". In the event that he should require Michael Hyam they were to "provide him with suitable and sufficient board, lodging, washing and other necessaries at his, Michael Hyam's house." The latter could deduct £30 per annum from the yearly rental; should there be insufficient funds in William's estate to pay for his funeral, Michael Hyam, his heirs, executors, assigns etc. were to "provide a proper and decent funeral and pay for all costs".²⁶

Michael Hyam was born in London in 1799, the son of David Hyam, a painter, and his wife Sarah (nee Shannon). A shoemaker by trade, Michael, accompanied by two servants, came to Australia in 1828 on the *George Canning*. He soon established himself in business as a boot and shoemaker at 4 George Street, Sydney.

He received a land grant in 1829 at Jamberoo and Hyam named the property "Sarah's Valley" after his mother. Hyam married Mrs Catherine Mary Broughton in Sydney. She became known as Charlotte Rebecca when she was converted to Judaism.

¹⁸ Convict Indents AONSW Fiche 636 4/4004

¹⁹ Marriage Certificate B.D.M. Vol. 3 No. 3118

²⁰ 1822 Muster AONSW A15838

²¹ Florence Robyn, *The Old Catholic Cemetery, North Street, Nowra*, the author June 1990, p. 2

²² General Return of Convicts, AONSW 4/4478

²³ William Ratnett Obituary contributed by "Justice" *Shoalhaven Telegraph* 13 January 1881

²⁴ An Indenture at the Land Titles Office dated 5 July 1865 between William Ratnett and Michael Hyam states in part. "also excepting a piece of land containing two acres or thereabouts situate on the southern boundary of the said land formerly sold to Rev'd Rigney for the purpose of erecting a Church thereon..."

²⁵ Faherty P.J. Fr., *The Catholic Church in Shoalhaven 1877-1977*, Shoalhaven Commercial Printers, Nowra 1977, p. 23

²⁶ "William Ratnett (alias Hanslop) of Ratnett's Farm, Shoalhaven" a paper by Sylvia Gronvald, published in the Journal of the Shoalhaven Historical Society. *The Shoalhaven Chronograph*, Vol. 19 No. 60 November 1989 and Conveyance Book 94 Number 325

He built a store and public house at Jamberoo and established a tannery, employing shoemakers and cobblers. In 1844 the farm was sold and Hyam moved to Kiama where he built a racecourse and raced his horses there and also in Wollongong and Dapto. Business wise, he still had a team of sawyers and teamsters cutting cedar.

In 1847 he moved to the Shoalhaven area and built the Sir Walter Scott Inn at Greenhills on land leased from William Graham. Hyam's wife, Charlotte, died in 1849, and four years later he married again, to Deborah Moss, the sister of his friend, Henry Moss. The relationship became somewhat complicated in 1862 when Moss married Hyam's daughter Sarah. The two men were good friends and they were the first to agitate for a local government area to be established in the Shoalhaven.

In 1859 he had purchased 41 acres of Crown Land on the shores of Jervis Bay which eventually became known as Hyam's Beach. He also owned land at Greenhills, Nowra Flat, Nowra Hill, Ulladulla, Good Dog Mountain (Cambewarra) and Mayfield.

Hyam was also active as a magistrate in the Shoalhaven district during the seventies and was a member of the Nowra Board of Local Patrons, which had wide powers in the conduct of schools. At about the same time he closed his Inn he moved to Nowra to live in semi-retirement at his residence in Berry Street.²⁷

Michael Hyam, however, predeceased William Ratnett²⁸ and his estate passed to his children; Sarah Zorilda Moss, wife of Henry Moss, hotel-keeper; Esther Aarons, wife of Louis Aarons, Exchange Hotel, Sydney; Rebecca Rosenthal, wife of Maurice Rosenthal, commercial traveller; and Joseph Hyam, gentleman of Nowra. By William Ratnett's Will dated 11 July 1878 the estate was to be executed by Thomas Morton Richards a solicitor in the Shoalhaven.

On 8th July 1880, the Hyam family and William Ratnett, now blind, sold 2 acres 3 roods and 22 perches of their land adjoining Halcrow's to the Crown for £140, which included the sum of £40 for fencing. This land, together with that of Halcrow's, was to form the new road now known as Bridge Road, Nowra.²⁹ The Halcrow Estate of 21 acres extended from North Street to the Riverbank at the Illawarra Co.'s Wharf, with a frontage of the total length of Bridge Street.³⁰

William Ratnett died on 29 December 1880 at the residence of Mr Joseph Moore, Nowra, aged 88 years. He is buried on the riverside of the cemetery, in Osborne Street; the fence is no longer visible.³¹

On 16th August 1881, Nowra Municipal Council considered two propositions from the Works Department regarding the route of the Main South Coast Road from the bridge over the Shoalhaven River. The first suggestion was that it follow Bridge Street [sic] and Berry Street to Braidwood Road (now Albatross Road), and the second, via Bridge, North and Kinghorne Streets to Nowra Hill, where it would link up with the Braidwood Road.³²

After deep consideration, Council agreed to the second suggestion and this became a resolution of Council for transmission to the Road Superintendent, Mr Williamson, at Wollongong.

Joseph Hyam owned most of the land from Hyam Street to the river. In 1901 he sold a portion to the Nowra Co-operative Dairy Co. for £160 to build a butter factory. The weatherboard building was constructed in 1902.³³

An agreement by the heirs of the Hyam Estate indentured the land to Esther Aarons. On 10th August 1891, Esther sold part of her portion (from Hyam Street south to North Street) to John

²⁷ The Hyams Beach Bicentennial Committee, *The History of Hyams Beach & District* January, 1988, pp 29-31

²⁸ Michael Hyam died 3 September 1879 aged 79 years

²⁹ "Ratnett's Farm" op cit.

³⁰ Stewart & Morton, Land Sale, Estate of Late Hugh Halcrow, *Shoalhaven Telegraph* 16th June 1904

³¹ *The Catholic Church in Shoalhaven 1877-1977* op cit

³² *Settlement in the South* op.cit p. 147

³³ Bayley William A, *Diamond Jubilee - The Nowra Co-Op Dairy Co Ltd 1902-1962*, Nowra Co-operative Dairy Company Limited, Nowra 1962 p. 22

Lamond. John Lamond died on 15th December 1893 and by Deed of Agreement the land was bequeathed to his heirs. On 10th May 1894, through Letters of Administration, the land was then passed to Sarah Lamond. Sarah Lamond died on 17th September 1894 and the land passed to David Lamond.

The land was then sold to Charles and Alexander Lamond who subdivided the portion of land and the new lots became the A.C. Lamond Sub-Division.

By this time, the condition of the footpaths along Bridge Road was 'a scandal and a disgrace to the town'. As the road was really just a cutting made by the Government upon resuming the land, no plans had been given to Nowra Council. A Supreme Court decision made Council liable for any accidents that may occur on that particular roadway as Council was very aware of the need to have work done.

At a meeting in December 1893, Nowra Council requested that the Government hand over the plans and levels of Bridge Street [sic] so that work could commence on the footpaths, especially on the western side.

It was not until June 1904 that the roadway was surveyed by the District Surveyor, Mr J.F. Truscott. The survey plan shows the property owners at that time. The Sarah Lamond Estate is clearly shown as is the land belonging to the Nowra Dairy Co.

In 1904 100 *pinus insignis* and 50 camphorlaurels were obtained from the Government Nursery at Gosford and planted in Bridge Road. They were planted and staked by Mr H. Meyer, Stationmaster of Bomaderry, whose civic action was publicly recognised by Council. Jacarandas were also planted near the bridge at the approach to Bomaderry and the river.

Trees were again planted in Bridge Road in 1925 and seats were erected at intervals along the footpath.

It was at the end of 1932 that Mr W.C. Batt arrived in Nowra to take up the position of Town & Shire Clerk and recalled that when he arrived

"...Bridge Road had a drain down the eastern side, and you had to walk across the little bridges to get into your home...and one lady fell in and the Council had to pay for her clothes which were ruined as the drain had tea leaves and grease and all sorts of things in it. Council later piped that drain and cut the high banks..."

It was around this time that some trees were cut down in Bridge Road. These trees had joined together in the middle of the road and were cut down and replaced with chestnuts.

On the corner of Bridge Road and what is now Dave Hill Marine there was a triangular plot, with a broken fence, full of weeds '*...and when the men got drunk at the bridge Hotel, they travelled right through it...*'

Council decided to make the area look better, as it was an eyesore. It was designed and built by W.C. Batt and became known as 'Batt's Folly'.

Once the new bridge was constructed over the Shoalhaven River in 1980 the East Street Deviation formed by the Princes Highway and Bridge Road was no longer part of the highway that it had been since the first bridge was erected in 1881.

3.2 'Jarman's Cottage'

The land on which this brick cottage was erected once formed part of the property known as Halcrow's Estate. William Ratnett sold 21 acres on the eastern portion of his farm to Hugh Halcrow, Master Mariner, for £550 on 4th September 1854. This land adjoined Graham's Greenhills Estate and following the death of Hugh Halcrow on 10th May 1857 the land was leased to Samuel Elyard.³⁴

³⁴ Conveyance Book 111 No. 991

The Halcrow Estate extended from North Street to the riverbank at the Illawarra Steam Navigation's Wharf, with a frontage of the total length of Bridge Road.³⁵ Woodhills Ltd later purchased the property from the Estate Trustees and subdivided the land. It was put up for sale as Woodhill's Subdivision' in 1908 and Adam Jarman purchased one of the larger allotments.

Adam Jarman had been born at Foxground in 1856 and was a factory manager at Bangalala prior to moving to Nowra around 1907 to take up the position of butter maker with the Nowra Dairy Co-op situated at the northern end of Bridge Road. Adam worked at the Dairy Co-op until his retirement around 1926.

Adam built the family home around 1908. It was a weatherboard cottage with a private roadway giving access off Bridge Road. Here he and Emmaline lived with five of their eight children Adam, Harold, Lydia, Ilma and Clarrie. Their son Ken died at Bowral in 1895, daughter Ethel had married Richard Whatman of Bowral in 1896 while Ada had married Reuben King at Nowra in 1901.

Adam gave a portion of his land to Clarrie as a wedding present, although the Deeds to the property were not granted until 1949. It had a frontage to Bridge Road. They shared the private roadway, which gave access to both properties. In March 1934 Adam sold another portion of his land to Mr Frederick P Duncan. Duncan actually purchased two lots. One on which he wished to build a private hospital to replace the old weatherboard one situated on the corner of Hyam Street and Bridge Road, known as The Bridge Road Hospital, and the other lot for his son to build a home.

Emmaline Jarman died at Nowra in 1930 and Adam died on 15th July 1942 at Nowra.

The Passing of a South Coast Pioneer

There passed away at Nowra, on Wednesday morning last, a pioneer of the South Coast in the person of Mr Adam Jarman, of Bridge Road. He was born at Kiama in September 1856. His parents later on shifted to Sydney, but subsequently returned to Foxground, where they took up farming.

The late Mr Jarman was engineer to the first Berry Butter Factory, which was then situated on the bank of Broughton Creek, almost opposite the residence of the Stewart family. He afterwards managed the Foxground, Robertson Park and Braidwood factories. On the Braidwood factory closing down, owing to dry and unsuitable climatic dairying conditions, he returned to the South Coast and took over the Bengalala creamery and post office. On centralisation of the butter industry locally, he transferred to the Meroo Meadow factory, from where here was appointed foreman butter maker at what is now the Nowra Co-operative Dairy Co Ltd. where he remained until his retirement some sixteen to eighteen years ago. He and Mr Henry Hill Snr [also of Bridge Road] for many years engineer to the factory, were appointed at the same meeting and commenced work at the factory on the same day.

The late Mr Jarman was a staunch churchman and a pillar of Methodism locally. He practiced the principles of Christianity in sincerity and in truth, and his life and example were such that never was their mortal man who commanded and received greater filial love and affection from his family. His wife, one son and one daughter predeceased him and he leaves behind to mourn their loss three sons, three daughters and two sisters. The sons are Messrs L H and C A Jarman of Nowra and Mr A M Jarman of the Dairy Farmers Co-op Milk Co Ltd Sydney. The daughters are Mrs Ethel Whatman of Bowral, Mrs R King, Nowra and Mrs E Windley, Clarendon. The two sisters who survive him and who are both older than the late Mr Jarman are Mrs John East and Mrs Dawson Blow of Kiama

The mortal remains were laid to rest in the Methodist portion of the Nowra General Cemetery the last sad rites being performed by the Rev. E.T. Chapman.

The Shoalhaven News, Wednesday, July 22, 1942

³⁵ Stewart & Morton, Land Sale Estate of Late Hugh Halcrow, *Shoalhaven Telegraph*, 16th June 1904

3.3 Jarman's Cottage

Alfred Claris 'Clarrie' Jarman was born at Foxground in 1892, the youngest of eight children born to Adam Jarman and his wife Emmaline Oke. Clarrie took up carpentry as a trade at a very early age and became well known in the district for his pride of workmanship.

Clarrie married Caroline Effie Gyde; a daughter of the local blacksmith, Sam Gyde and his wife May, at North Sydney around 1915. 'Effie' had been born in Nowra in 1890 and was a dressmaker, living with her parents in Kinghorne Street, before her marriage.

Clarrie built the brick cottage on land adjacent to his parent's property and it is most likely that Clarrie himself designed the cottage. Clarrie and Effie moved into their new home after their marriage and the following years brought three children, all born at home. Kathleen Joyce in 1916 followed by Betty Jean in 1918 and seven years later, Kenneth Claris was born.³⁶

Electricity came to the Nowra area in 1927 and Clarrie and Effie had electricity connected to their home in May 1928.³⁷

The children attended Nowra Public School in Plunkett Street and, after leaving school, Joyce tended the family home while Betty and Ken went to work.

Joyce and Betty met Jack Rankin and his brother Harold 'Muttie' at a Footballer's Ball at Berry. They subsequently married the brothers in a double wedding ceremony at All Saint's Church, Nowra, on 9th May 1942. Joyce and Jack moved into her grandparent's old home while Betty and 'Muttie' lived just around the corner in Osborne Street, Nowra.

Clarrie died at the early age of 58 years on 7th January 1951. He had seen his children marry; Joyce and Betty married Rankin brothers and his son Ken followed in his father's trade and became a builder until his untimely death in 1976 at the young age of 49 years.

The Death Mr C A Jarman

There passed away in Lewisham Hospital on Sunday 7th January, Mr C A Jarman of Bridge Road, Nowra. He had been ailing for some time, but it was not anticipated that he was seriously ill until his removal to Lewisham Hospital, when it was found that he was in a very serious condition and passed away as stated.

He was born at Foxground and had resided in Nowra and district for a little over 50 years. He leaves a widow, daughter of the late Mr Sam Gyde, and two daughters and one son, all married and residing in Nowra.

His remains were interred at Nowra, the Rev. H E S Doyle officiating. Mr A M Jarman of Canterbury and Mr Len Jarman of Nowra are brothers and Mrs R King of Junction Street, Mrs R E Windley of Windsor are sisters.

The Shoalhaven & Nowra News, Tuesday, January 23, 1951

Effie continued to live in the home until her death on 17th August 1983 at the age of 91 years.

³⁶ Information from Betty Rankin, 19 Osborne Street, Nowra (daughter of Clarrie and Effie Jarman)

³⁷ Electricity Registers

Passing of Caroline Jarman

Mrs Caroline Effie Jarman died at the Nowra Community Hospital on Wednesday, August 17 Aged 91 years, she was late of Bridge Road, Nowra.

Born in Nowra, she was the daughter of the late Sam and May Gyde, and was a member of one of the first Shoalhaven pioneering families.

Married in North Sydney, she was predeceased by her husband Alfred and son, Kenneth.

She is survived by two daughters, Joyce (Mrs Rankin of Nowra) and Betty (Mrs Rankin) also of Nowra.

The funeral service was held at All Saints Anglican Church, Nowra, on Friday, August 19. Interment followed in the Nowra Cemetery where Mrs Jarman was buried beside her late husband.

The funeral arrangements were conducted by Wray Owen Funeral Directors.

The Shoalhaven & Nowra News, Wednesday, August 24, 1983

3.4 Land Acquisition for Administrative Building

In May 1978 it was agreed that Council construct a new Administrative Building on the Council owned land adjoining Graham Street and Bridge Road. It was further recommended that Council acquire the rear of portions of the properties fronting Bridge Road, and at a later date, acquire the properties fronting Bridge Road, in order to provide for future expansion and full potential of the site as a community landmark.³⁸

Eventually all the properties situated on the eastern side of Bridge Road, from the Princes Highway deviation to Graham Street, were purchased by Shoalhaven City Council. The buildings/houses have been demolished over the years for entrance roads, car parking and open space, and only three buildings remain standing. It is interesting that these three buildings are built on land, which at one time was owned Adam Jarman who had purchased the property from Woodhills Limited in 1908.

3.5 32 and 34 Bridge Road

The property known as No 32 & No 34 Bridge Road, Nowra comprising Part of Lot 2 and Lot 3, in the township of Nowra, was, according to Council records, owned by the Estate of the Late A.C. Jarman.

The total holding of the Estate was described as an irregular shaped parcel of land possessing a frontage to Bridge Road of approximately 21m and comprised an area of approximately 4,396m².

Located on the land proposed to be acquired by Shoalhaven Shire Council, is an aged and dilapidated weatherboard garage with a galvanised iron roof which measures 4.4m x 5.5m. Also on the land is an aged galvanised iron and weatherboard shed and loft with a galvanised iron roof which measures 15m x 5m, plus a small lean to.

The land in question forms part of a total holding comprising approximately 4,396 m² upon which is located an aged brick and galvanised iron cottage, aged weatherboard, fibro and galvanised iron cottage and a detached fibro and galvanised iron garage.³⁹

³⁸ Minutes of Council

³⁹ Walsh & Monaghan Report & Valuation dated 30th November 1978

3.6 34 Bridge Road – Adam Jarman's Cottage (c1908) Demolished 1980

After the death of her grandfather Adam Jarman, Joyce Rankin and her husband Jack moved into the Jarman family home. Their sons John and Ian were born there. Jack spent his working days at the PMG (Telstra) while Joyce was employed as a cook at The White Ensign Club, ideally located next to their home in Bridge Road.

Following the death of Jack Rankin on 4th March 1980, Joyce was forced to move to new premises in West Street when the family property in Bridge Road was purchased by Shoalhaven City Council as part of its new administrative centre complex.

The Rankin's were given two years 'rent free' of their cottage and given notice that they were to vacate their cottage after that time. The cottage was purchased by Shoalhaven City Council from Effie Jarman on 10th March 1980 and was demolished the same year.

3.7 34 (Now known as 32) Bridge Road -- Jarman's Cottage

The Residence occupied by Mrs Jarman was described as:

Constructed some 65 years ago of brick with a galvanised iron roof, this structure has a fairly pleasing external appearance and despite requiring some painting and minor repairs, it is of sound construction. Erected on brick foundations, the residence comprises a main area of approximately

Discussions were held with Mrs Jarman and her family and Mrs Jarman did not want to sell her property and wanted to be left alone.

It was eventually decided that, as Mrs Jarman was then aged 85 years, had lived on the property for 65 years and did not want to leave the cottage, Council would purchase the property and allow Mrs Jarman to remain in the cottage as 'a life tenant'.

On 10th March 1980, Council resolved that Deed of Covenant between the Council of the City of Shoalhaven and Mrs Caroline Effie Jarman in respect of the life tenancy of the property known as 34 Bridge Road, Nowra, be executed under the Seal of Council.⁴⁰

Mrs Jarman continued to live in the home until her death on 17th August 1983.

On 15th November 1983, it was recommended that Council authorise the use of the cottage for office accommodation for University students employed by Council for a period of three months.

From 5th March 1984, Community Services used the premises as Family Day Care Centre & office space for a Welfare Officer with the Aged.

3.8 30 Bridge Road - Family Day Care Centre (1956)

The land on which this cream brick house was erected was owned at one time by Mr Fred Duncan. He had purchased the property from Adam Jarman in 1934. He then subdivided this block into two lots. He built the Shoalhaven Private Hospital on one lot and the adjoining lot eventually passed to his son Alex.

Alex Duncan and his wife built their family home on this block during 1956 and it was near completion in October of that year.

Council purchased the property in 1985 and the building was vacated on the 30th September 1985.

Mr Allan W. Bucknell occupied the cottage on 7th December 1985 and lived there until 22nd December 1986 when he returned to England to live.

⁴⁰ Shire of Shoalhaven Ordinary Meeting 10th March 1980 Minute 229

Nowra Family Day Care leased the premises from 12th June 1987 until they moved to 60 Bridge Road on 10th July 1995. Council's Family Day Care have occupied the building from 31st July 1995.⁴¹

3.8 28 Bridge Road – Shoalhaven Rural Fire Service (1934)

This building was originally built as a private hospital. It later became The White Ensign Club and in 1990 it was purchased by Shoalhaven City Council. It is now the headquarters for the Shoalhaven Rural Fire Service.

3.8.1 Shoalhaven Private Hospital

Fred Duncan purchased Lot 1 and Lot 2 from Adam Jarman in 1934. He erected a brick building known as the Shoalhaven Private Hospital to replace the old Bridge Road Private Hospital.⁴²

It was erected by local builder J Muller and was described as

*The building is of brick, of bungalow design, providing accommodation for twenty patients, each having access by wide halls. There are four private wards and three large general wards. There is also a fine operating theatre, a maternity ward, a creche for babies, hot water system, kitchen, scullery, apartments for the staff and an office and waiting room. The premises also have roomy verandahs in front and on either side for the comfort and convenience of convalescents.*⁴³

The Bridge Road Hospital opened in August 1934 and operated until the Shoalhaven District Memorial Hospital was opened in Shoalhaven Street in May 1951.

3.8.2 The White Ensign Club

The White Ensign Club was established in August 1952 to provide relaxation and recreation for the 2,000 Navy personnel from H.M.A.S. Albatross, the naval air station established at the former aerodrome.

It was established along the same lines as The White Ensign Club in Melbourne. When it was built, the Nowra Club and the Melbourne Club were the only ones in Australia at that time.

The building was to include sleeping accommodation for 100 men, outdoor sports and recreation, tennis courts and such like, and boating facilities on the Shoalhaven River.

The Albatross Fair in 1952 raised £1,000 and the premises in Bridge Road costing £5,000 was purchased on 30th October 1953 from Mrs Adelaide Neate who at that time was publican at the Greenwell Point Hotel.⁴⁴

For the Club to function, changes to the hospital layout were needed and plans and specifications were drawn by up Mr W Daubney of Sydney and steps taken to proceed with the project.

'All the work, even to the laying of the linoleums, which were also purchased in Nowra, was carried out by local firms'.

⁴¹ SCC Files

⁴² LTONSW Certificate of Title Book 1683 Folio 805 A Jarman to F P Duncan

⁴³ *The Shoalhaven Telegraph* 8th August 1934

⁴⁴ Mrs Neate had purchased the property from Duncan in August 1951

Mr C M 'Mick' Henkel was entrusted with the contract for the reconstruction of the premises and the sub-contractors were:

Plumbing & Drainage	G P Walker & Sons
Electricity installation	Leo Phelan
Bar Fittings	H Owen & Son
Painting	R Hedges
Refrigeration	H. C. Jeffs
<u>Linoleum</u>	<u>T Basha & Sons</u>
(Including the laying)	

Sir Edward Hallstrom donated a large refrigerator, 'and in every instance the firms mentioned treated the Club most generously, taking into consideration its objectives.'⁴⁵

Vice Admiral Sir John Collins, KBE, CB., who had been wounded on the bridge of the H.M.A.S. Australia ten years previously, officially opened the Club on Trafalgar Day in October 1954.

The White Ensign Club was built as a memorial to the First and Second World War and the Korean War.⁴⁶

In those early days there were a couple of army huts located at the rear and they provided accommodation for 20-30 young sailors who may have decided to stay in town overnight or at the weekend.

The Club was popular for a number of years but eventually ceased to function in July 1989 and there was great debate where the remaining funds should go. They went to the Fleet Air Arm Museum, which has become an excellent attraction in the district.⁴⁷

Shoalhaven City Council acquired the property on 20th February 1990. The flagpole and fittings were removed at the time. Although the sandstone drinking fountain (bubbler) forms part of the front boundary fence, the bubbler fittings and plaque were removed and are now housed in the HMAS Albatross Museum.

3.8.3 St Johns High School

St Johns Catholic High School was established in 1990 and leased the building until the new school buildings at South Nowra were completed.

The building is now used as the administrative centre for the Rural Fire Brigade

⁴⁵ *The Shoalhaven & Nowra News* 26th October 1954

⁴⁶ *Shoalhaven* op cit. p 217

⁴⁷ Reminiscences of Foster Emery as told to Alan Clark

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William Ratnett (alias Hanslop) of Ratnett's Farm, Shoalhaven a paper by Sylvia Gronvald, published in the Journal of the Shoalhaven Historical Society, *The Shoalhaven Chronograph*, Vol 19 No. 60, November 1989

4.0 Physical Evidence

4.1 Identification of existing fabric

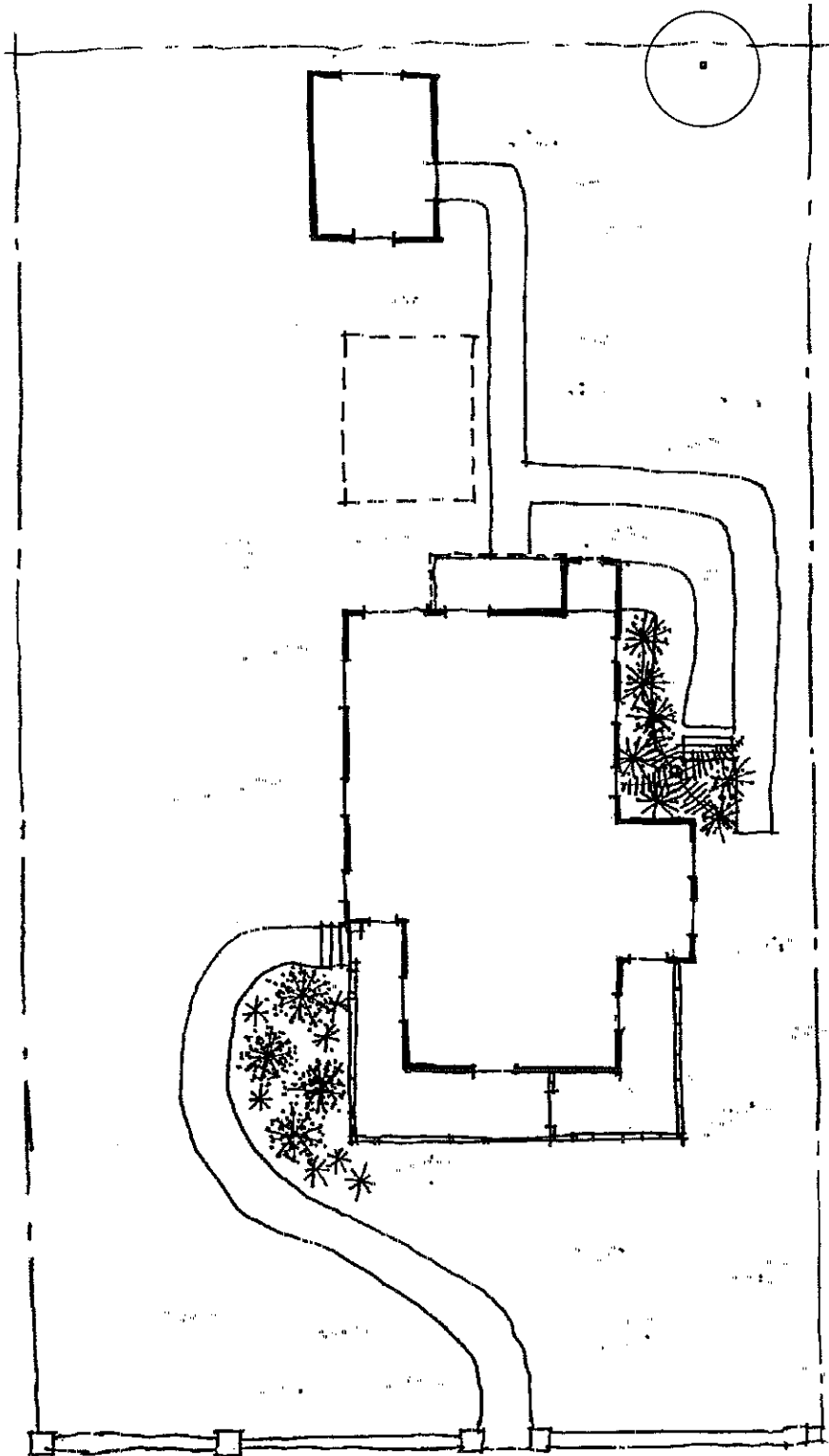
The physical evidence of the subject site was investigated through non-intrusive observation of the fabric

4.2 Streetscape

The subject site is located at 32 Bridge Road. Bridge Road is a relatively busy, wide street in Nowra with mature trees lining the roadway. The eastern side of Bridge Road contains private residences. The Shoalhaven City Council Chambers are adjacent to the south-western side of the subject site. Adjacent to the northern side of the subject site is the Nowra Family Day Care centre, and to the north of the subject site (28 Bridge Road) is the Shoalhaven Fire Control Centre (formerly the White Ensign Club). The block of land adjacent to the southern side of the subject site (formerly known as 34 Bridge Road) contains a low brick fence and the remains of the footings of the house that was demolished around 1980-81.

4.3 Subject Site

The subject site consists of a rectangular block of land on Bridge Road adjacent to the Shoalhaven City Council Chambers. The site contains the subject buildings: Jarman's Cottage and a laundry shed. A low brick fence is located on the Bridge Road side of the property and a concrete path leads up to the house from this fence. A mature Canary Island palm (*Phoenix canariensis*) is located to the south of the subject building.



Not to scale



Figure No 2: Subject site

4.4 Subject Buildings

4.4.1 JARMAN'S COTTAGE

4.4.1.1 Exterior

Jarman's Cottage is a single storey, Federation style house. The cottage has an asymmetrical facade and is constructed of face brick. The building has a corrugated iron gable hipped roof with a carved timber bargeboard over the entrance.

The verandah to the front of the building is supported by timber posts and carved timber brackets and is floored with timber boards. The lower portion of the verandah has been enclosed with fibro panels and has a brick base. The southern section of the verandah has been further enclosed with six-pane sliding and fixed windows with textured glass panels.

The entry door leading into the lounge room is timber panelled with a clear glass panel, timber side panels with sidelights and highlight windows.

The building has two roughcast rendered chimneys.

4.4.1.2 Interior

The interior of the subject building consists of an open verandah (S1), an enclosed verandah (S1a), entry foyer (S2), drawing room (S3), dining room (S4), kitchen (S5), rear entry hall (S6), bathroom (S7) and a toilet (S8), and two bedrooms (S9-S10).

The walls are plaster and the door architraves are Californian Redwood. The doors are timber panelled with highlight windows. The cornices are Scotia cornices. The windows are casement windows with highlight windows.

The open section of the verandah (S1) has timber floorboards. The bottom section of the verandah is enclosed with fibro sheeting.

The enclosed section of the verandah (S1a) has timber floor boards partially covered with carpet. A coloured textured window opens out into the verandah from the lounge room. The door leading out to the open section of the verandah is timber with textured glass panels. The door leading into the main bedroom is timber with a coloured, textured panel and highlight window, and a Carrara marble threshold.

The entry foyer (S2) has a carpeted floor. A lead-light awning window is on the northern wall. A suspended panel ceiling covers the original single-panel plaster ceiling. The original ceiling is highly decorative with ornate cornices and a centre decoration.

The drawing room (S3) has a carpeted floor. It contains a cast iron fireplace with a timber mantle and surround, and a tiled hearth. A suspended panel ceiling covers the original plaster panel ceiling. The original ceiling is highly decorative with ornate cornices and decorative panels with English and Briar Rose detailing.

The dining room (S4) floor is covered with linoleum. The walls have dado moulding. The ceiling is timber panelled. A brick fireplace is located in the north-eastern corner of the room. English Oak shelving is attached to the wall above the fireplace.

The kitchen (S5) floor is covered with linoleum. It contains a rendered brick fireplace. One bench top is marble. The splashbacks are tile and tilux. The overhead cupboards have textured glass panels.

The rear entry hall (S6) floor is covered with linoleum. The doorway leading into the dining room has a slate threshold.

The bathroom (S7) floor is covered with linoleum. It contains an original gas hot water system. The water closet and basin are recent. There is a built-in cupboard on the western wall.

The toilet (S8) has not been investigated.

The master bedroom (S9) has a carpeted floor. A suspended panel ceiling covers the original plaster panel ceiling. The original ceiling is highly decorative with ornate cornices and an Australian motif on the plaster panels.

The second bedroom (S10) has a carpeted floor. The ceiling is plaster panel with ornate cornices. There is a built-in wardrobe in the northern corner of the room.

Please refer to Figure No.3.

4.4.2 LAUNDRY SHED

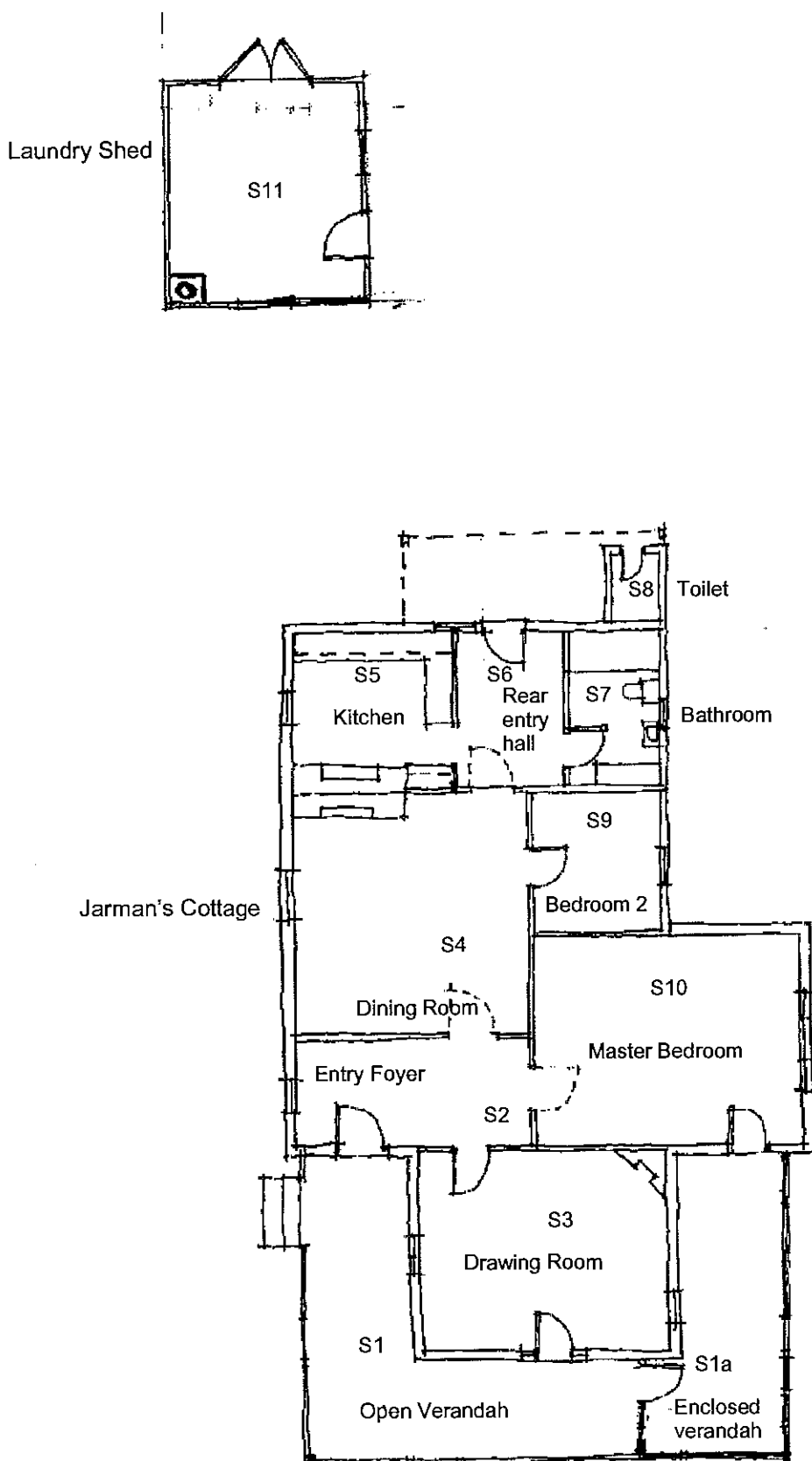
4.4.2.1 Exterior

The shed is constructed from fibro sheeting. It has a corrugated iron gable roof and a single face brick chimney. It has two double hung windows, a side entry door and a timber double door accessing the rear driveway.

4.4.2.2 Interior

The shed (S11) has timber floor boards. The foundation and surrounds of the copper in the shed remain in good condition, however the copper tub itself has been removed. The grate for the fire is also still intact. The architrave around the timber double door is of Californian Redwood.

Please refer to Figure No.3



Not to Scale



Figure No 3: Subject Buildings

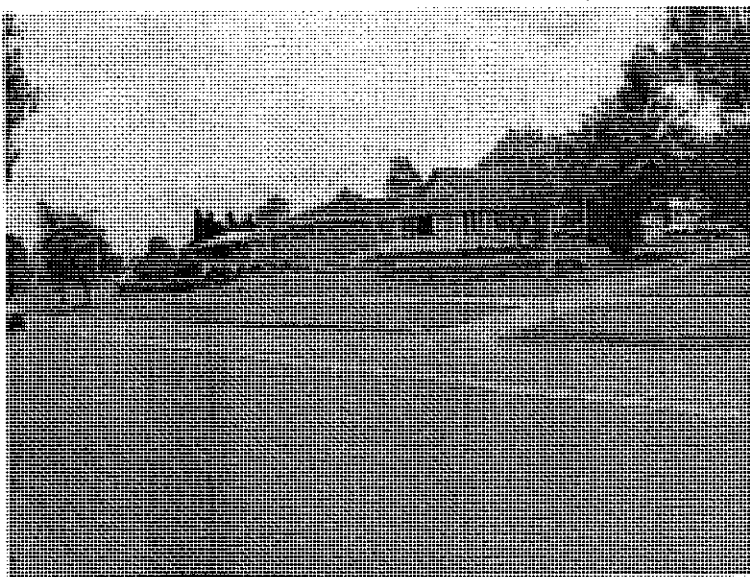
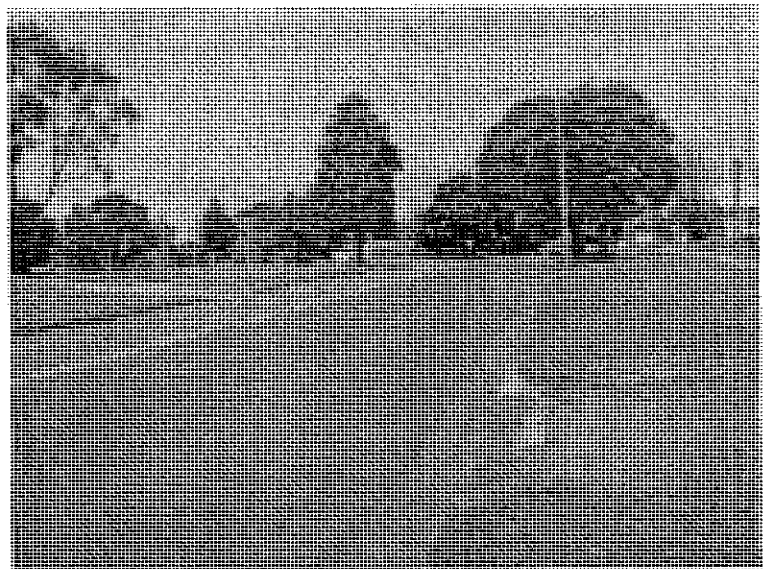
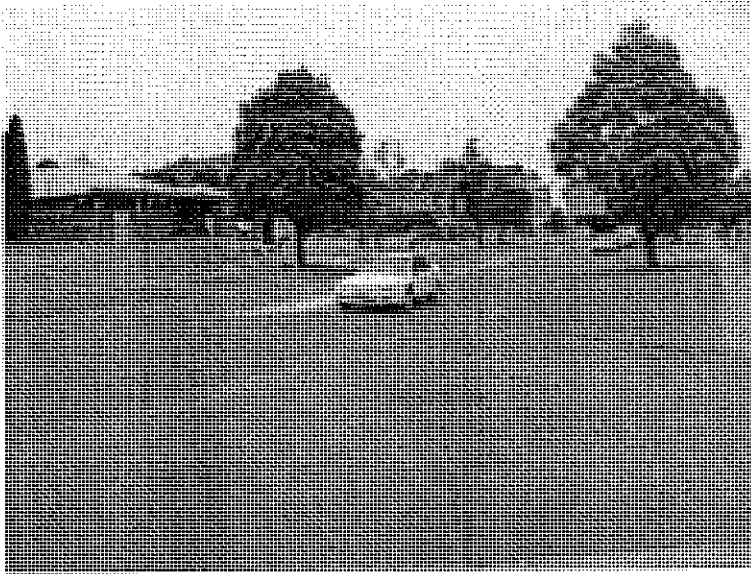


Figure No 4: View of Bridge Road and Jarman's Cottage from Princes Highway and Nowra gateway.
Figure No 5: View down Bridge Road towards Shoalhaven City Council Chambers.
Figure No 6: View of Jarman's Cottage towards Princes Highway and Nowra gateway.

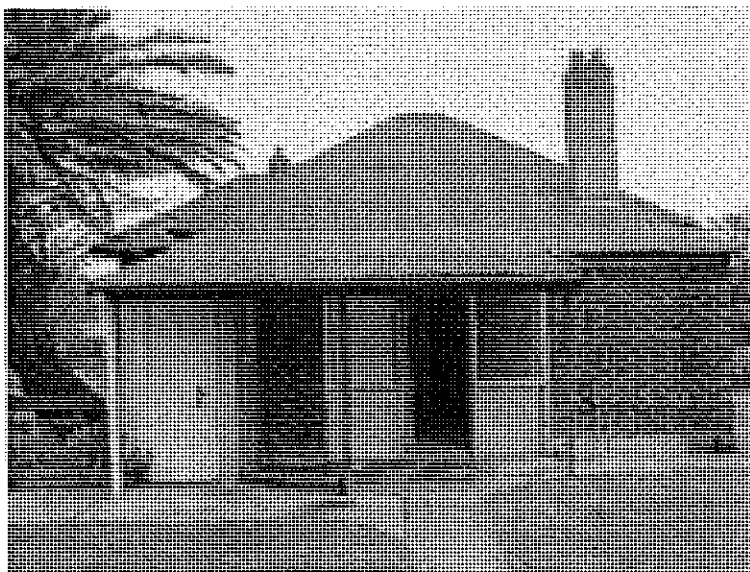
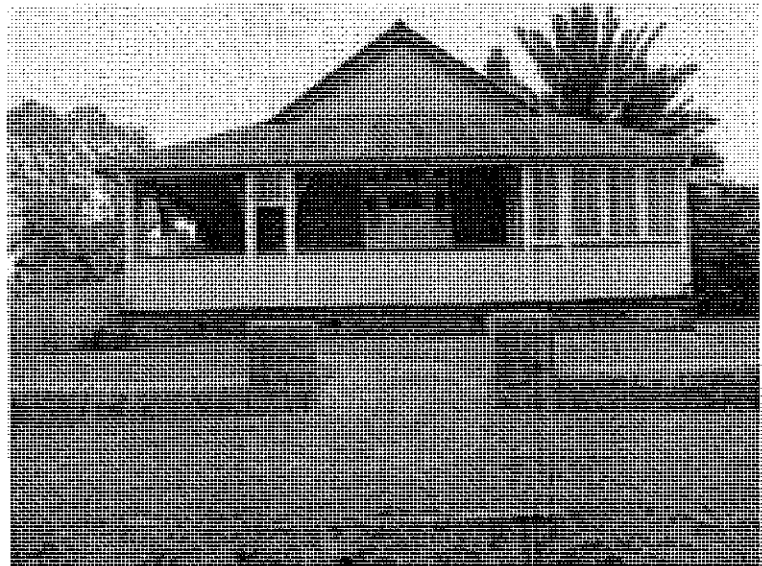
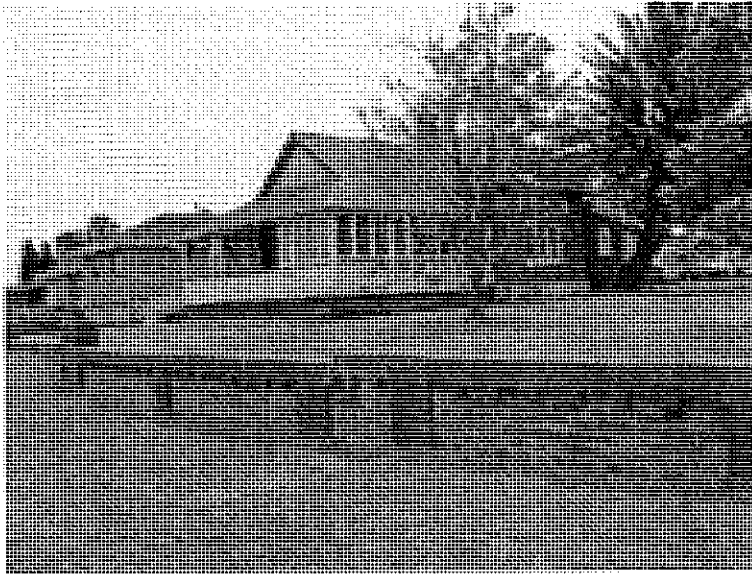


Figure No 7: Jarman's Cottage and adjacent property.
Figure No 8: Front elevation of Jarman's Cottage.
Figure No 9: Rear elevation of Jarman's Cottage.

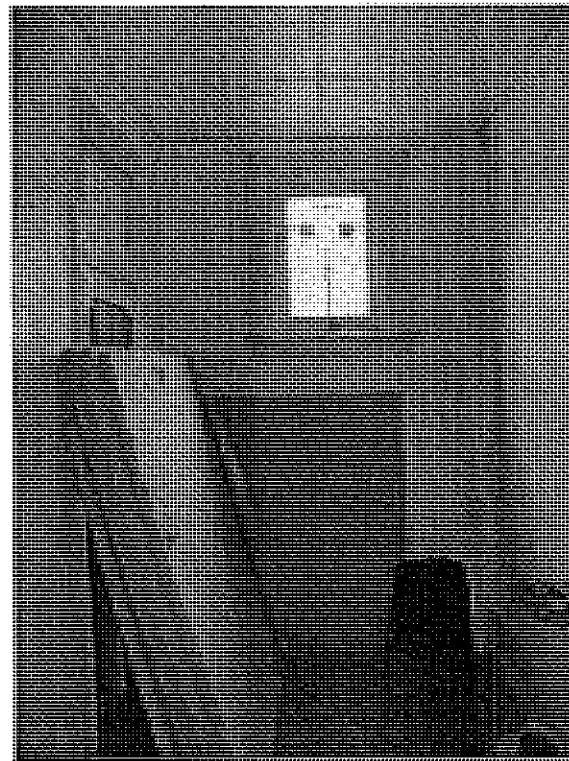
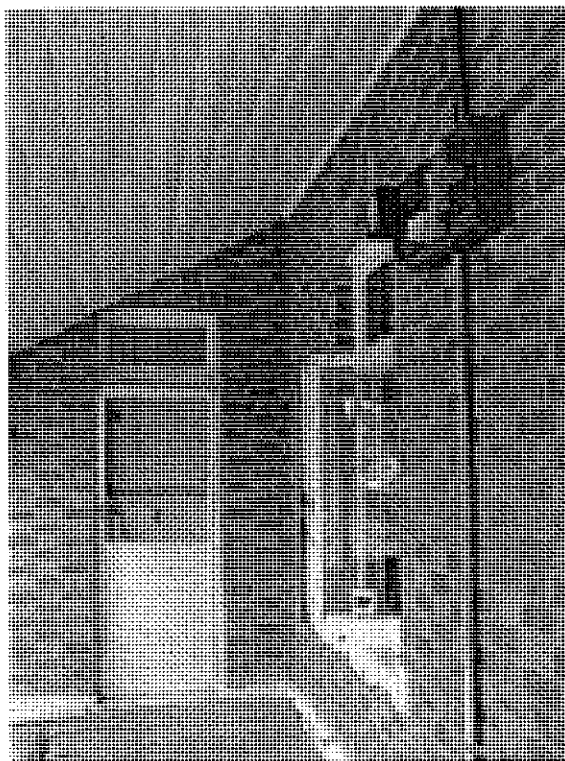
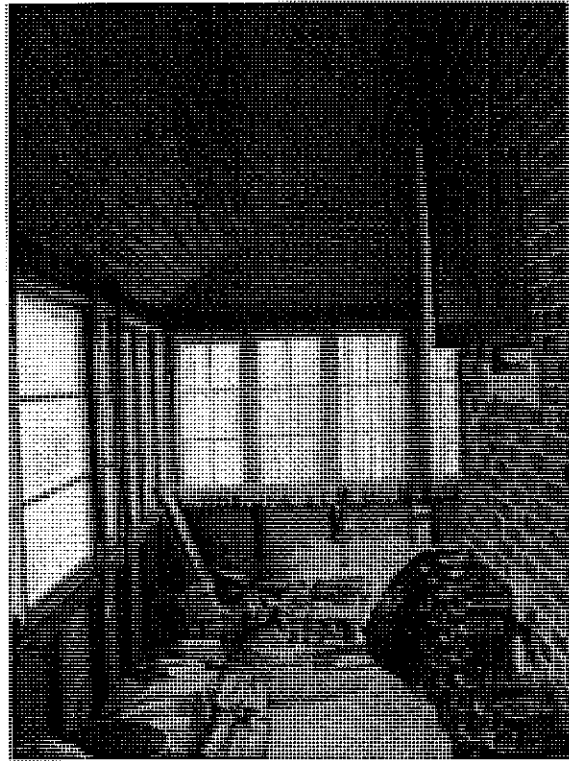
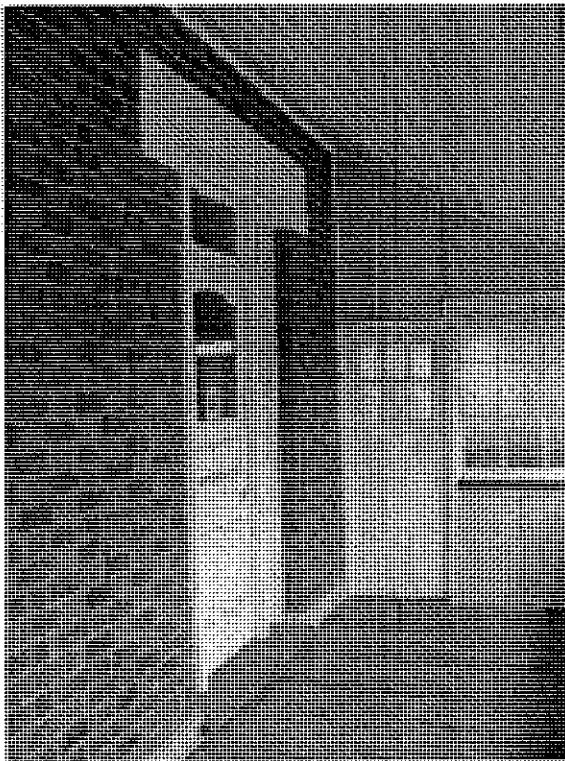
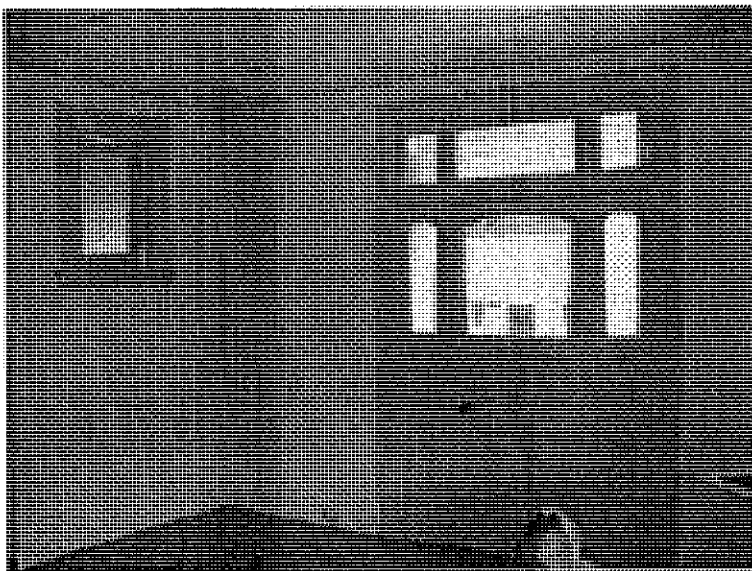
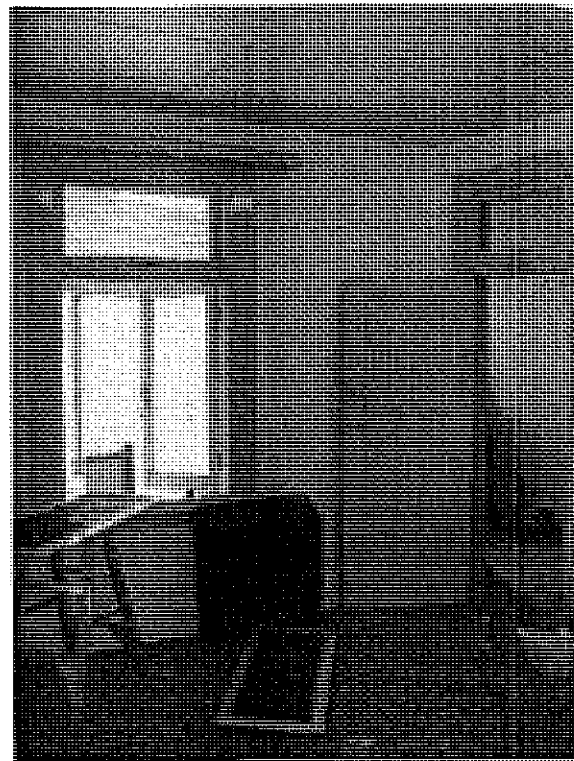
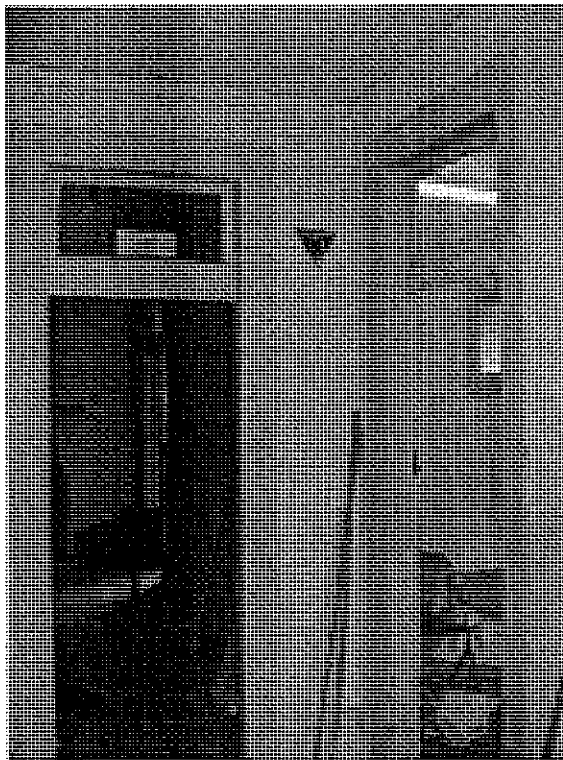


Figure No 10: Drawing room and enclosed verandah doors.
Figure No 11: Enclosed verandah interior.
Figure No 12: Entry door from open verandah.
Figure No-13: Entry foyer and lead light window



- Figure No 14: Drawing room and master bedroom doors from entry foyer.
Figure No 15: Drawing room from front door.
Figure No 16: Drawing room from entry foyer.
Figure No 17: Drawing room fireplace.

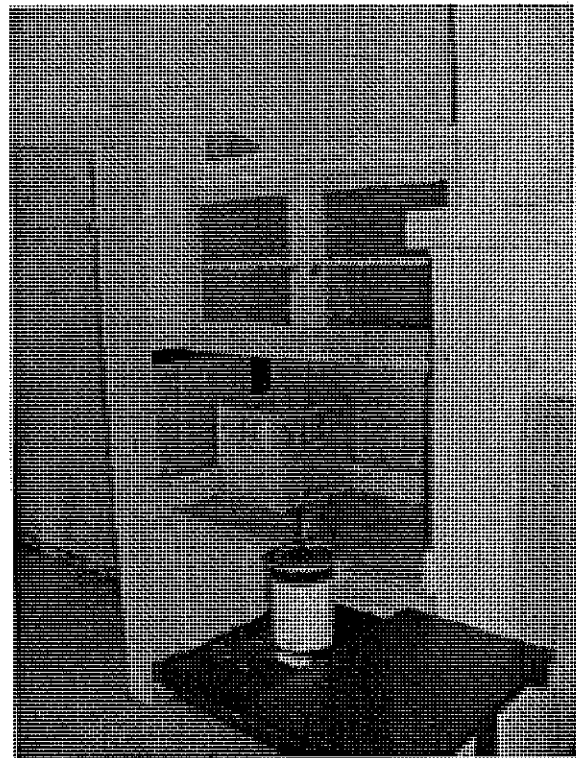
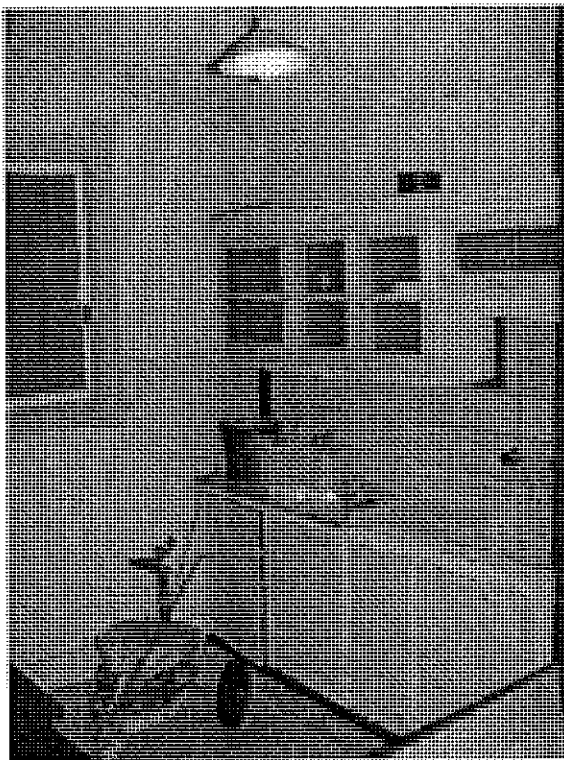
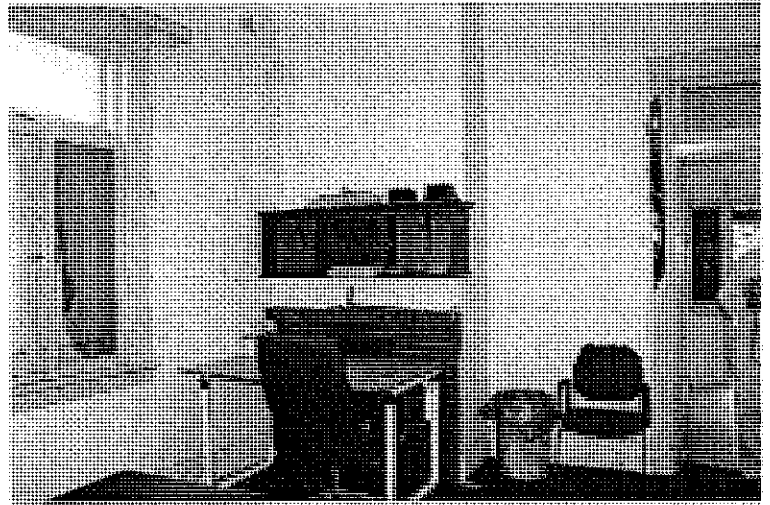
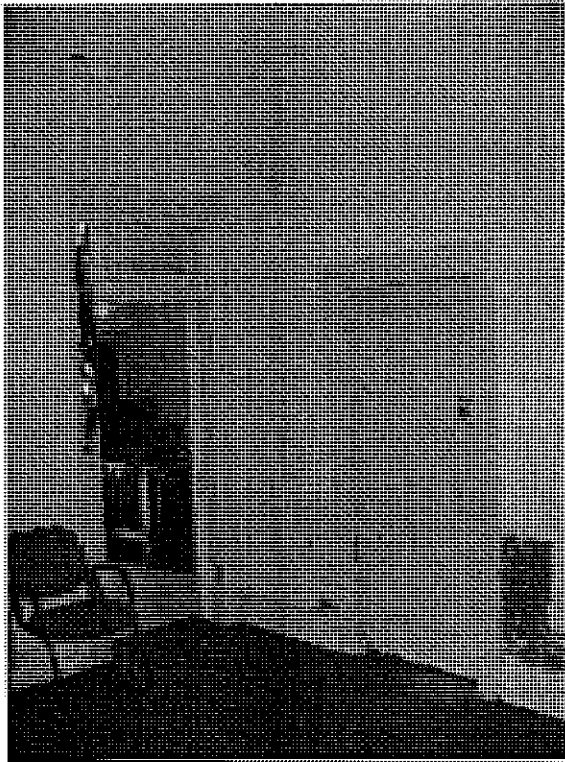


Figure No 18: Dining room.
Figure No 19: Dining room fireplace and window.
Figure No 20: Kitchen from rear entry hall.
Figure No 21: Kitchen and marble benchtop

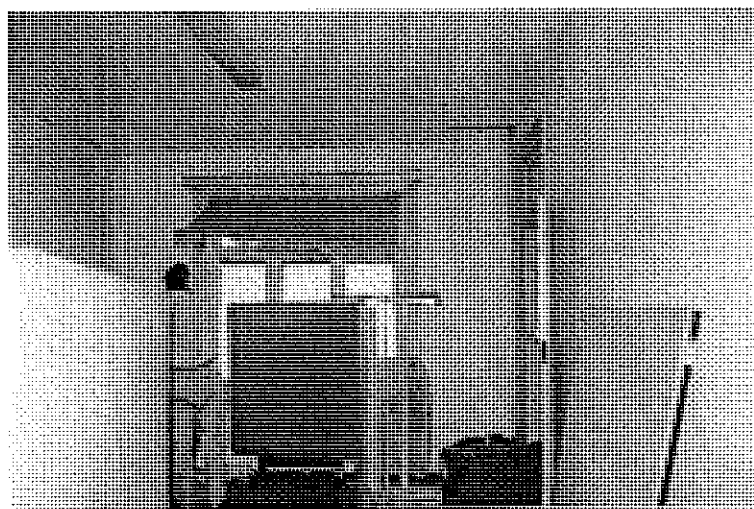
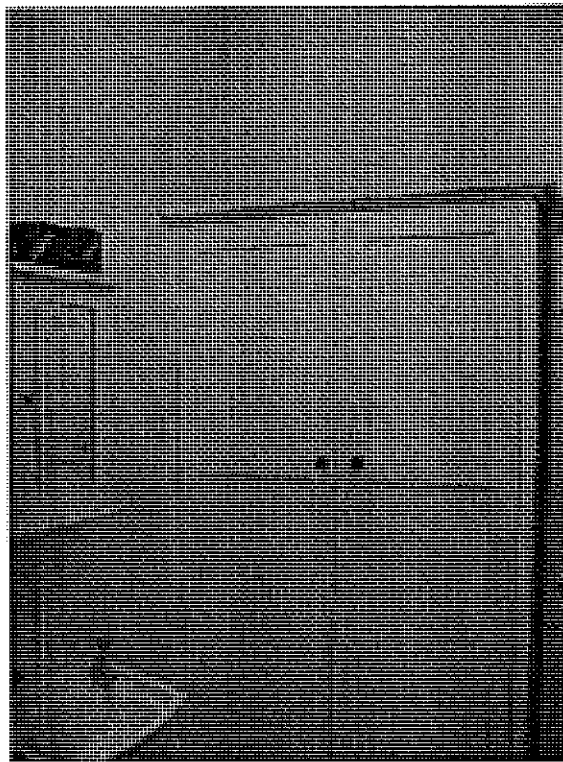


Figure No 22: Rear entry hall
Figure No 23: Bathroom cupboard.
Figure No 24: Bedroom 2
Figure No 25: Master bedroom.

5.0 Analysis of Documentary and Physical Evidence

5.1 Analysis of Documentary Evidence

A substantial amount of documentary evidence has been discovered as a result of research undertaken for the purposes of this report. Information has been discovered which identifies that the property was one of the first homes built on the eastern side of this historically significant road

A photograph from c1992 (refer Figure 26) indicates the concrete slab located between the rear of the house and the laundry shed contained a recent shed and therefore has no historical significance.

5.2 Analysis of Physical Evidence

Much of the original fabric of the site has been retained, allowing a clear confirmation of the documentary evidence of the site.

A number of the original features of the subject buildings provide clues as to the original uses of the structures. The enclosed portion of the verandah may have been used as an extra bedroom. The chimney and the foundation of the copper in the shed indicate that it was used as a laundry.

It appears the kitchen was originally an open lean-to that was later enclosed with fibro sheeting, possibly coinciding with a services upgrade to the house. The southern wall of the kitchen also appears to be an addition as it divides the back window. A slate threshold from the dining room door at the rear of the house indicates that this was the original back door. An early concrete slab is visible underneath the current floor level of the kitchen.

The site contains a Canary Island palm tree (*Phoenix canariensis*) and some small ferns to the south of the property and some grasses to the north-west of the property.

5.3 Comparative Analysis

This comparative analysis is based only on the housing stock of Nowra because Jarman's Cottage is of local significance to the Nowra district.

A typical Federation house would have been built from weatherboard and had a simpler floor plan. Jarman's Cottage is constructed of brick and has a more complicated floor plan, which is representative of the owner and builder, Jarman, being a carpenter by trade. Not only is Jarman's Cottage rare because of its type of construction, but also, for a modest cottage, it has been designed with more care and consideration than a typical house of that time in Nowra. There are many different housing types in Nowra, but of this Federation Period, Jarman's Cottage is a very good and rare example of a brick cottage constructed for the working class.

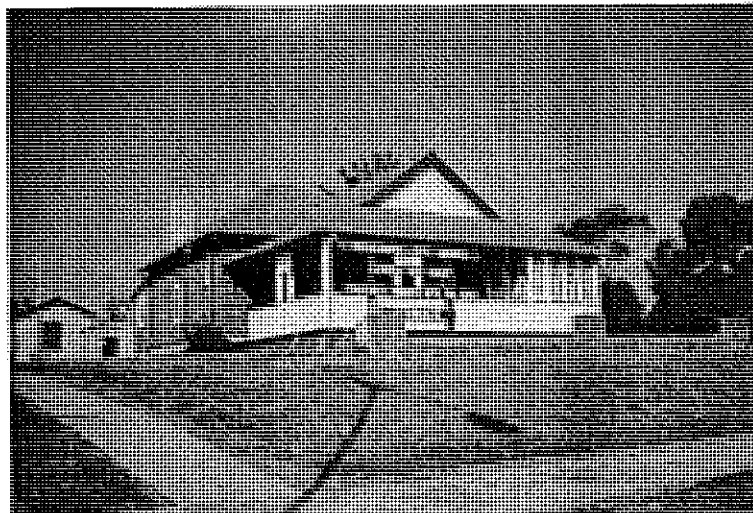


Figure No 26: Jarman's Cottage c1992 showing garden shed and laundry shed.

6.0 Assessment of Cultural Significance

6.1 NSW Heritage Assessment Criteria

This assessment of cultural significance for Jarman's Cottage has been based on the following criteria and guidelines contained in the NSW Heritage Manual produced by the NSW Heritage Office and NSW Department of Urban Affairs and Planning.

State significance means significance to the people of NSW.

Local significance means significance within the local government area.

An item will be considered to be of state (or local) heritage significance if, in the opinion of the Heritage Council of NSW, it meets **one or more** of the following criteria.

- Criterion (a)** - an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural and natural history of the local area);
- Criterion (b)** - an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural and natural history of the local area);
- Criterion (c)** - an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);
- Criterion (d)** - an item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons;
- Criterion (e)** - an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);
- Criterion (f)** - an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);
- Criterion (g)** - an item is important in demonstrating the principal characteristics of a class of NSW's
 - cultural or natural places; or
 - cultural or natural environments.(or a class of the local area's
 - cultural or natural places; or
 - cultural or natural environments.)

An item is not to be excluded from the Register on the ground that items with similar characteristics have already been listed on the Register

6.2 Statement of heritage significance

Jarman's Cottage is of **local** significance to the Shoalhaven area for the following reasons:

- 6.2.1 The subject site is significant to the Shoalhaven area as it is located on what was the main access road (and what is now the secondary access road) to the present and past city centre of Nowra following the construction of the first bridge over the Shoalhaven River. The location of the cottage stresses the civic importance of Bridge Road being the main access route to the Nowra city centre after the first bridge was constructed across the Shoalhaven River in 1881. The location of the cottage also forms part of the residential gateway into the Nowra community.
- 6.2.2 Jarman's Cottage is significant to the Nowra area as it represents an important period of growth in the community. As what is believed to be one of the first cottages built on Bridge Road, the cottage and the Jarman family have had a long and continuing association with the town of Nowra and its development.
- 6.2.3 The subject site and building is significant to the Shoalhaven area as it was built in c1915 (and most likely designed) by Alfred Claris Jarman. The Jarman family was well known in the Nowra area and members of the family continuously occupied the building for approximately 70 years until Council purchased the property in 1983.
- 6.2.4 Jarman's Cottage retains enough of its fabric to be a good example of a c1915 Federation Period Bungalow style cottage constructed of brick and cast iron roof which has a number of examples of rather fine detailing which are unusual for a simple cottage in the Shoalhaven area at the time. The building is relatively intact, retains good integrity and is in good condition.
- 6.2.5 Jarman's Cottage is significant to the Nowra area as it is illustrative of rare and typical design and construction techniques for the period.
- 6.2.6 Jarman's Cottage is significant to the Nowra area as it is one of the few remaining cottages on the eastern side of Bridge Road at the gateway to Nowra and forms part of the Bridge Road Housing Precinct.
- 6.2.7 Jarman's Cottage is significant to the Nowra area as it is located within the Bridge Road Landscape Precinct which illustrates the function of Bridge Road as being the gateway to Nowra.

6.3 Nature of significance

6.3.1 HISTORICAL SIGNIFICANCE

Jarman's Cottage has historical significance for its association with the Jarman family who were well known in the area and continuously occupied the building for approximately 70 years. The subject site is located on what was the primary access route to the city centre after the construction of the first bridge over the Shoalhaven River, thus emphasising the importance of Bridge Road.

Jarman's Cottage also has historical significance as it forms part of the Bridge Road Housing Precinct which contains rare and representative examples of architectural styles used in the late nineteenth and early twentieth centuries. This precinct further emphasises the importance of Bridge Road as the primary access road into Nowra from the north.

Further, Jarman's Cottage is historically significant because it forms part of the Bridge Road Landscape Precinct. The avenue of trees along Bridge Road again underlines the importance of Bridge Road as the main access road into Nowra.

6.3.2 AESTHETIC SIGNIFICANCE

Jarman's Cottage retains enough of its fabric to be a good example of a c1910 Federation period cottage constructed of brick which has a number of examples of rather fine detailing which are unusual for a simple cottage in the Shoalhaven area at the time.

6.3.3 SOCIAL SIGNIFICANCE

Jarman's Cottage has minimal social significance being one of the last remaining cottages of its type along what was once a residential street.

However, Alfred Claris Jarman was given the property by his father as a wedding present in 1915, and as a carpenter and builder with good standing in the community for his pride of workmanship, it is likely that the cottage was designed and built by Clarrie himself as a home for his family. His children were born and raised in the cottage and he and his wife both lived there until their deaths.

6.3.4 TECHNICAL / RESEARCH SIGNIFICANCE

Jarman's Cottage has technical / research significance as the cottage is illustrative of representative construction techniques for the period.

Most cottages of Federation style in the Shoalhaven district were constructed of weatherboard. Jarman's Cottage is a rare example of a Federation cottage in the Nowra area because it is constructed of brick, linking it to the Federation style developments in the major urban areas of Sydney. Marble thresholds to the main entrance and side doors also suggest a higher quality construction than usual for this type of cottage.

6.4 Items of significance

6.4.1 Following are individual elements located within the subject site which are considered to be of significance:

- Laundry shed, in particular copper, fireplace and chimney
- Canary Island Palm tree (*phoenix canariensis*)
- Front brick fence

6.4.2 Following are individual elements located within the subject buildings which are considered to be of significance:

- Generally
 - Decorative plaster panel moulded ceilings and cornices, particularly Australiana style
 - Californian redwood joinery
 - Tiled fireplaces with cast iron grates
 - Doors and door hardware
- Open and enclosed verandahs
 - Marble thresholds to side and entry doors
 - Electric converted gas light fitting
- Entry Foyer
 - Lead light and coloured windows
- Dining room
 - Dado moulding
 - English oak shelves
- Kitchen
 - Kitchen generally, particularly marble counter top, cupboards and sink
- Bathroom
 - Timber cupboard
- Bedroom 2
 - Timber cupboard

6.5 Heritage Assessment Matrix

Value	Representative	Rare
Historical	Local	Local
Aesthetic	Local	
Social	Local	
Technical/Research	Local	

6.6 Grading of Significance

Considering the physical and documentary evidence gathered, the Statement of Significance and various constraints, requirements and opportunities, the grading of significance is possible

This grading of significance has been based on the NSW Heritage Manual provided by the NSW Heritage Office and NSW Department of Urban Affairs and Planning.

Exceptional significance (Fulfil criteria for local or State listing)
Rare or outstanding item of Local or State significance.
High degree of intactness.
Item can be interpreted relatively easily.

High significance (Fulfil criteria for local or State listing)
High degree of original fabric.
Demonstrates a key element of the item's significance.
Alterations do not detract from significance.

Moderate significance (Fulfil criteria for local or State listing)
Altered or modified elements.
Elements with little heritage value, but which contribute to the overall significance of the item.

Little significance (Does not fulfil criteria for local or State listing)
Alterations detract from significance.
Difficult to interpret.

Intrusive (Does not fulfil criteria for local or State listing)
Damaging to the item's heritage significance.

6.6.1 SUBJECT SITE

The zones of significance are indicated on the site plan and are rated according to intactness from the highest level, one (1) down to the lowest, five (5).

6.6.1.1 EXCEPTIONAL SIGNIFICANCE (CATEGORY 1)

6.6.1.2 HIGH SIGNIFICANCE (CATEGORY 2)

6.6.1.3 MODERATE SIGNIFICANCE (CATEGORY 3)

6.6.1.4 LITTLE SIGNIFICANCE (CATEGORY 4)

6.6.1.5 INTRUSIVE (CATEGORY 5)

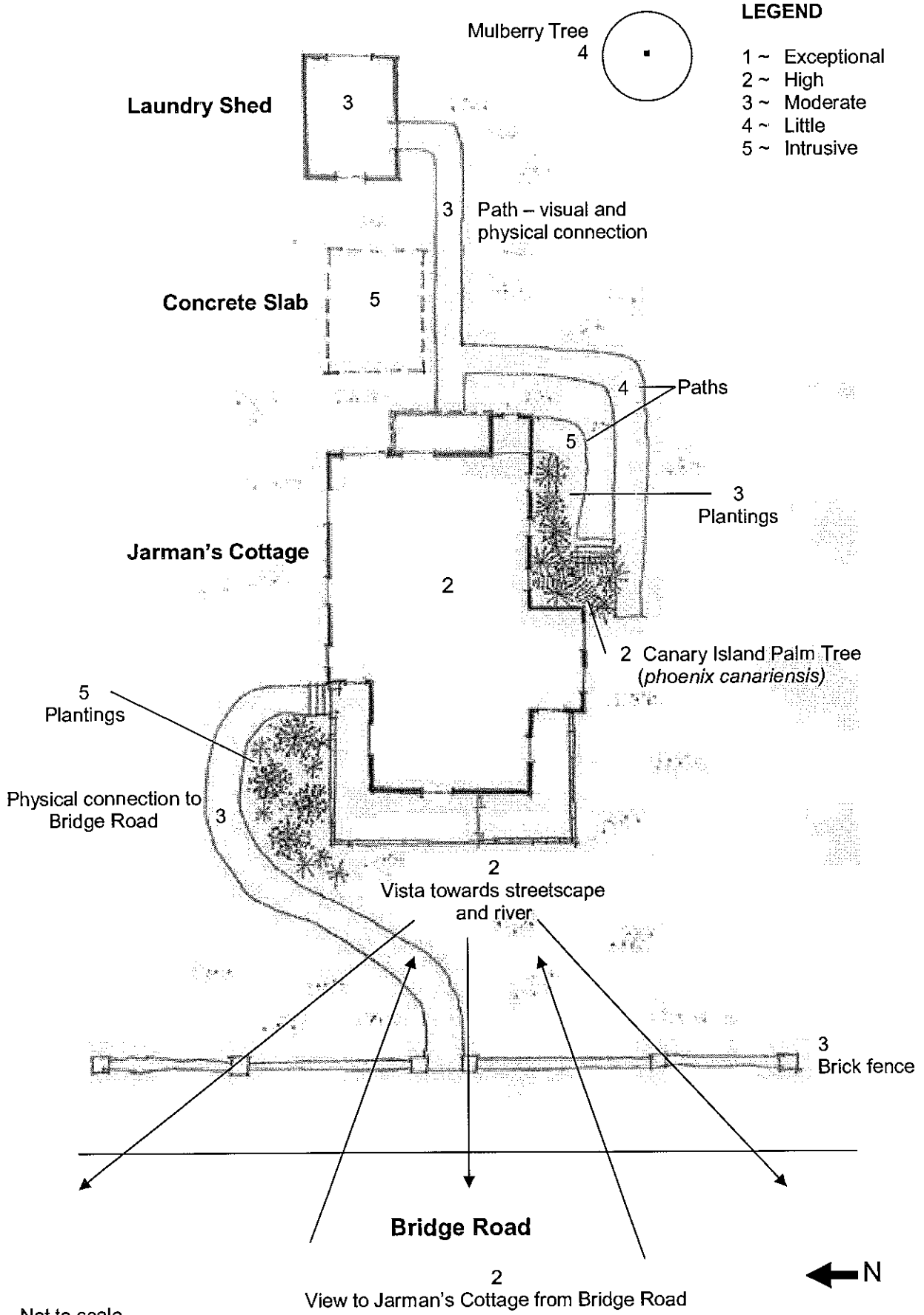


Figure No 27: Levels of Significance - Subject Site

6.6.2 SUBJECT BUILDING

The zones of significance are indicated on the floor plans and are rated according to intactness from the highest level, one (1) down to the lowest, five (5).

Because of the limited nature of this assessment, this grading of significance is only an approximate based on the following considerations

- (i) Period of Construction
- (ii) Architectural and historical quality
- (iii) Architectural integrity

6.6.2.1 EXCEPTIONAL SIGNIFICANCE (CATEGORY 1)

6.6.2.2 HIGH SIGNIFICANCE (CATEGORY 2)

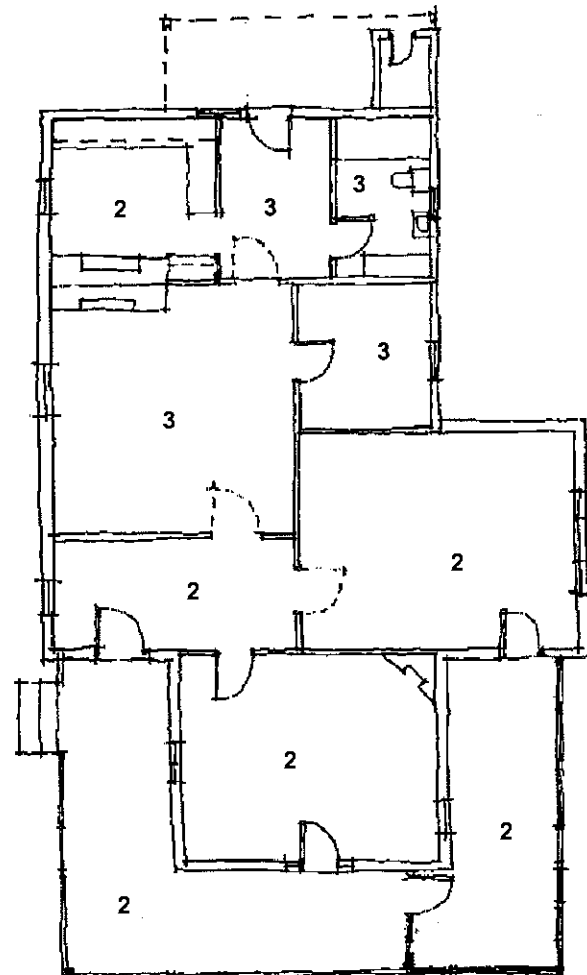
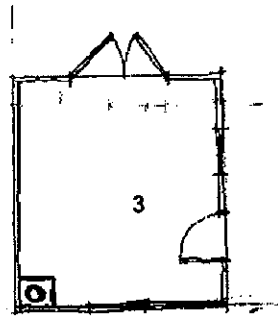
6.6.2.3 MODERATE SIGNIFICANCE (CATEGORY 3)

6.6.2.4 LITTLE SIGNIFICANCE (CATEGORY 4)

6.6.2.5 INTRUSIVE (CATEGORY 5)

LEGEND

- 1 ~ Exceptional
- 2 ~ High
- 3 ~ Moderate
- 4 ~ Little
- 5 ~ Intrusive



1 Fireplaces
1 Ceilings

Not to scale



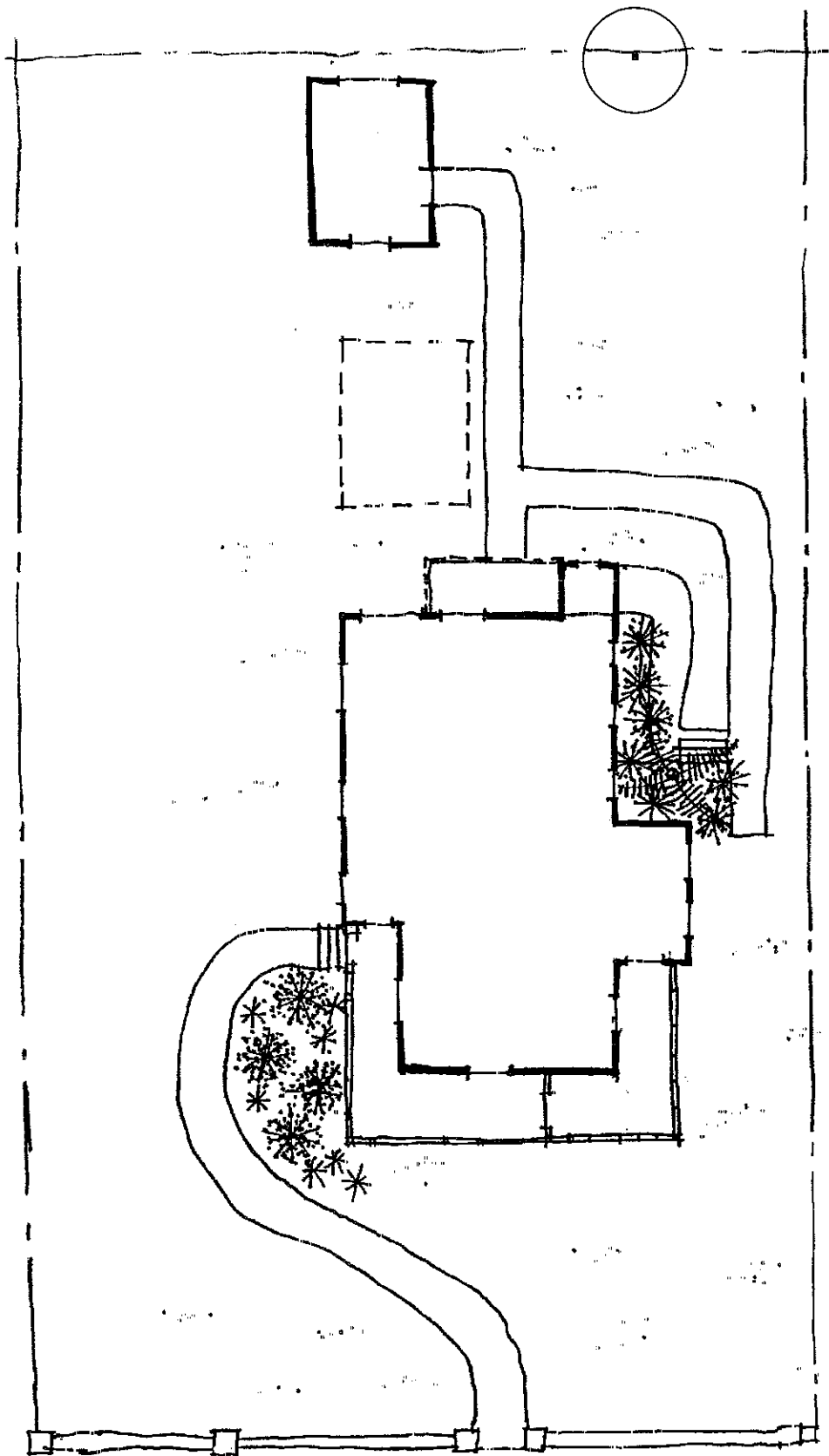
Figure No 28: Levels of Significance - Subject Building

6.7 Definition of curtilage

An analysis of the documentary and physical evidence has determined that the existing boundaries of the subject site (refer to Figure No 29) form an appropriate immediate curtilage for the subject buildings.

The adjacent southern property forms an appropriate surrounding curtilage. (Refer to Figure No.30).

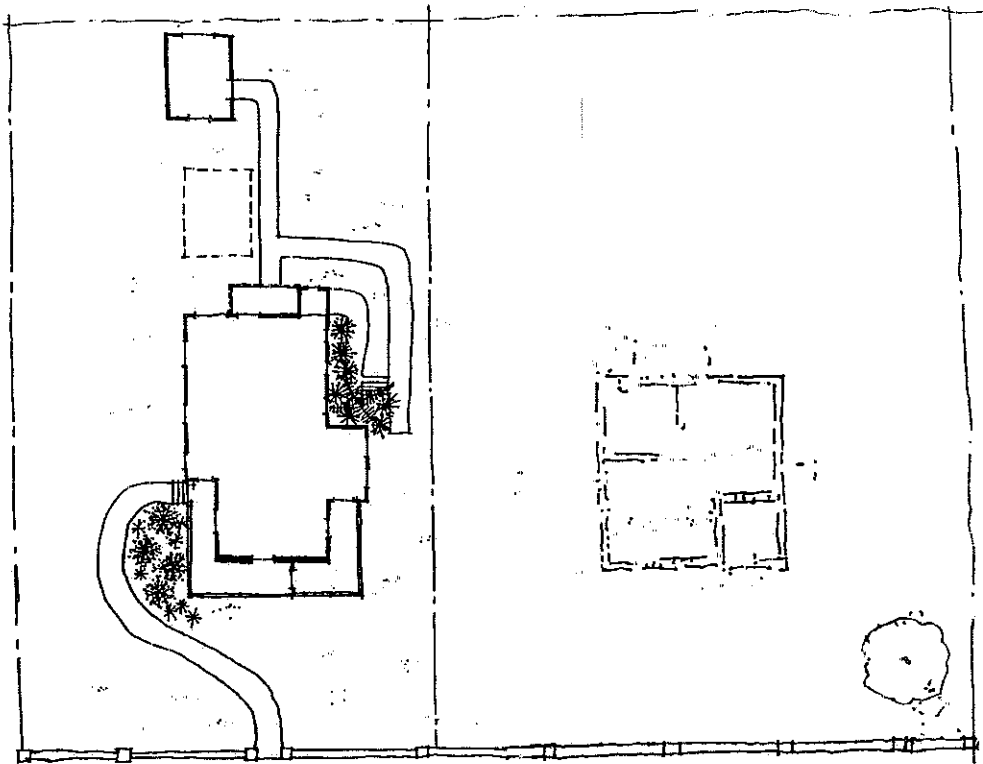
Future development may be carried out to the eastern side of the subject site. The development should have regard to the setting and design of the property and to the scale, style and character of adjacent development. (Refer to Figure No.32).



Not to scale



Figure No 29: Immediate curtilage of the subject site.



Not to scale

Figure No 30: Surrounding curtilage of the subject site

7.0 Constraints and Opportunities

This section outlines the main constraints and opportunities that need to be addressed in the conservation management policy for the site and building

7.1 Physical constraints and requirements arising from the statement of significance

- 7.1.1 No activity should be allowed that confuses the fact that Jarman's Cottage constitutes an important component of the cultural development of the Nowra area and the Shoalhaven district.
- 7.1.2 The subject site's early planning, detailing and design features should be conserved.
- 7.1.3 The subject buildings should be conserved as an example of a Federation period residential building and an early laundry.
- 7.1.4 Significant landscape elements and plantings should be retained and conserved.
- 7.1.5 Significant fabric should be retained in-situ and conserved.
- 7.1.6 Associated items of significance should be retained in-situ and conserved.
- 7.1.7 No activity should take place that could destroy a potential archaeological resource. This applies to the areas below and in the vicinity of the subject site.
- 7.1.8 Any new building, services, landscaping or activities on the site or in the vicinity of the site should have regard to the setting and design of the property and to the scale, style and character of adjacent development.

7.2 Procedural requirements (conservation methodology)

Since the subject site is of cultural significance, any work at the site or in the vicinity of the site should be done in accordance with the principles of the Australia ICOMOS Burra Charter. In particular the following procedural requirements (conservation methodology) should be noted.

Burra Charter

- Article 3-** *Conservation work should be based on a respect for existing fabric. It should not distort the evidence provided by the fabric.*
- Article 13-** *Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric and only if returning the fabric reveals the cultural significance of the place.*
- Article 15-** *Restoration is limited to the reassembling of displaced components or removal of accretions in accordance with Article 16.*
- Article 16-** *Contributions of all periods must be respected.*
- Article 20-** *Adaptation is acceptable where the conservation of the site cannot otherwise be achieved, and where adaptation does not substantially detract from its cultural significance.*
- Article 23-** *Existing fabric should be recorded before any disturbance.*
- Article 24-** *Study of the site by any disturbance of the fabric or by archaeological excavation should be undertaken where necessary to provide data essential for decisions on the conservation of the place.*

7.3 Constraints and requirements arising from the physical and documentary evidence

It is reasonable to assume that more evidence, both physical and documentary, may come to light as a result of further research or during the implementation of major conservation works at the site. This may include information on early decorative schemes, archaeological information, or further evidence revealed, for example, by intervention to the fabric or from other resources. This new information should be taken into account when making any decisions regarding the future of the item.

7.4 Constraints and requirements arising from the physical condition

7.4.1 GENERALLY

Generally, the subject building retains sufficient of its fabric to allow interpretation of its early configuration. Many early design features remain in place

7.4.2 STRUCTURAL STABILITY

The general condition of the house building appears to be sound.

It should be noted that a detailed structural engineers study has not been prepared in conjunction with this study. Regular monitoring and repair of damaged structures as necessary is essential.

7.4.3 WATER DAMAGE

There is no visible water damage to the structure of the buildings. It should be noted that no intervention into fabric has been undertaken as part of this study.

7.4.4 PEST INFESTATION

No evidence of pest infestation has been able to be detected. It should be noted that a detailed pest infestation study has not been prepared in conjunction with this study.

7.4.5 PEDESTRIAN ACCESS

Pedestrian access to the site is currently available from Bridge Road. Access to the rear yard is also possible from the Shoalhaven City Council carpark.

7.4.6 VEHICLE ACCESS, CAR PARKING AND DELIVERY

Vehicle and delivery access is currently available from Bridge Road. Car parking is available in Bridge Road, the rear access laneway and in the Shoalhaven City Council carpark.

7.5 External constraints

7.5.1 STATUTORY HERITAGE CONSTRAINTS

Approval from the following authorities is required before major changes are made to the items included in their heritage registers.

7.5.1.1 NSW Heritage Council

The subject site is not listed on the State Heritage Inventory.

7.5.1.2 Shoalhaven City Council

The subject site is listed in the City of Shoalhaven Local Environmental Plan 1985.

7.5.1.3 Department of Urban Affairs and Planning

The subject site is listed in the Illawarra and Macarthur Regional Environmental Plan.

7.5.2 NON-STATUTORY HERITAGE CONSTRAINTS

The following are non-statutory lists with no legally binding requirements. However, a listing on these registers is generally regarded as being an authoritative statement about the heritage significance of an item.

7.5.2.1 Australian Heritage Commission

The subject site is not listed on the Register of the National Estate.

7.5.2.2 National Trust of Australia (NSW)

The subject site is not listed on the National Trust Heritage Register.

7.6 Opportunities and constraints arising out of ownership and use

7.6.1 OWNERSHIP

The site is owned by Shoalhaven City Council.

The owners require maximum use of the site whilst retaining and conserving the heritage significance and values. They would like to see the site used by the community.

The site is classified as 'operational land' pursuant to the Local Government Act 1993. The site is zoned Special Uses 5(a) under the Shoalhaven Local Environment Plan 1985. The objectives for this zone are:

to identify land for certain community facilities and services including areas for off-street parking in private ownership

7.6.2 USES

From the time of construction until Council purchased the property, Jarman's Cottage was used as a residential dwelling. After Council purchased the property, Jarman's Cottage was used for office accommodation, a Family Day Care Centre and storage facility. Following are the present uses of the site.

7.6.2.1 Jarman's Cottage

Jarman's Cottage is used as a depot by Shoalhaven City Council workers.

7.6.2.2 Laundry Shed

The laundry shed is used as a storage shed by Shoalhaven City Council workers.

7.6.3 OPPORTUNITIES

7.6.3.1 Alterations and Additions

Due to the size of the subject site, Jarman's Cottage could have sympathetic alterations and additions made to it to bring it in line with current standards.

7.6.3.2 Driveway Access

The access way to the north of the subject site could be used as a driveway access for the property and a garage constructed to the rear to house the resident's vehicles

7.6.3.3 Interpretation

The footings of the neighbouring property to the south could be incorporated into the Jarman's Cottage site as a means of interpreting Bridge Road as a once residential street.

7.6.3.4 Residential/Commercial Use

Jarman's Cottage could be used for residential and/or commercial use.

8.0 Conservation Policy

The following is a conservation policy arising out of the Statement of Significance, the Physical Condition and other constraints (refer to Section 7). An approach should be chosen for the subject site that allows as many as possible of these conservation policies to be implemented.

The implementation of this policy will allow the clear interpretation of the significance of the site and the most appropriate way of caring for the significant fabric.

8.1 Definitions

Following are the definitions of conservation terms as used in the Burra Charter.

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

(For the purposes of this report the *place* is to be known as the study area).

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Fabric means all the physical material of the *place* including components, fixtures, contents and objects,

Conservation means the process of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use that respects the *cultural significance* of a *place*. Such use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

8.2 Conservation procedures at the site

8.2.1 BURRA CHARTER CONSERVATION METHODOLOGY

Generally, treat the site as being of cultural heritage significance, and consequently guide works and activities at the site by the provisions of the Australia ICOMOS Burra Charter.

8.2.2 MANAGEMENT OF THE SITE

Manage the site in a way that allows the maximum of this policy to be implemented and followed.

The policies outlined in this document should be adopted as the guide to future planning and work at the site.

8.2.3 CONSERVATION TEAM

Personnel skilled in disciplines of conservation practice, including professionals, skilled building and engineering trades, etc shall be engaged as appropriate to advise or implement conservation works at the site.

Personnel involved in the documentation and implementation of works at the site should be recorded for future reference.

8.2.4 SYSTEMATIC RECORD

Carry out, catalogue and archive systematic surveys of the site, before, during and after any works in accordance with NSW Heritage Office and NSW Department of Urban Affairs and Planning Guidelines.

Any new information that comes to light during and after works at the site should be recorded in a report, a copy of which shall be held at the archive of the site.

8.2.5 ARCHIVAL OF THE SITE

Assemble, catalogue and make readily available to the public for inspections, copies of all known historical drawings, pictorial documents and written records relating to the site in a permanent archive of the site.

8.2.6 REVIEW THIS CONSERVATION MANAGEMENT PLAN

This report shall be consulted and specific proposals for the site assessed in the light of the recommendations of this report. Revise this Conservation Management Plan after major works have been carried out at the site and otherwise at regular intervals, firstly five (5) years from its adoption.

8.2.7 DOCUMENTATION OF CONSERVATION WORKS

Any proposed works to heritage items shall be documented in a way that allows scrutiny by others before they are executed and can be retained for posterity. The documentary or physical evidence upon which conservation decisions are made for each part of the element should be cited. A copy of the documentation, including schedules and drawings, shall be held at the archive of the site.

8.2.8 ARCHAEOLOGICAL FINDS

Assemble, catalogue and safely house any archaeological finds that have been, or are in the future, removed from the site.

8.2.9 INTERPRETATION

Jarman's Cottage should be easily interpreted as being a residence. Any future uses should assist this interpretation

8.2.10 COMMUNITY INVOLVEMENT

The local community should be given the opportunity to participate in and contribute to decisions that are made about the use and management of the site.

8.2.11 FUNDING

Avenues for funding and sponsorship should be explored.

8.3 Subject site

8.3.1 The relationship between Jarman's Cottage and the laundry shed should be conserved

8.3.2 Any development in the vicinity of the subject site should be carefully considered to ensure that it does not negatively impact on the significance of the subject site.

8.3.3 All sub-surface areas below and adjacent to the site should be considered to have archaeological potential.

8.3.4 Generally, any new interventions should be carefully designed to avoid any disturbance of archaeological items potentially located on the site and adjacent areas

8.3.5 In the event that any disturbance has to take place, a suitable heritage consultant should be engaged to assess, record and monitor the works.

8.3.6 The Canary Island palm tree (*phoenix canariensis*) should be retained and conserved.

8.3.7 The brick fence should remain in place.

8.3.8 Plant *murraya paniculata* hedge along front brick fence.

8.3.9 Remove grasses to north-west corner of subject building and plant sympathetic shrub (i.e. a *camellia*).

8.3.10 Plant sympathetic shrub (i.e. a "Florida" *gardenia jasminoides*) to south of property (in line with master bedroom window)

8.3.11 Retain and conserve existing mulberry tree to rear (east) of property.

8.3.12 Plant mulberry and variety of citrus trees to rear (east) of property.

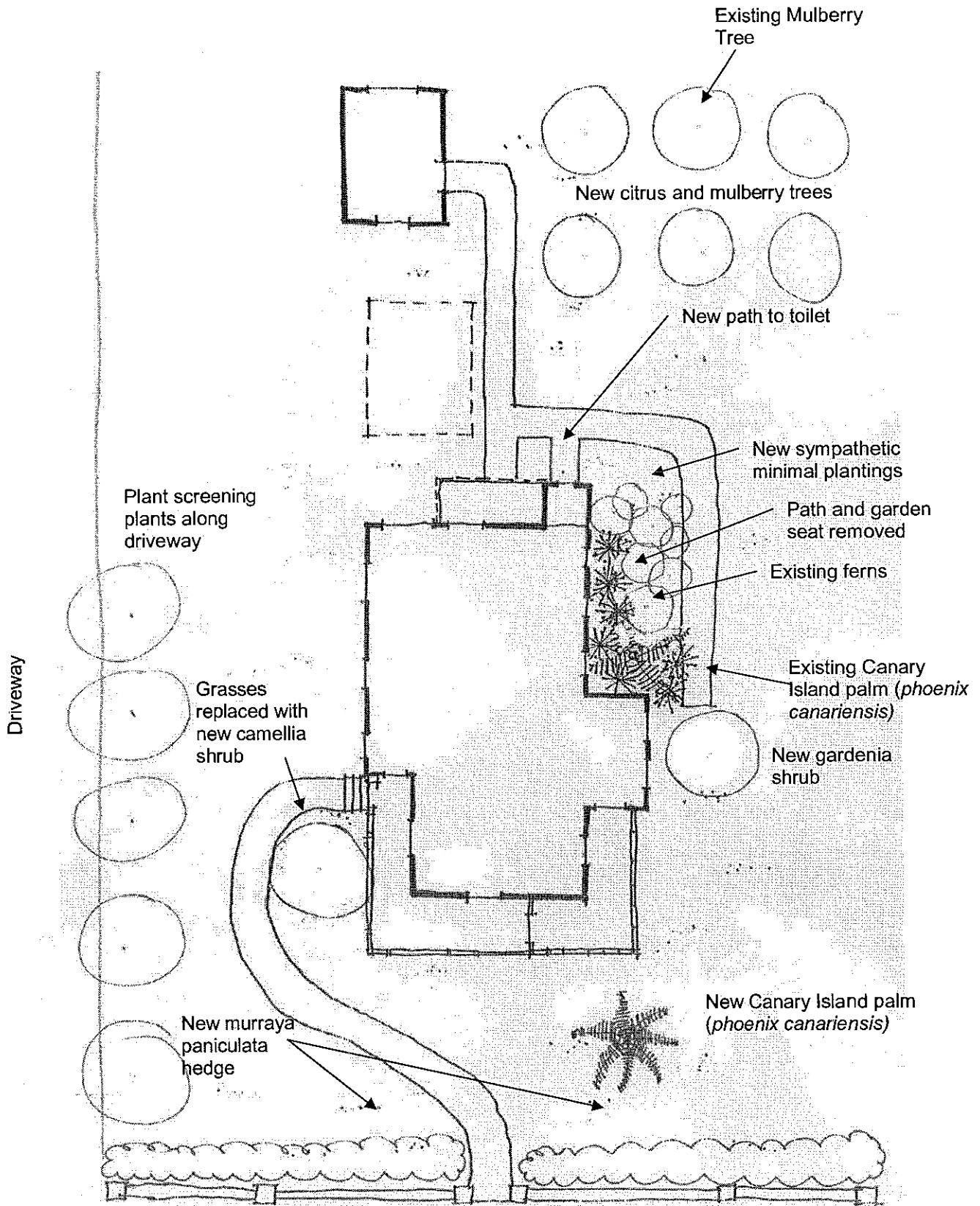
8.3.13 A palm tree of same or similar species to the existing Canary Island palm (*phoenix canariensis*) should be planted in the south west corner of the property.

8.3.14 A concrete path should be laid to the toilet from the existing concrete path.

8.3.15 The concrete path bordering the garden located closest to the south façade of the subject building is an intrusive element and should be removed.

8.3.16 The timber and metal bench to the southern path is an intrusive element and should be removed

Refer Figure No 31.



Not to scale



Figure No 31: Proposed landscaping works

8.4 Subject building

- 8.4.1 The character of Jarman's Cottage, being that of a Federation period residential dwelling with rather fine detailing, should be conserved.
- 8.4.2 The character of the Laundry shed, which is of an early building which has had a number of different uses, should be conserved.
- 8.4.3 The suspended ceilings should be removed from the Entry Foyer, Drawing Room and Master Bedroom, and the original ceilings restored and conserved.
- 8.4.4 More sympathetic lighting should be established throughout the cottage.
- 8.4.5 Any new use of the subject building should relate to the historical use of the building as a residence.
- 8.4.6 Any new works to the building should be carefully designed so as to not interfere with the significance of the building and have limited impact on significant fabric.
- 8.4.7 Original and early significant fabric of Jarman's Cottage should be conserved. This includes but is not limited to the following:

Externally

- Brickwork
- Timber including but not limited to the bargeboard
- Windows
- Chimneys

Internally

- Flooring
- Skirting
- Walls
- Picture rails
- Decorative ceilings and cornices
- Doors and door hardware
- Joinery
- Fireplaces

- 8.4.8 New interventions including repairs should be reversible, sympathetic and clearly interpreted by means of introduced interpretive devices or by method of style of construction, as new work.
- 8.4.9 A new laundry facility sympathetic to the setting and style of the cottage should be constructed to the rear of the cottage.

9.0 Implementation Strategy

This implementation strategy is not prescriptive, rather it is intended as a set of recommendations for the implementation of the conservation policy. Any other proposals for the site should comply with the conservation policies contained in Section 8 of this report.

9.1 Immediate Works

9.1.1 General conservation works should be undertaken immediately by Council to prevent further deterioration of the significant fabric of the building.

The works should follow the recommendations of the Schedule of Maintenance Works contained in Appendix C of this report. All works should be done in accordance with the conservation policies contained in Section 8 of this report, especially policy 8.2.3.

9.1.2 General maintenance should be undertaken on a regular basis, beginning immediately.

9.1.3 Reinstate missing windows and window components to dining room, bedroom 2 and bathroom to match existing.

9.1.4 All windows and components should be checked and repaired or replaced to match existing where necessary. This includes, but is not limited to, metal hardware, timber frame, sill and sashes, and glazing.

9.1.5 Reinstate all missing doors to the cottage.

9.1.6 All doors and components should be checked and repaired or replaced to match existing.

9.1.7 Remove all suspended ceilings and repair decorative ceilings and cornices where necessary

9.2 Future works

9.2.1 Adopt the proposed colour scheme for the site which is contained in Appendix D of this report.

9.2.2 The concrete slab to the rear of the cottage is an intrusive element and should be removed.

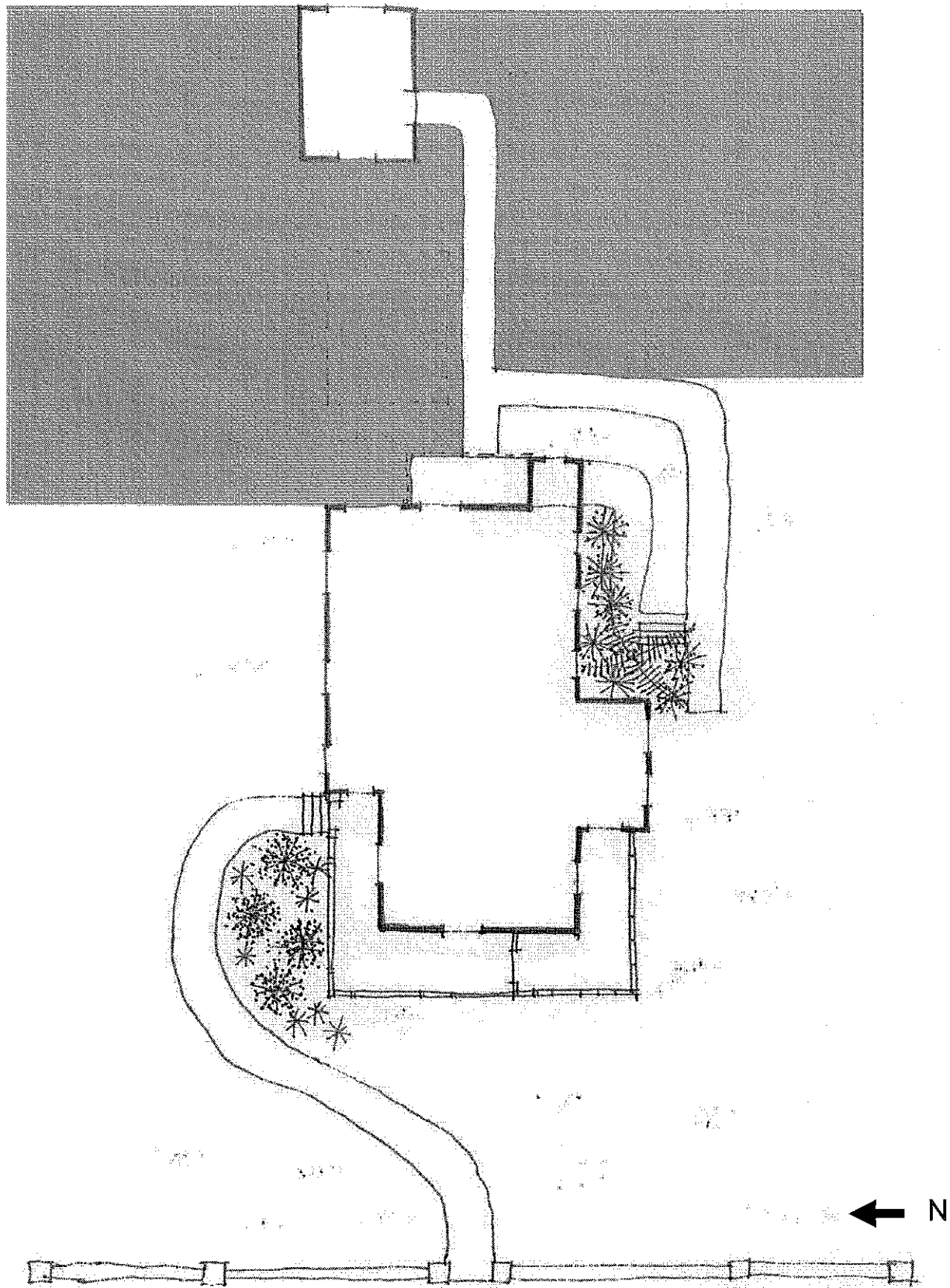
9.2.3 Remove the concrete path that runs from the toilet down to the Canary Island palm (*phoenix canariensis*) and the garden seat are intrusive and should be removed.

9.2.4 Planting could be reinstated to the boundary of the site adjacent to the southern side of the subject site to identify the former residential subdivision pattern.

9.3 Landscaping

9.3.1 Landscaping of the site should be undertaken in accordance with the conservation policies contained in Section 8 of this report as follows:

- Retain and conserve the Canary Island palm tree (*phoenix canariensis*) (8.3.6)
- Retain and conserve the brick fence (8.3.7)
- Plant murraya paniculata hedge along front fence (8.3.8)
- Remove grasses to north-west corner of subject building and plant sympathetic shrub (8.3.9)
- Plant sympathetic shrub to south of property (in line with master bedroom window) (8.3.10)
- Retain and conserve existing mulberry tree to rear (east) of property. (8.3.11)
- Plant mulberry and variety of citrus trees to rear (east) of property. (8.3.12)
- Plant a Canary Island palm tree (*phoenix canariensis*) to the front of the cottage (8.3.13)–



Not to scale


LEGEND	
	Sympathetic Development

Figure No 32: Areas appropriate for sympathetic development.

9.4 Options for future use

The feasibility of these options should be investigated with close reference to the constraints and requirements of this Conservation Management Plan and the conservation policies contained in Section 8 of this report

9.4.1 GENERALLY

A new structure to contain laundry and bathroom facilities may be constructed if additional facilities are required if the subject building is to be used for community or private purposes.

9.4.2 RESIDENCE

Ideally, the subject building should continue to be used as a residence. This will ensure that the building is maintained to an appropriate standard. The laundry shed may continue to be used as a storage area however care needs to be taken that the condition of the building does not deteriorate.

9.4.3 COMMUNITY USE (GENERAL)

The building may be used for general community purposes such as meetings of community groups, education, arts & crafts, or cultural centre. Care should be taken, however, that the building is fully used to ensure that it remains maintained.

9.4.4 COUNCIL USE (GENERAL)

Jarman's Cottage may be used for general council purposes such as a day care centre for Council Staff. Care should be taken, however, that the building is fully used to ensure that it remains maintained.

9.4.5 COMMUNITY USE (MEDICAL)

The use of the building for community medical use is appropriate as it would involve relatively little intervention into the significant fabric of the building and would not require that the spaces be altered.

9.5 Management

Future day-to-day management of the site should be undertaken in close consultation with the local community. This will empower the community and enable Shoalhaven City Council to determine the best use of the subject site.

9.6 Funding Opportunities

Shoalhaven City Council may be eligible for grant funding to assist them to meet the costs of conservation at the site. Possible sources of funding include:

- NSW Heritage Office program – next running towards the end of 2002
- Local Council grants

It should be noted that competition for the Heritage Office funding is very strong and the NSW Heritage Office prefers that adaptive reuse occurs at a site such as Jarman's Cottage to allow it to be run at a revenue neutral (or profit) for Council rather than relying on grants.

Appendix A

Historical Figures and Documentation

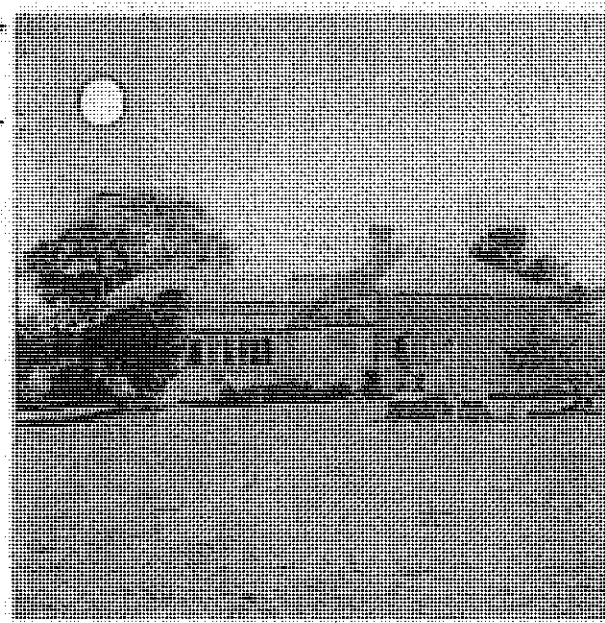
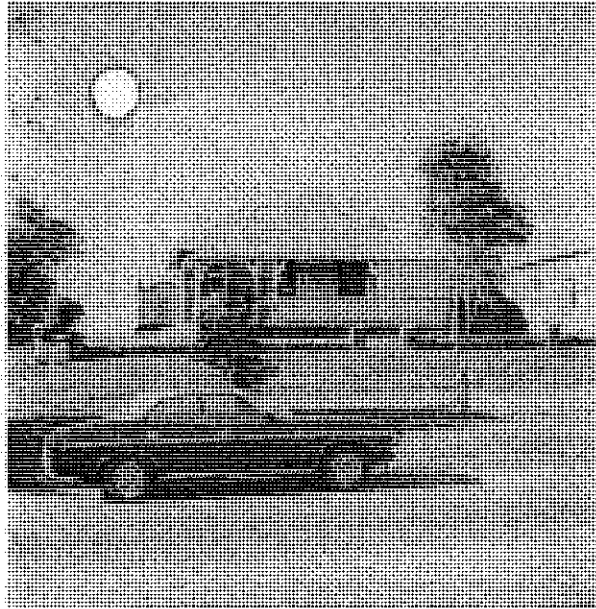


Figure 1: 32 Bridge Road (now known as 34), September 1963.
Figure 2: 34 Bridge Road, demolished about 1980/81.

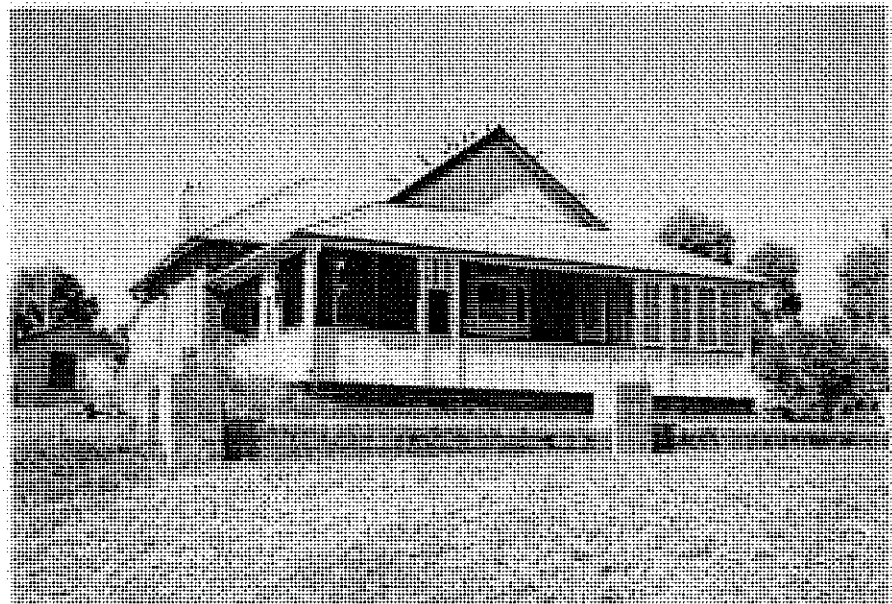
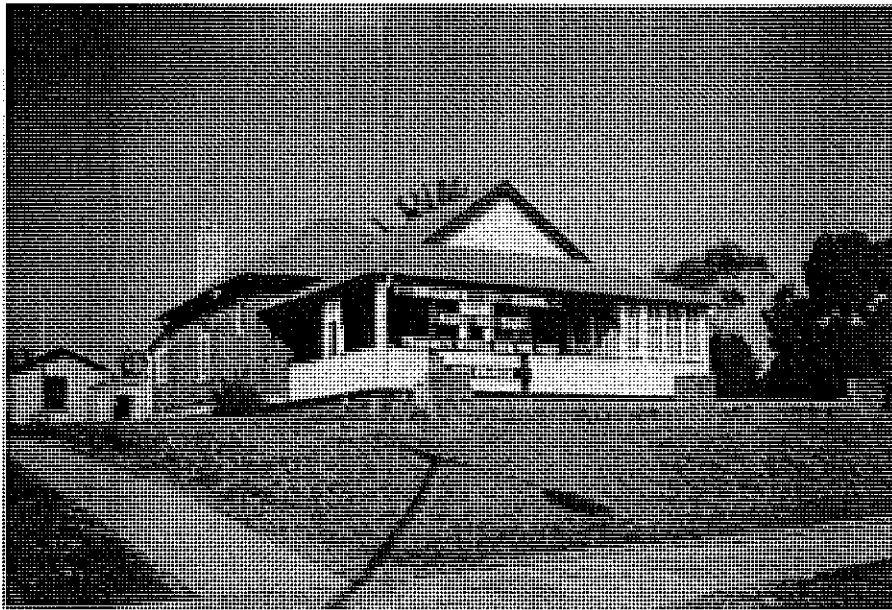


Figure 3: Jarman's Cottage, c.1992.
Figure 4: Jarman's Cottage, 1997.

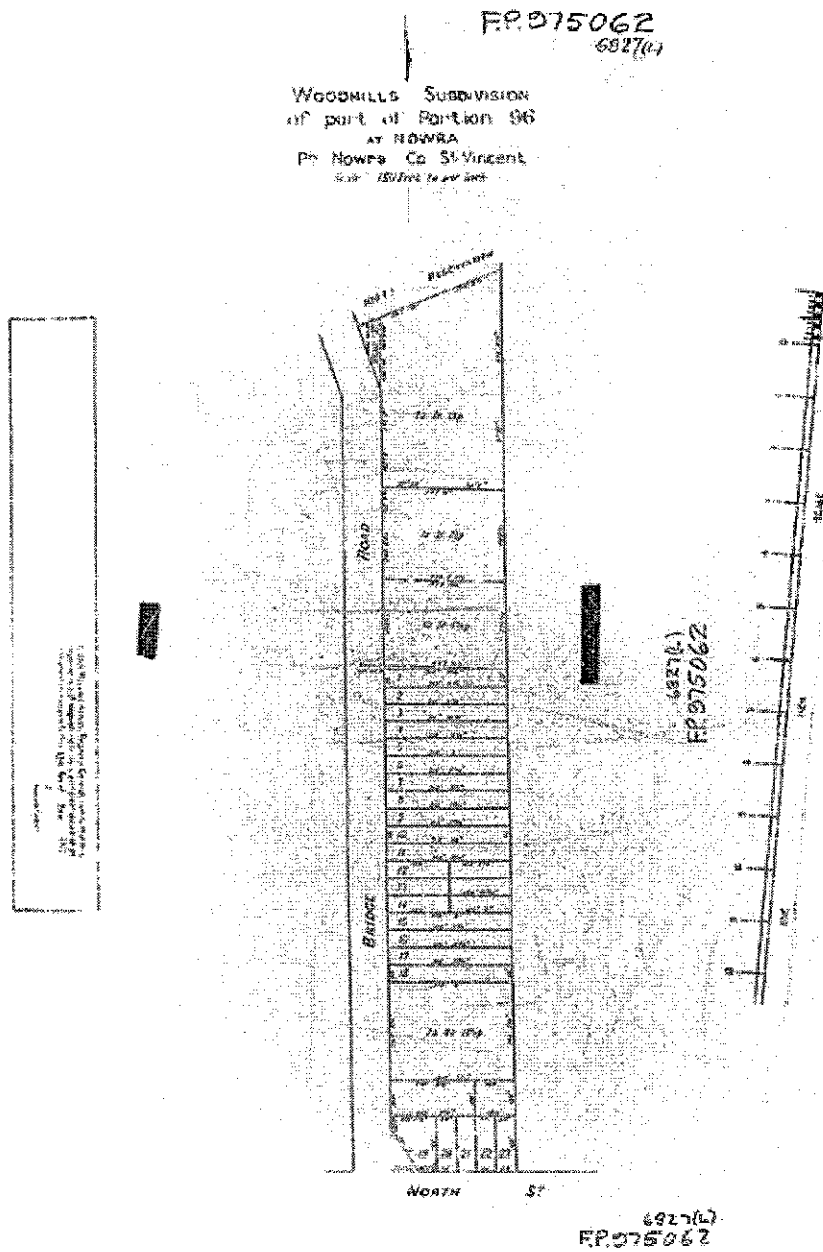


Figure 5: Woodhills subdivision plan of Bridge Road.

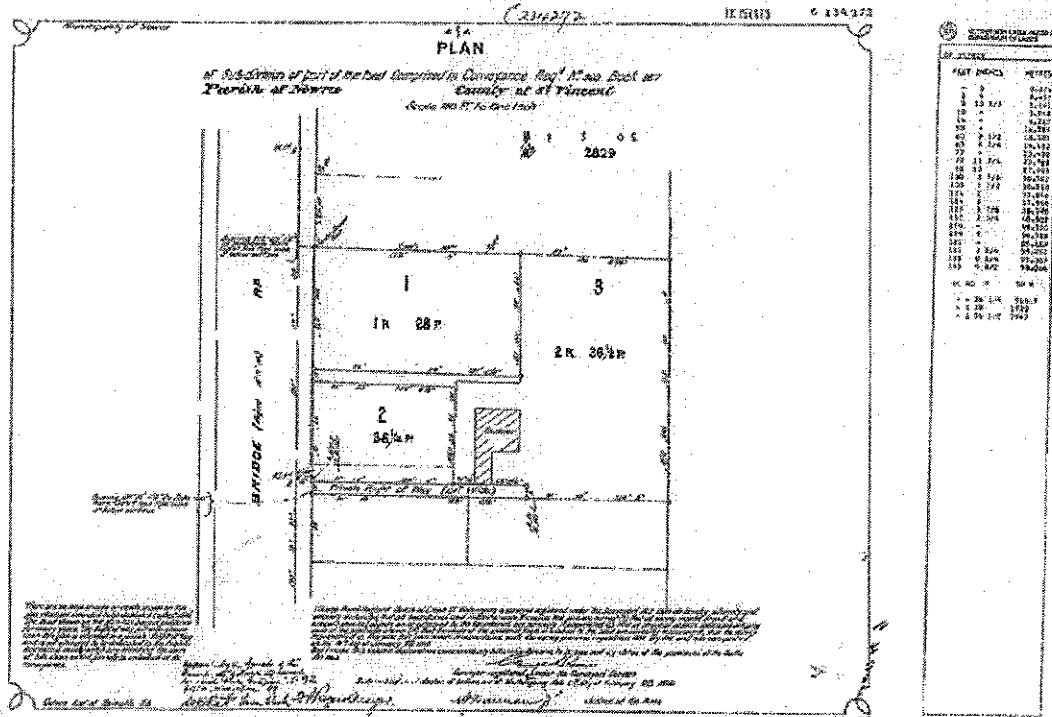


Figure 6: 1934 plan of subdivision on Bridge Road.

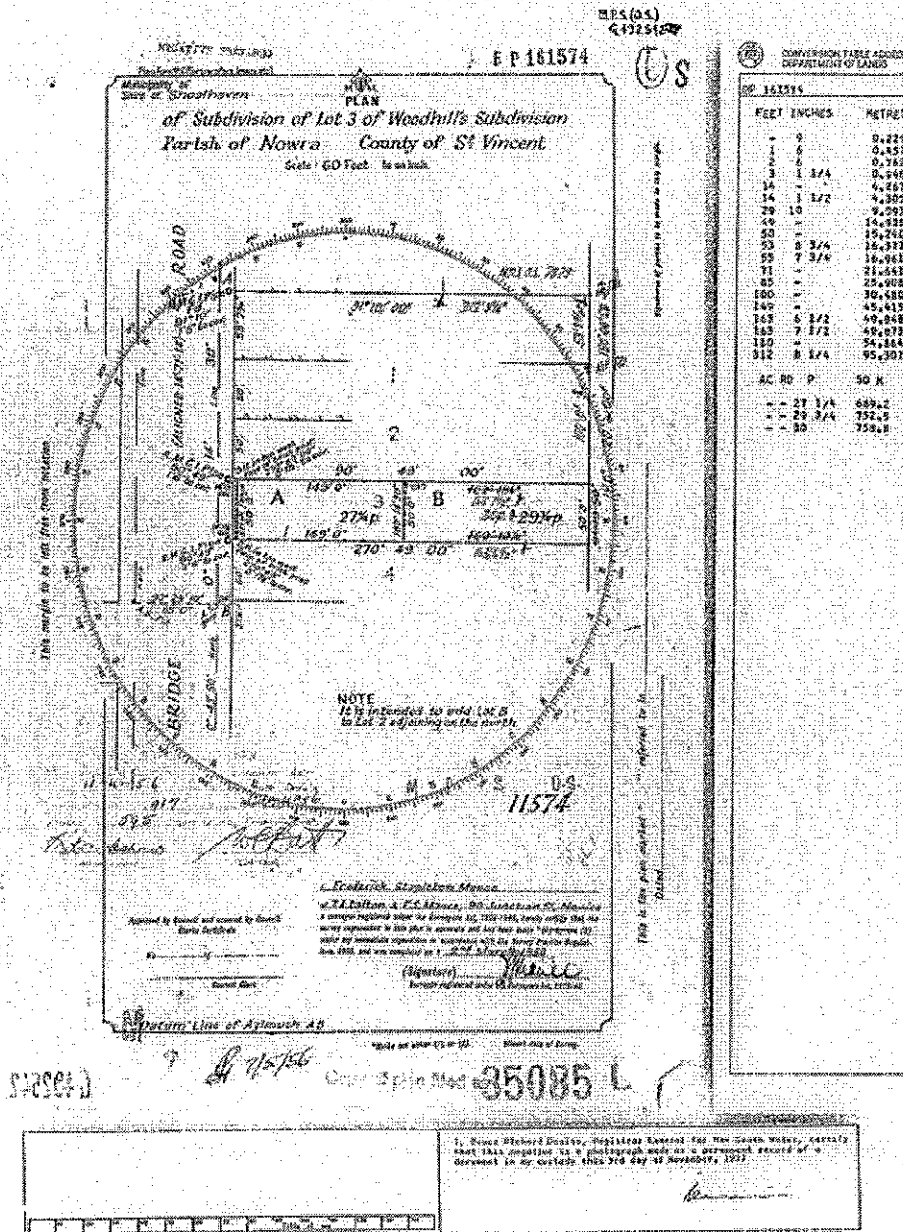


Figure 7: 1956 plan of subdivision on Bridge Road.

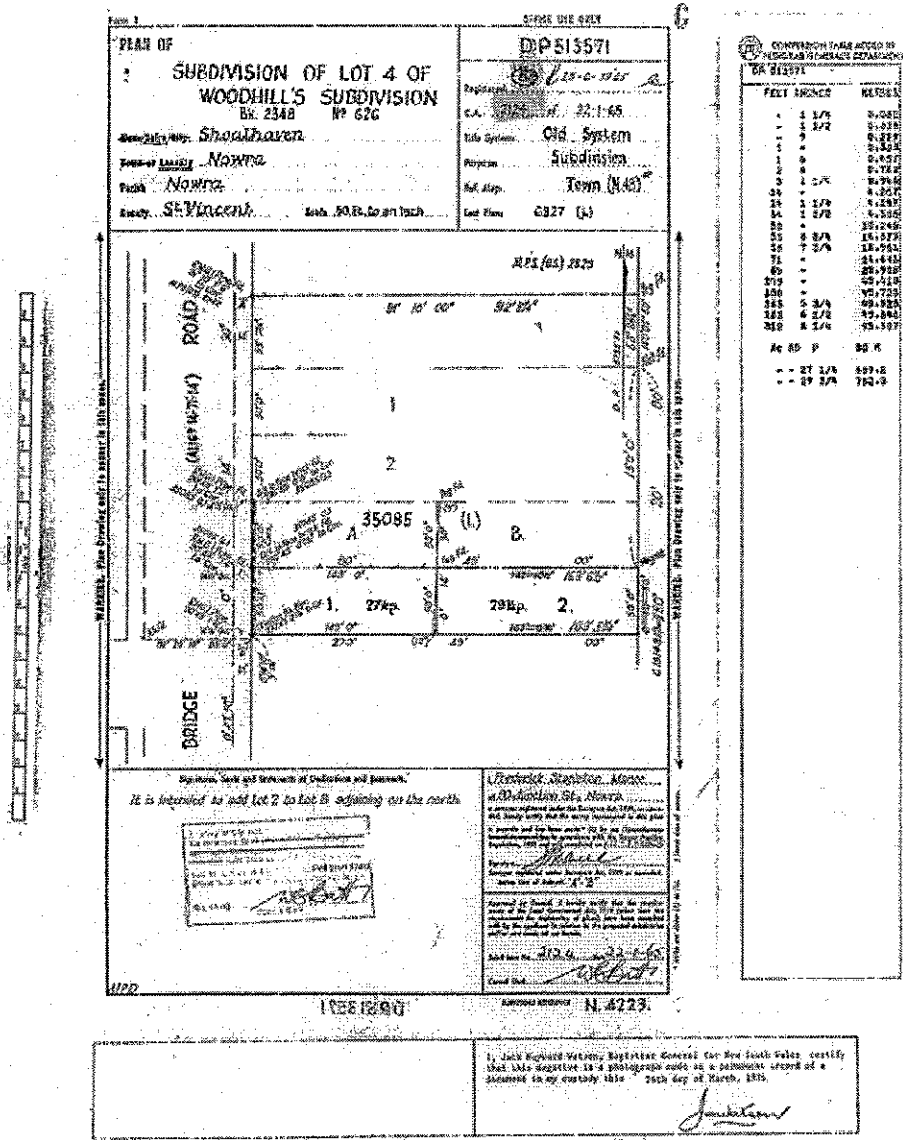


Figure 8: 1965 plan of subdivision on Bridge Road.

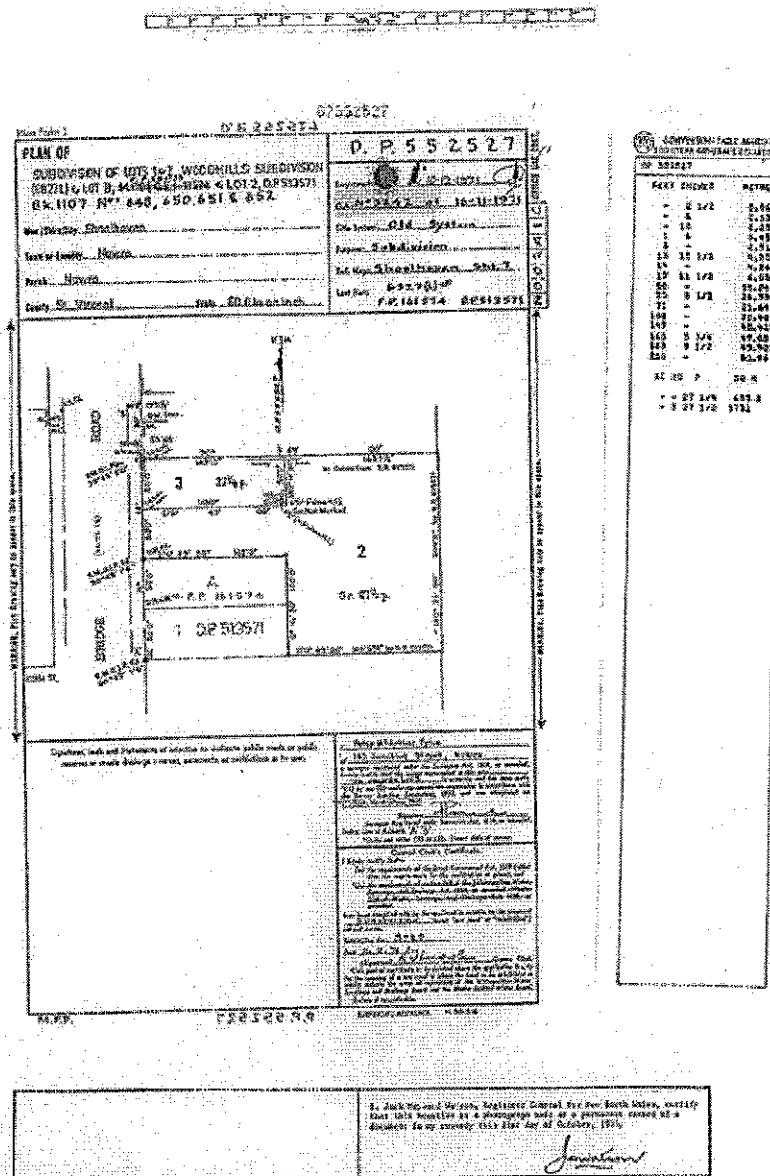


Figure 9: 1971 plan of subdivision on Bridge Road.

Appendix B

Photographic Survey

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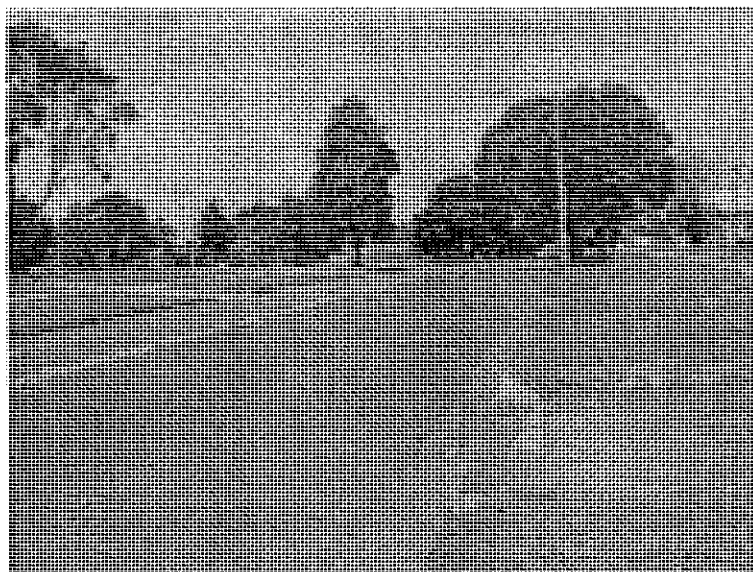
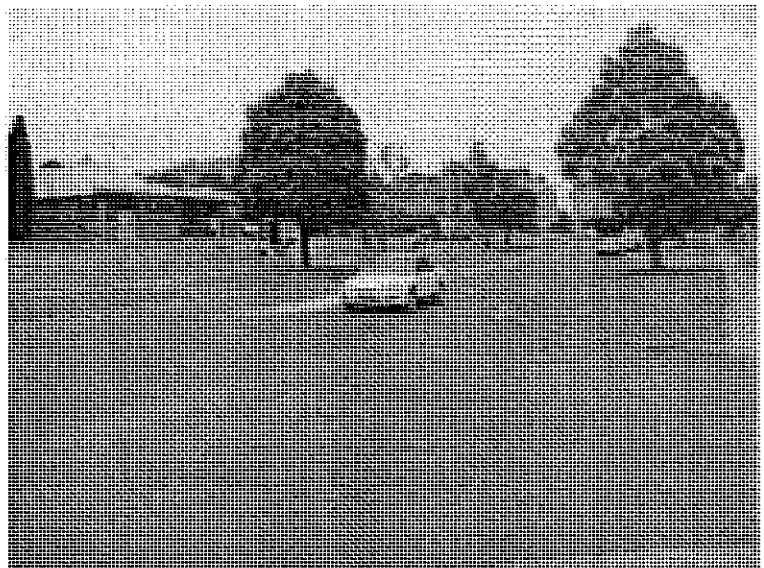
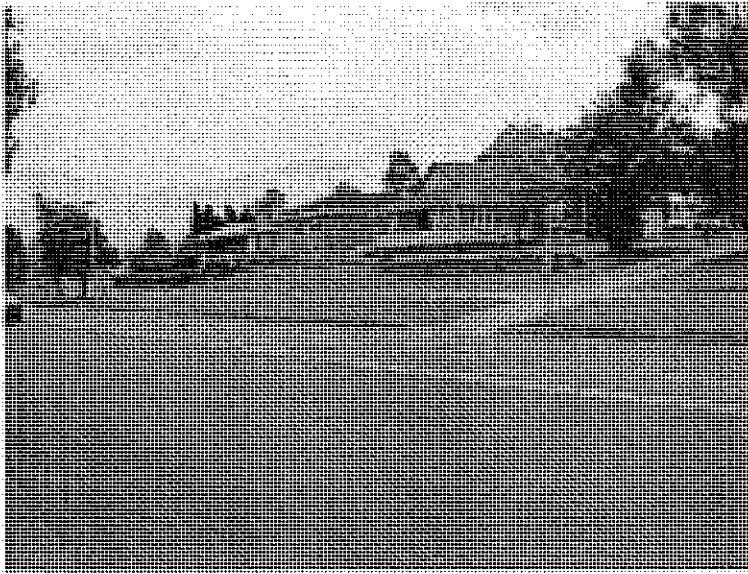
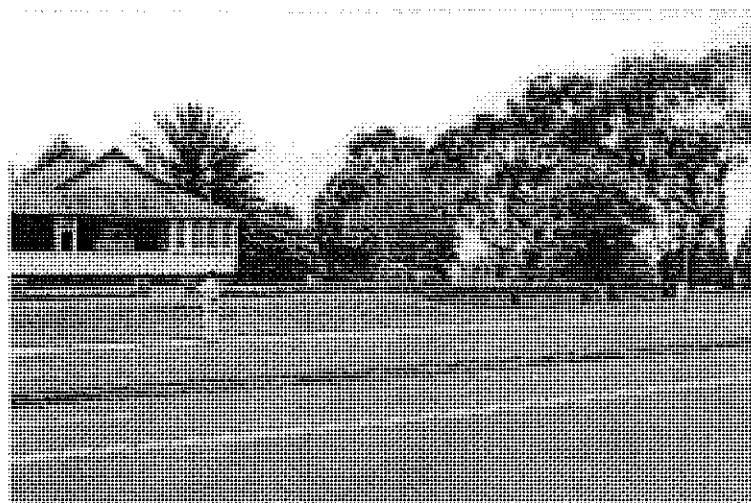
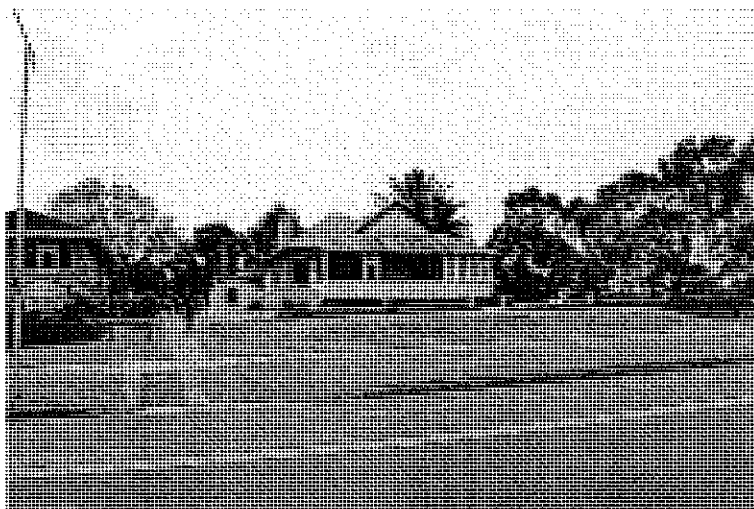


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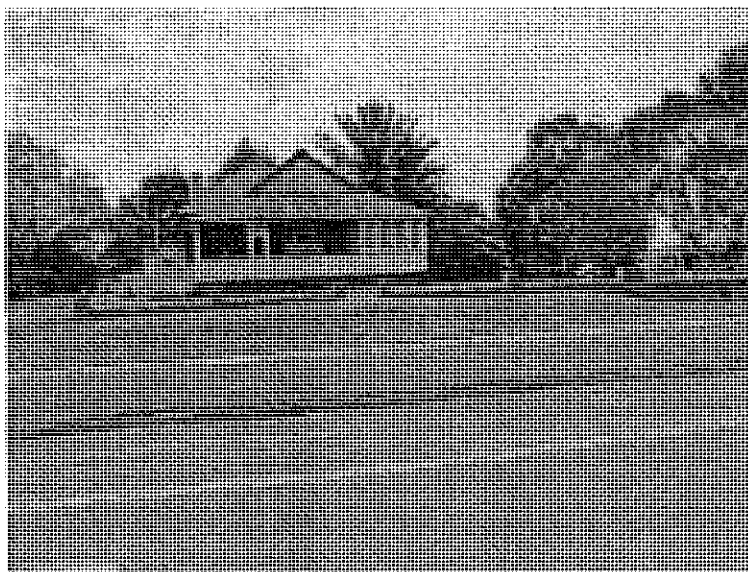
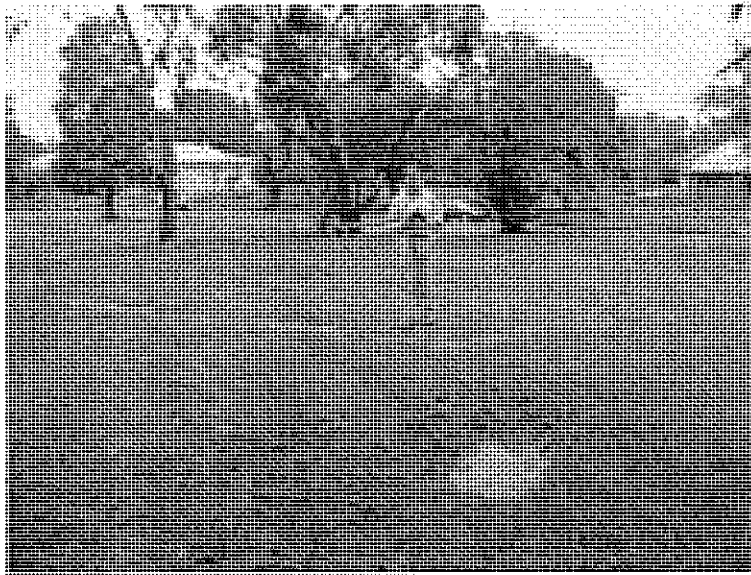


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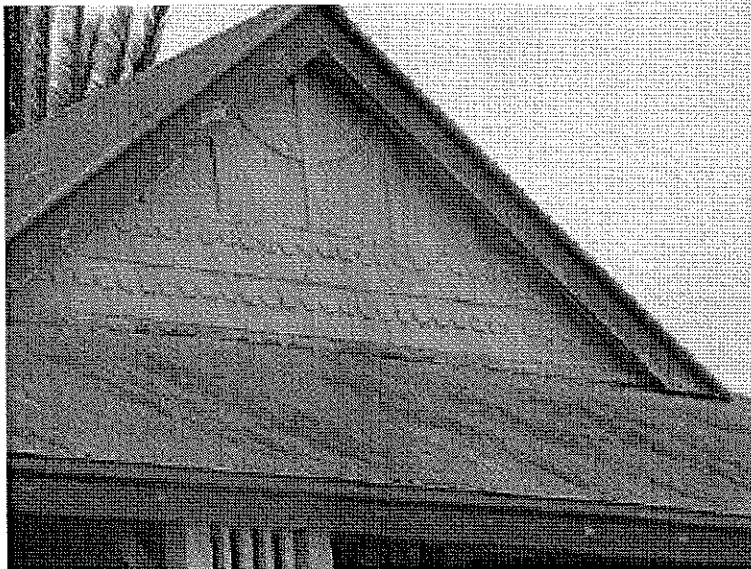
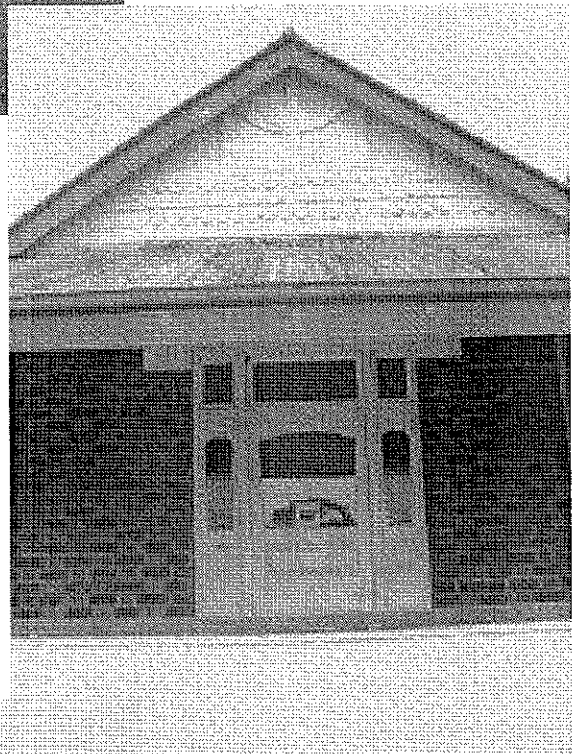
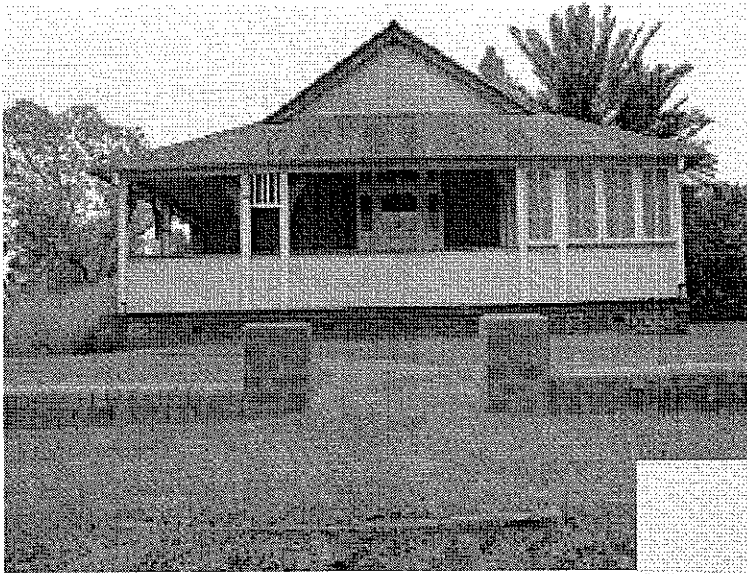


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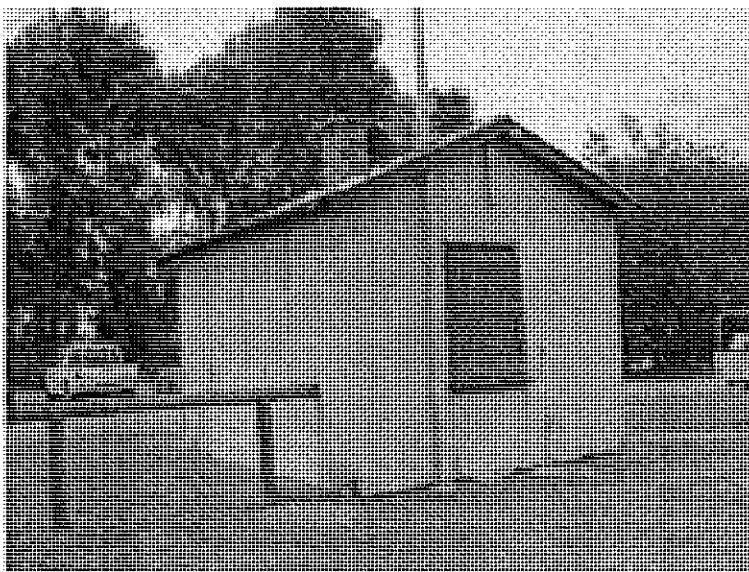
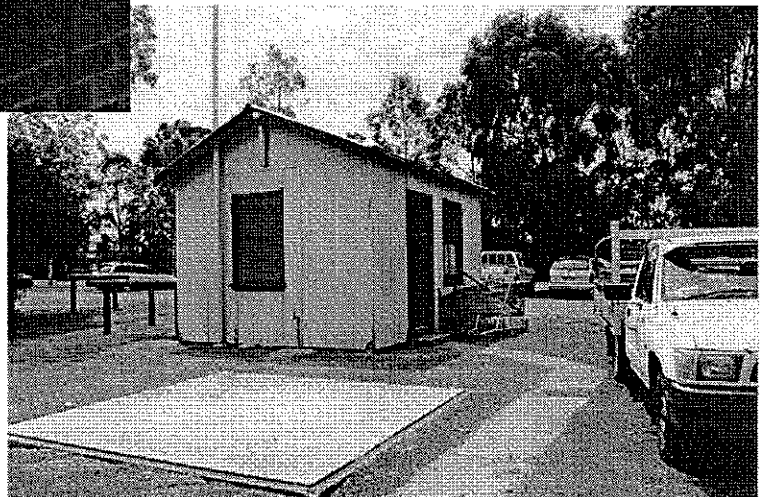
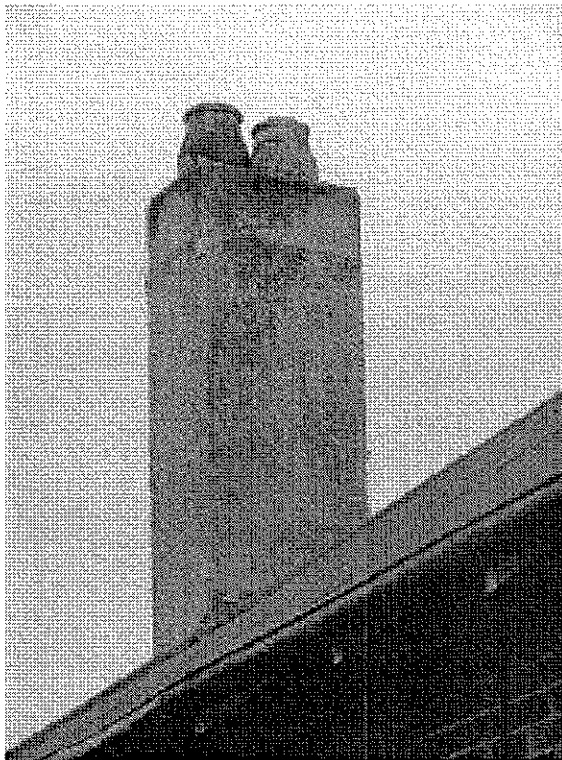


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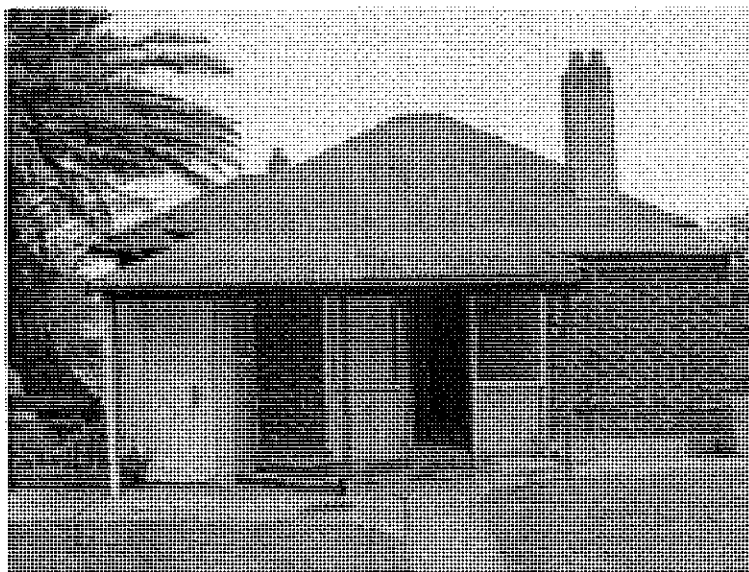
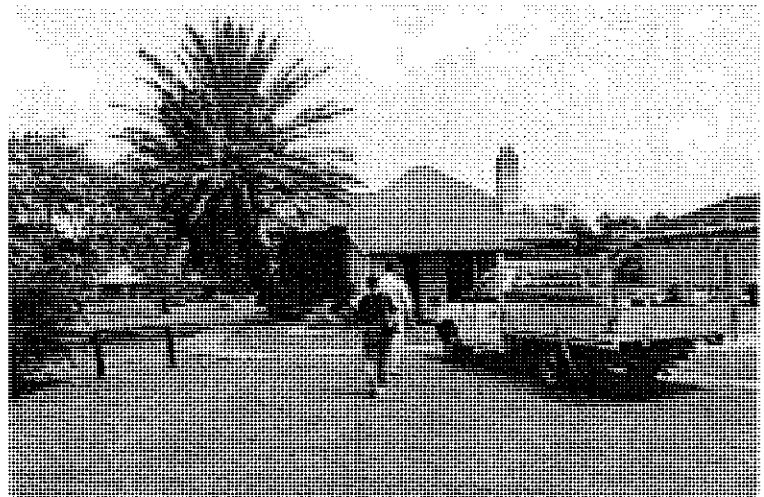
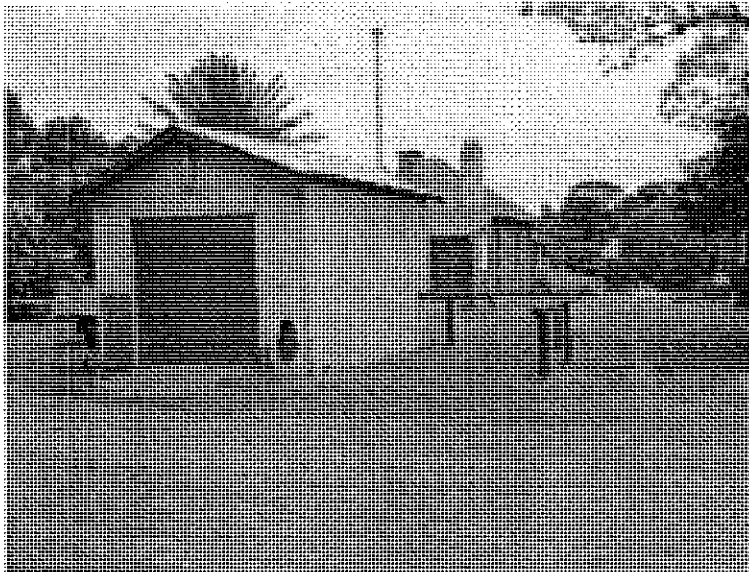


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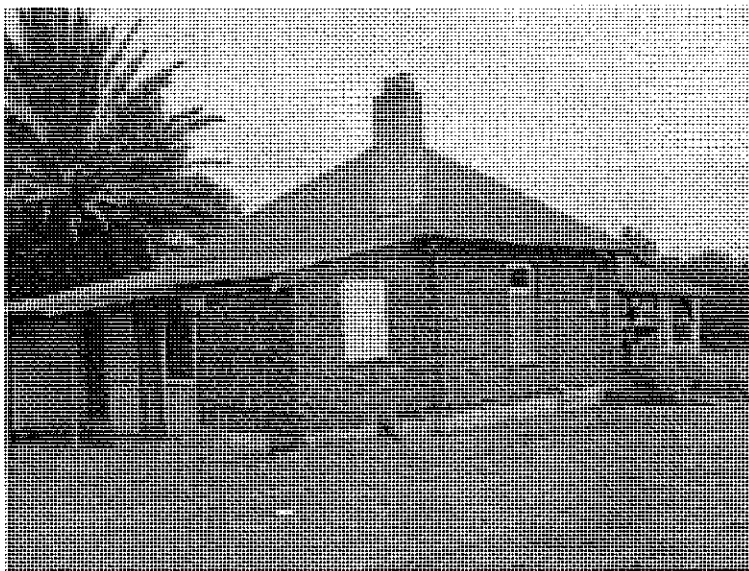
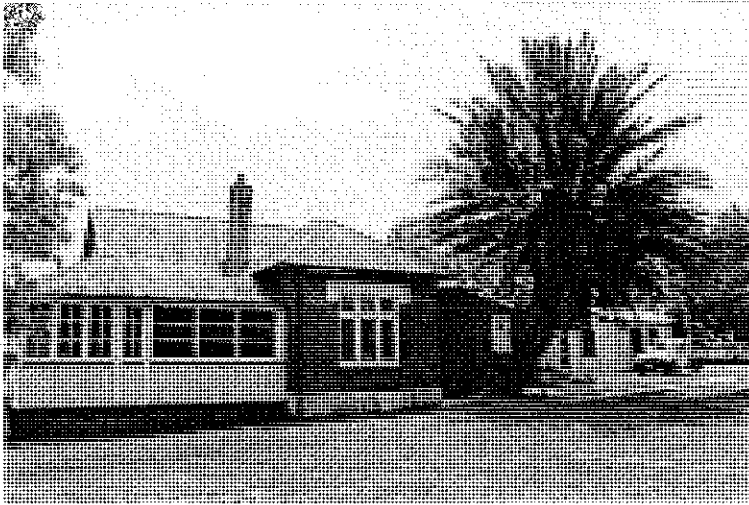


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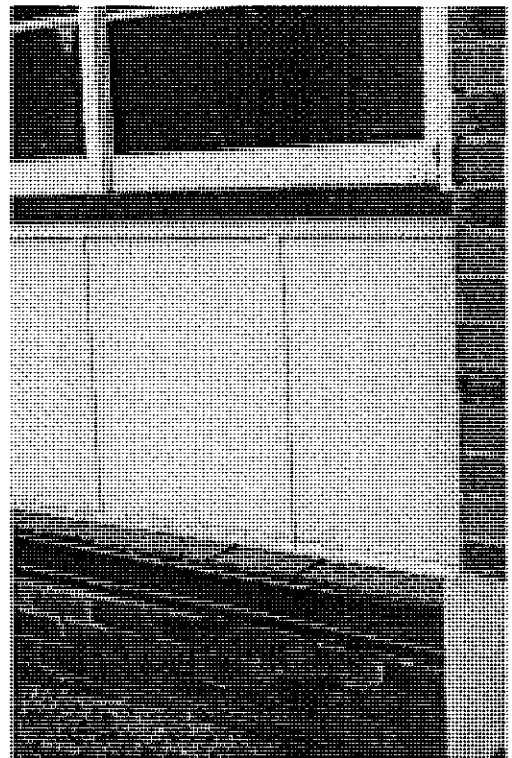
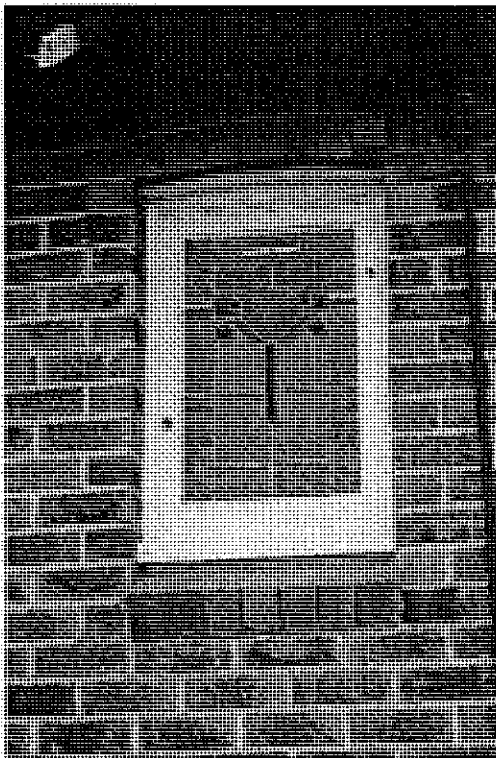
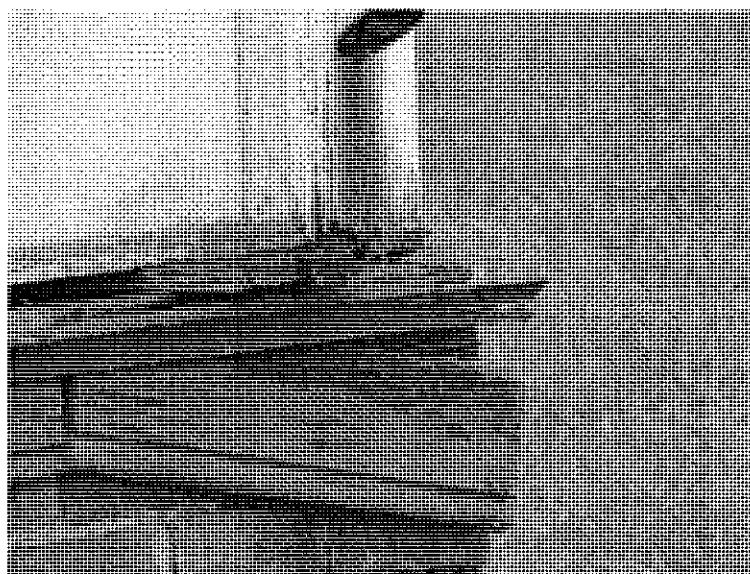


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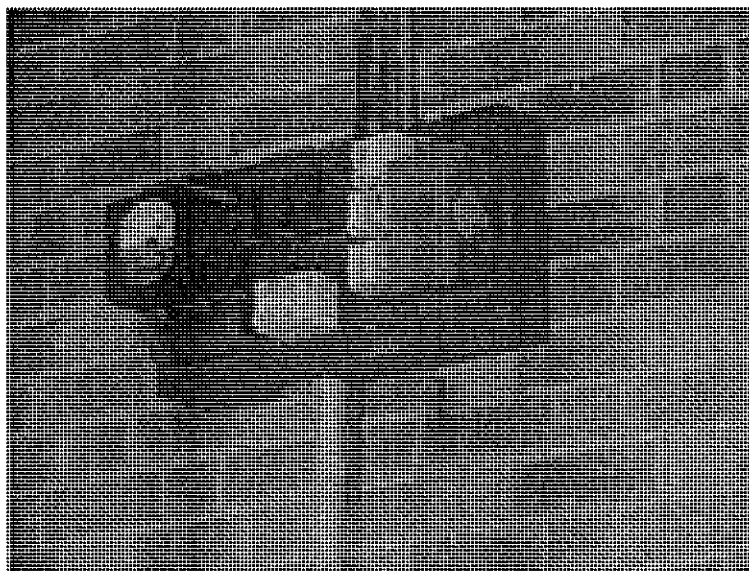
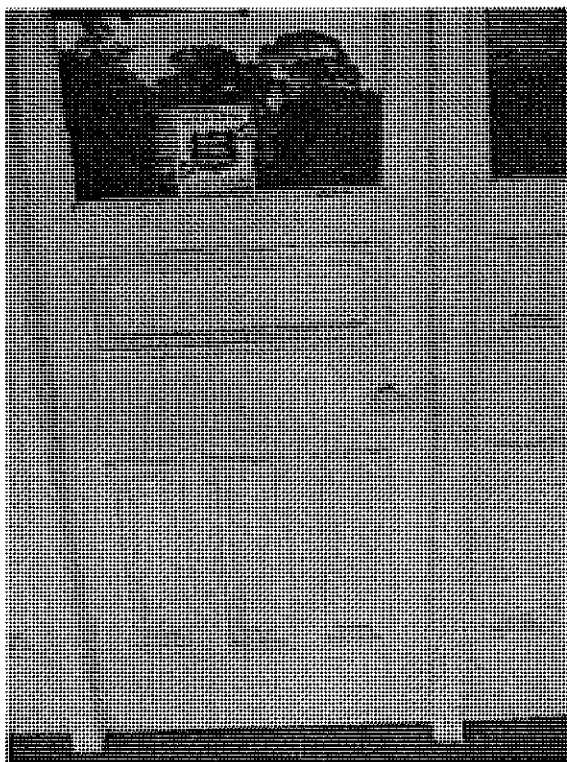
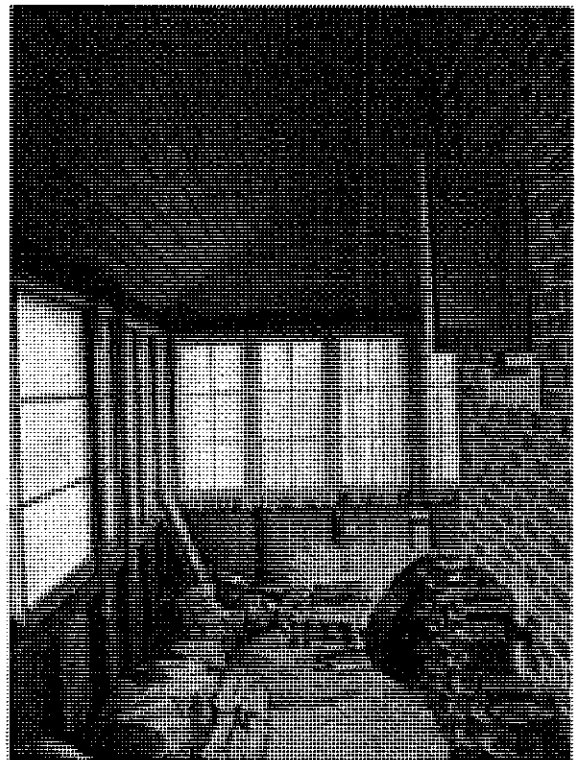
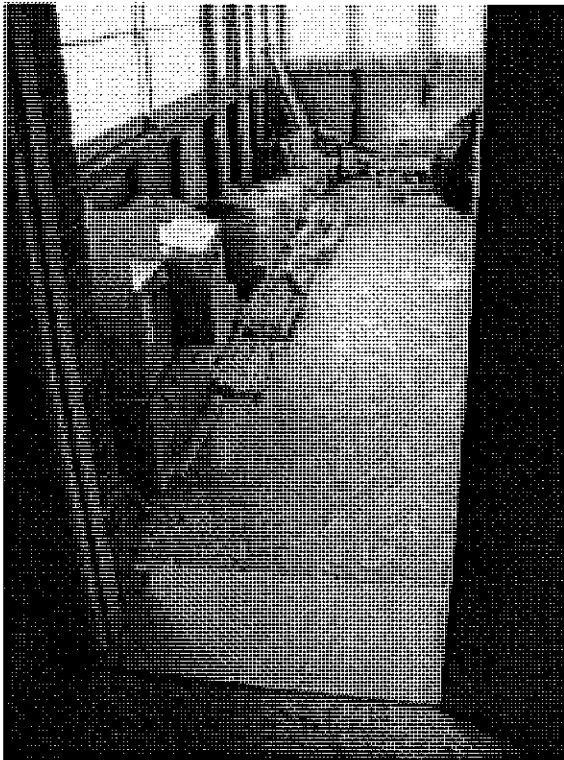
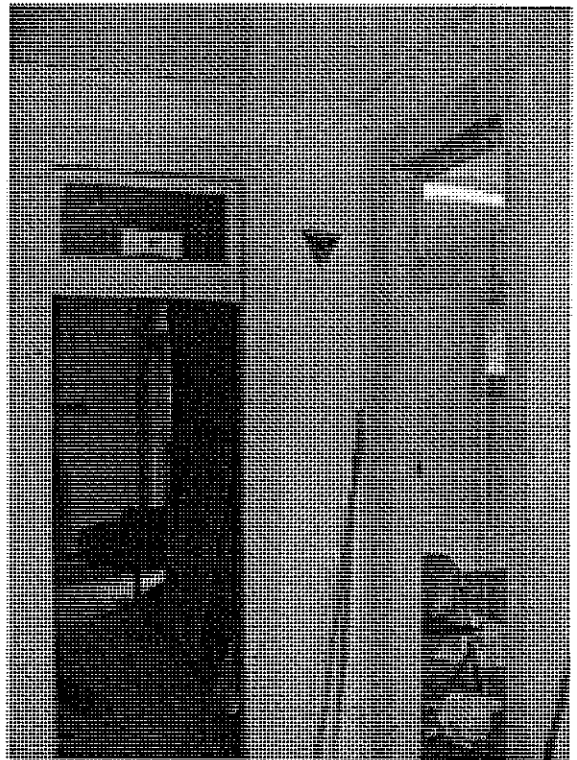


Figure 28: Drawing room door – exterior detail.
Figure 29: Fuse box.



- Figure 30: Marble threshold to master bedroom from internal verandah.
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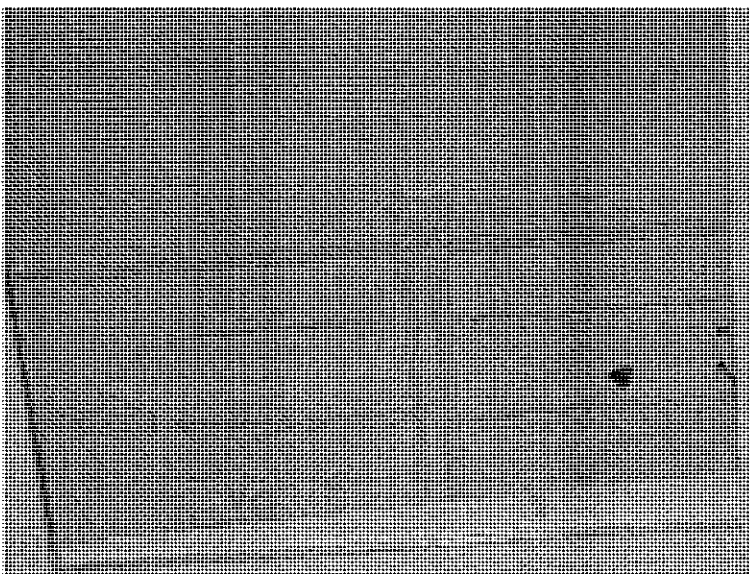
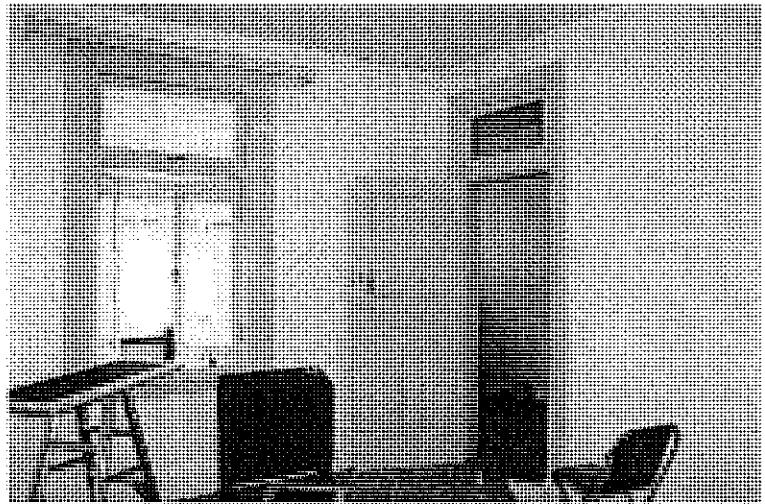
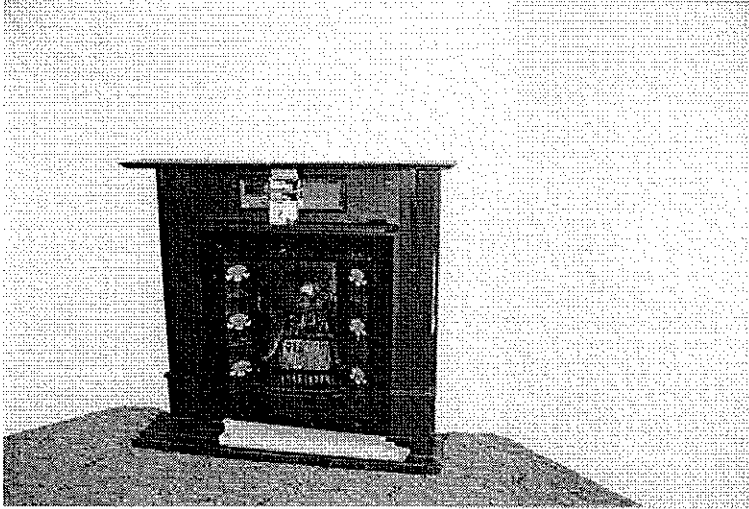
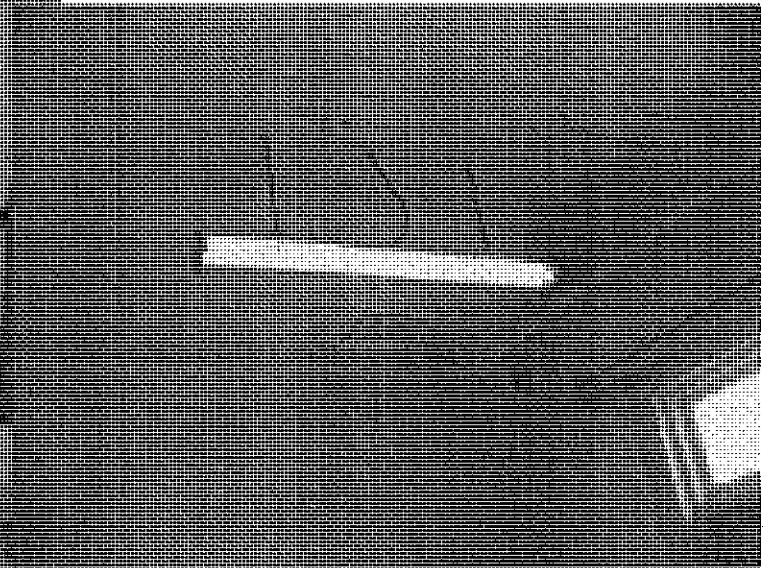
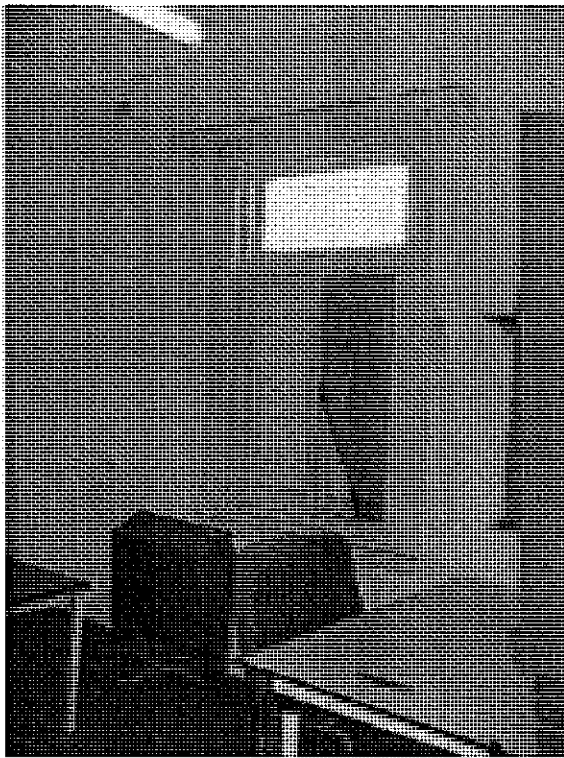
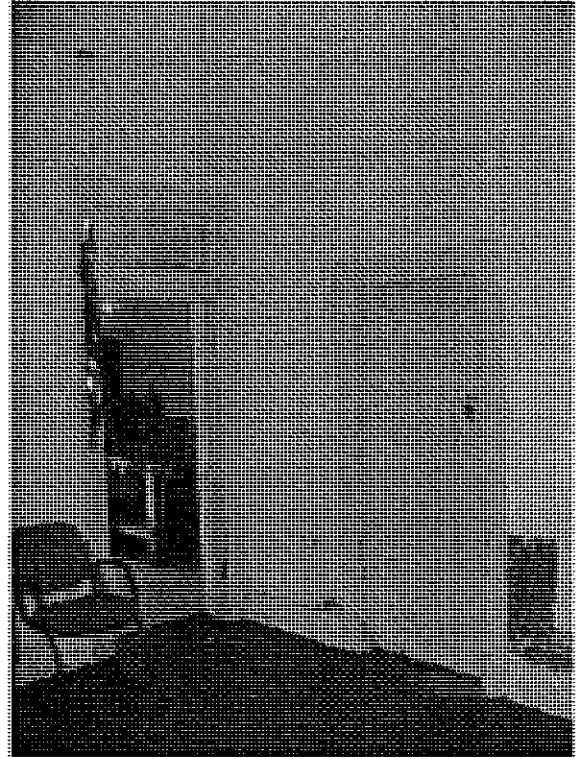
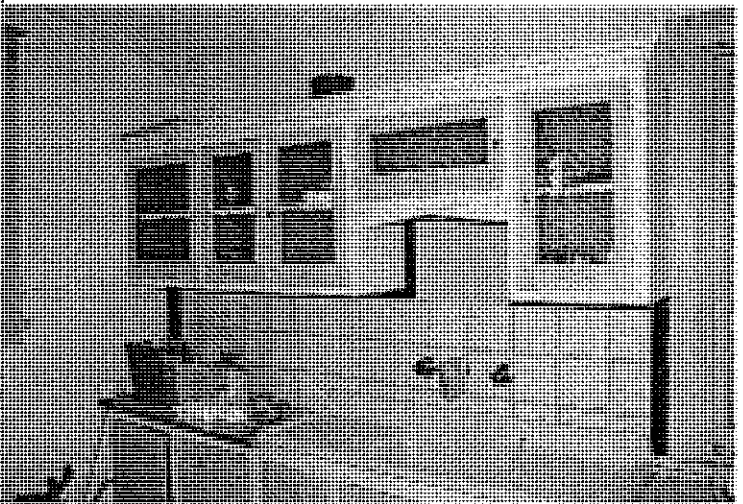
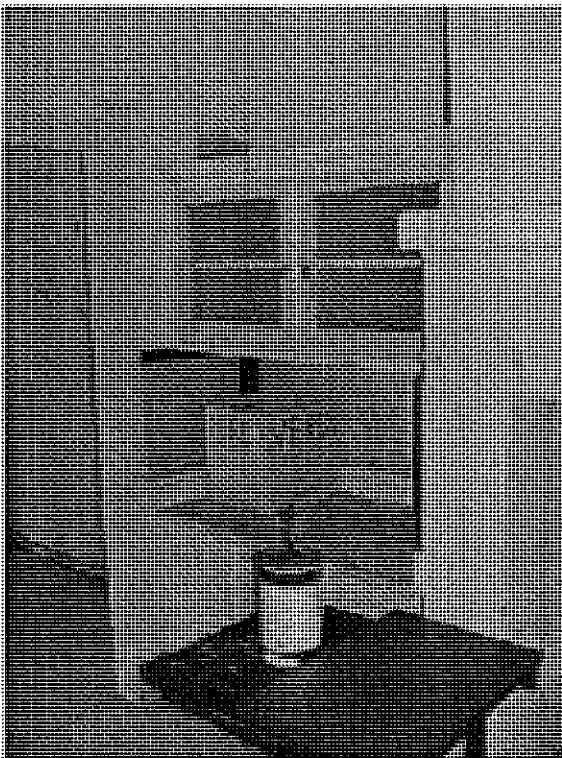
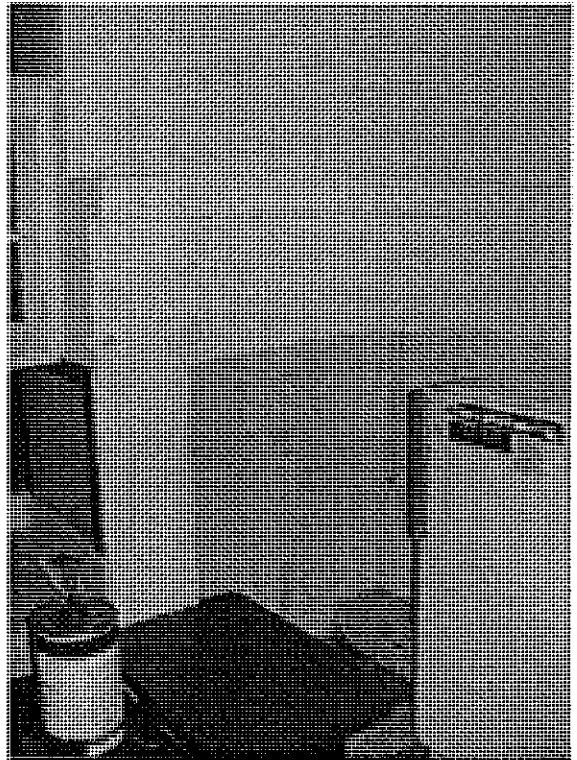
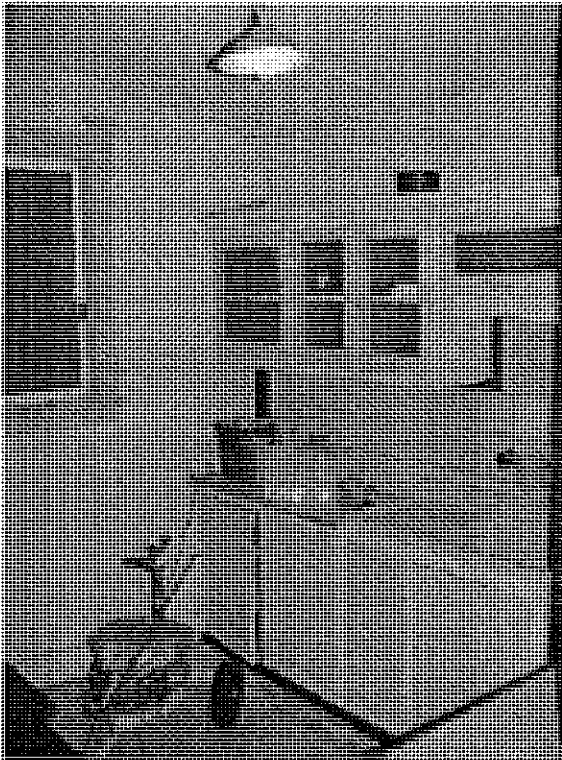


Figure 37: Drawing Room fireplace.
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Figure 39: Decorative ceiling to Drawing Room.



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- Figure 44: Kitchen from doorway.
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Figure 46: Marble benchtop and overhead cupboards.
Figure 47: Kitchen cupboards, sink and tile splashback.

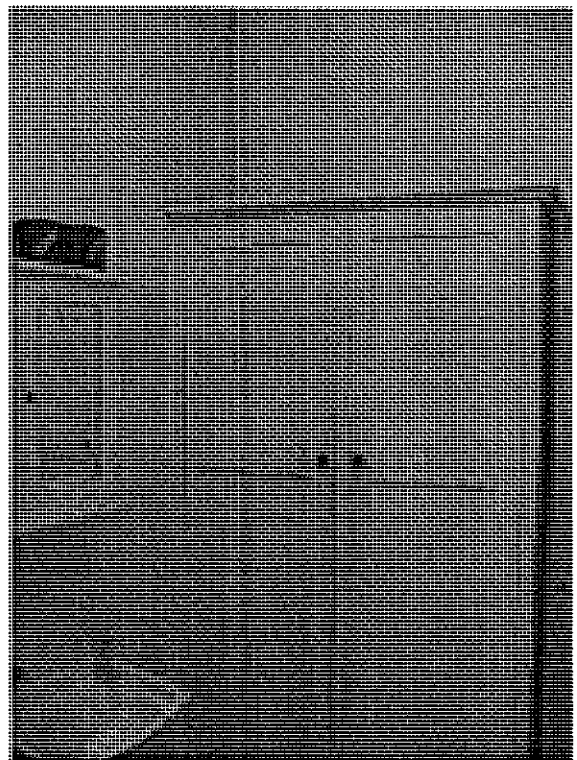
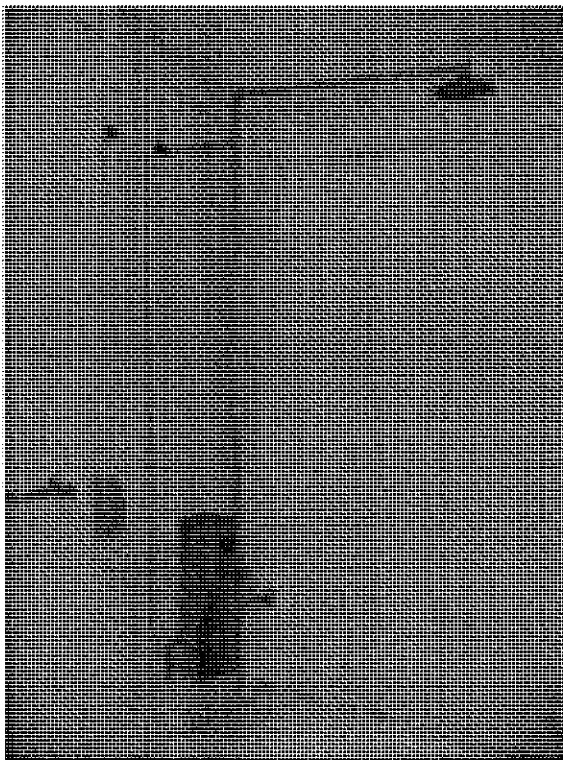
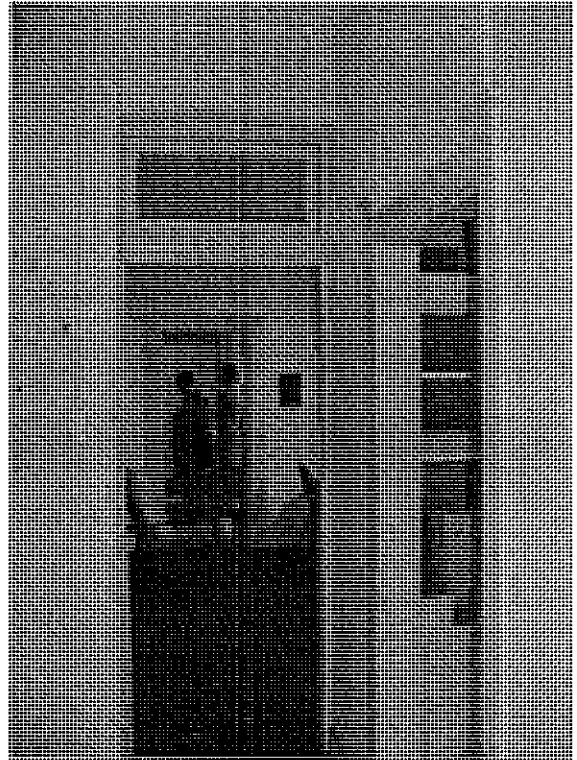


Figure 48: Rear entry hall looking east.
Figure 49: Rear entry hall showing dining room and kitchen doorways.
Figure 50: Shower and gas heater.
Figure 51: Bathroom cupboard.

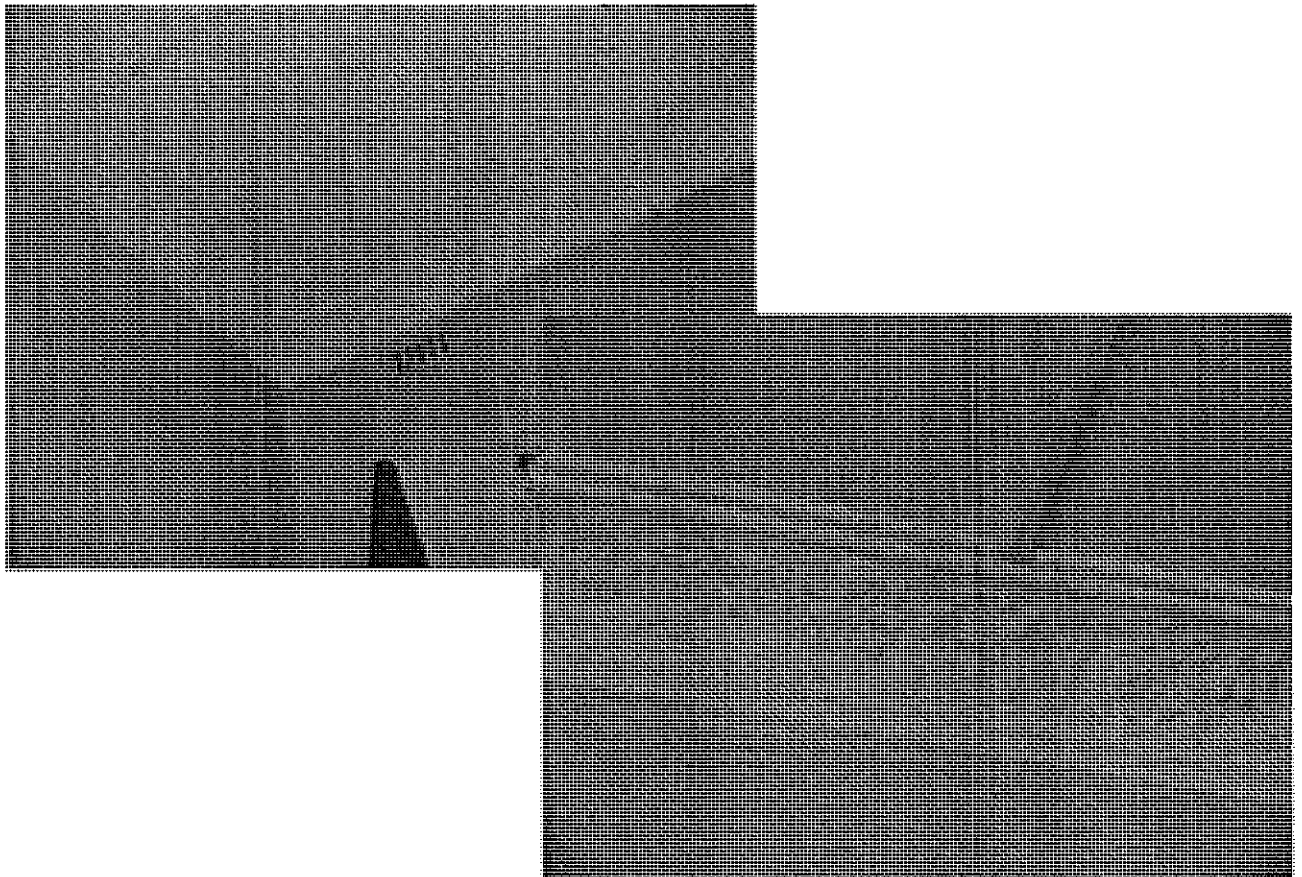


Figure 52: Bedroom 2 window.
Figure 53: Bedroom 2 cupboard.
Figure 54: Bedroom 2 ceiling and cornice.
Figure 55: Bedroom 2 cornice detail

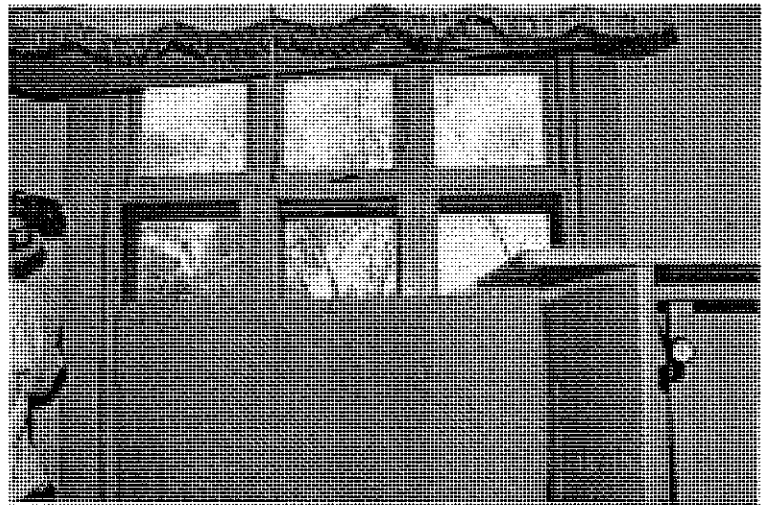
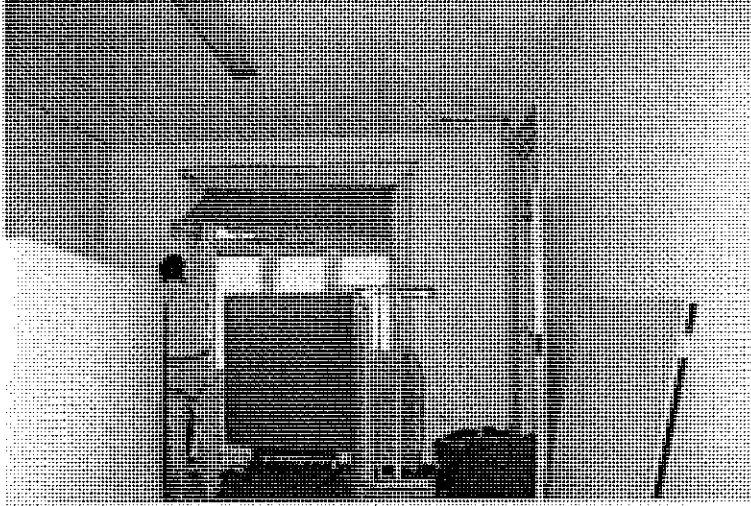


Figure 56: Master bedroom.
Figure 57: Master bedroom window.

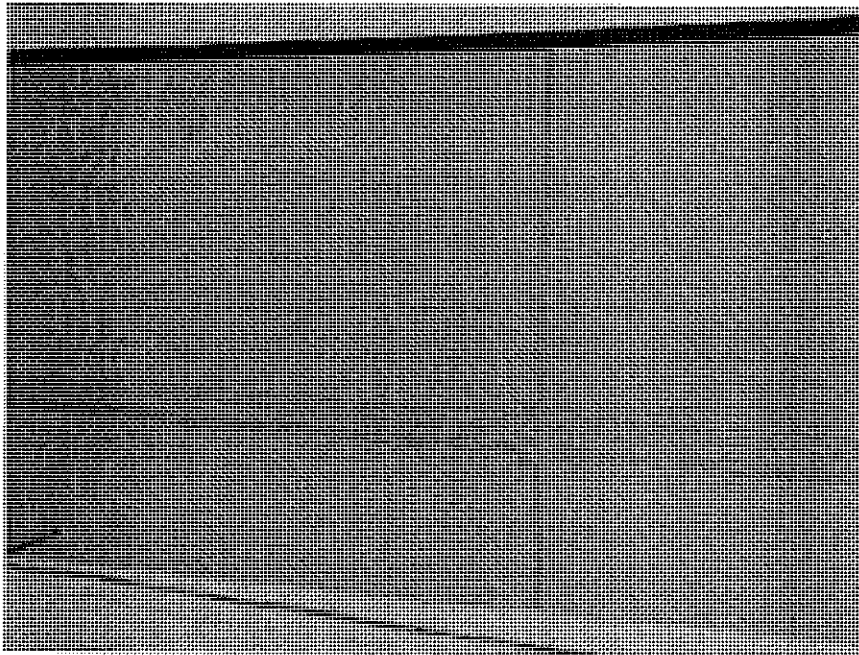


Figure 58: Master bedroom decorative Australiana ceiling.
Figure 59: Damage to master bedroom ceiling.

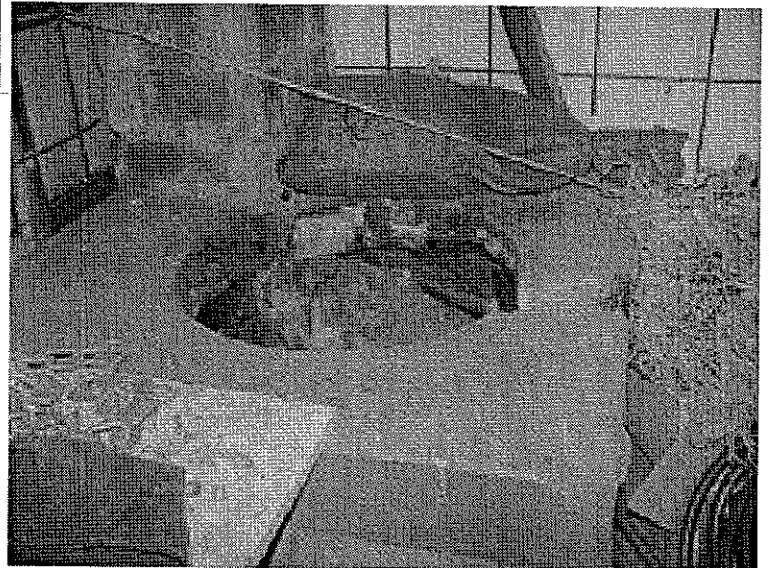


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Figure 61: Top of copper.
Figure 62: Internal view of copper showing grate.

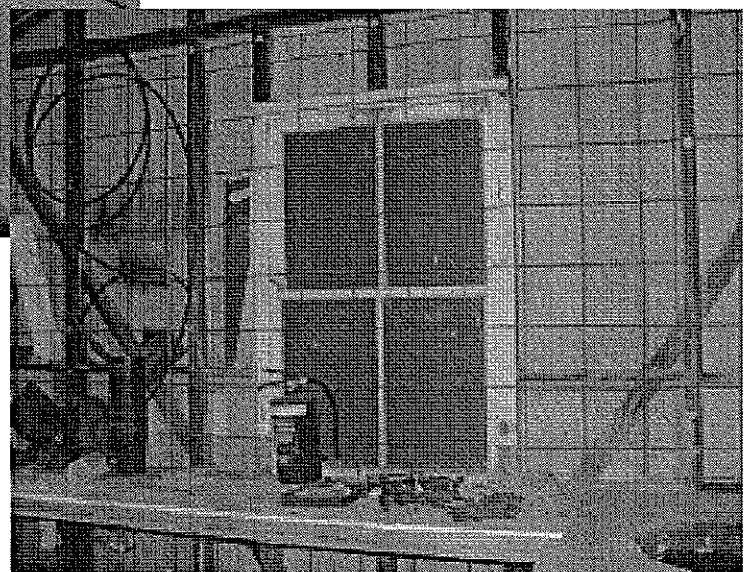
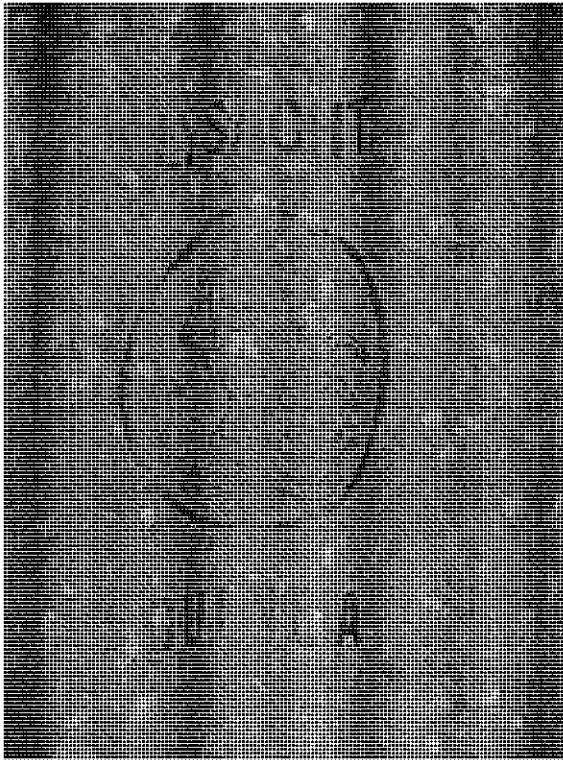


Figure 63: Logo on corrugated iron roof of laundry shed
Figure 64: Timber boarded doors to rear of laundry shed.
Figure 65: Timber boarded floor to laundry shed.
Figure 66: Window and bench in laundry shed.

Appendix C

Schedule of Maintenance Works

Schedule of Conservation Maintenance Works

Preamble

The following schedule of essential maintenance works is proposed for Jarman's Cottage and associated site.

The specific requirement of the brief was to document the external and internal conservation maintenance works to maintain the existing uses.

The works have been categorised by the buildings main elements with preliminary budget cost estimates provided.

Methodology

Since the site is of heritage significance, any works at the site should be carried out in accordance with the principles of the Australia ICOMOS Burra Charter and the recommendations of the Conservation Management Plan, 2002 prepared by Tropman & Tropman Architects.

Generally, any works are to be carried out to the satisfaction and with approval and/or as instructed by a Heritage Conservation Architect approved by Shoalhaven City Council

Generally, take care not to damage any early fabric or associated items.

Terminology

The following terms are used in this document.

TME ~	to match existing
SCS ~	Selected colour scheme
HCA ~	Heritage Conservation Architect
SCC ~	Shoalhaven City Council
CONSERVATION ~	Means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may according to circumstance include <i>preservation</i> , <i>restoration</i> , <i>reconstruction</i> and <i>adaptation</i> and will be commonly a combination of more than one of these.

1.0 ALL WORKS

NO.	ITEM	COST
1.1	GENERALLY	
1.1.1	Ensure all work is carried out with the consideration of users safety at all times	
1.1.2	Ensure all work is carried out by tradespeople experienced in the conservation of heritage buildings	
1.1.3	Ensure samples are provided as requested by HCA at no extra cost	
1.1.6	Ensure all contaminates, including but not limited to asbestos materials are handled carefully by experienced professionals in accordance with safety procedures of the relevant authorities.	
1.1.7	SUBTOTAL GENERALLY	\$10,000

2.0 SITE WORKS		COST
NO.	ITEM	
2.1	SITE WORKS GENERALLY	
2.1.1	Ensure all excavation around the building is carried out with consideration for possible Archaeological items of the site.	
2.1.2	Maintain existing concrete footpath to front (North Elevation) of the residence.	
2.1.3	Remove the concrete path bordering the garden, located closest to the south façade of the building	
2.1.4	Remove timber and metal bench from the southern concrete path	
2.1.5	Remove existing plantings between the concrete path and the south façade of the residence and replant minimal plantings including ferns.	
2.1.6	Remove existing plantings from beside the residence at the north facade and replant sympathetic shrub from the period of the cottage's occupation.	
2.1.7	Plant sympathetic shrub from the period of the cottage's occupation to the south of the residence, in line with the master bedroom window.	
2.1.8	Maintain the existing face brick fence to front of the property and lawn areas adjacent.	
2.1.9	Plant murraya paniculata hedge along the length of the front brick fence	
2.1.10	Maintain existing concrete path to rear laundry from house and lawn areas.	
2.1.11	Plant a variety of citrus trees and a mulberry tree to the rear of the property.	
2.1.12	Remove soil and level ground to south east corner of the building ensuring all vents in the area are exposed	
2.1.13	Open dish drain around north, east and south sides of house	
2.1.14	Plant a phoenix canariensis Palm, in line with the palm to the rear of the yard, on the southern front area	
2.1.15	Lay concrete path to toilet from existing concrete path.	
2.1.16	SUBTOTAL SITE WORKS GENERALLY	\$5,000

3.0 EXTERNAL WORKS

NO.	ITEM	COST
3.1	EXTERNAL WORKS GENERALLY	
3.1.1	Carefully clean all surfaces including but not limited to walls, windows and verandah floors. Clean all external brick work and render with a stiff bristled brush and hot soapy water.	
3.1.2	Check packing and ant caps of all piers and repair or replace where necessary	
3.1.3	Check over rendered plinth and base and repair where necessary	
3.1.4	Check air space under house and ensure that timber floor structure is clear of earth and has adequate room for inspections and air flow.	
3.1.5	Check over FC sheeting and repair or replace where necessary TME	
3.1.6	Check wall air- vents and ensure that they are open and repair or replace TME where necessary	
3.1.7	Check over all external door hardware and repair or replace where necessary TME	
3.1.8	Check over all window components including but not limited to metal hardware, timber frame, sill and sashes, and glazing and repair or replace where necessary TME. This includes, but does not limited to, reinstating timber window to small bedroom and existing bathroom and removing boarding to each opening.	
3.1.9	Check over timber fascia and repair or replace where necessary TME. This includes but is not limited to, the front façade fascia and ensure timber is salvaged where possible and repaired TME	
3.1.10	Check over verandah floors and balustrading and repair or replace wher necessary TME	
3.1.11	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.1.12	Check over all original and early fixtures and conserve.	
3.1.13	Rationalise all exposed services including gas, water and electricity	
3.1.14	SUBTOTAL EXTERNAL WORKS GENERALLY	\$50,000

TROPMAN & TROPMAN ARCHITECTSJarman's Cottage
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3.0	EXTERNAL WORKS	
NO.	ITEM	COST
3.2	ROOF AND CHIMNEY WORKS	
3.2.1	Check over and repair or replace only where necessary any early and original corrugated iron TME.	
3.2.2	Check over all elements of the front facade gable, including timber shingles, barge boards, eaves, linings and cover battens and repair or replace where necessary TME.	
3.2.3	Check over all metal downpipes and repair and replace where necessary with circular pipes TME in existing locations. Ensure they are satisfactorily connected to the storm water drainage system. Ensure that downpipes are checked at least every 3 months and blockages are fixed promptly.	
3.2.4	Check over and repair or replace all early metal gutters TME. Check over all metal gutters at least every 3 months and ensure that there are no blockages	
3.2.5	Check over rendered masonry chimneys and terracotta chimney pots and repair where necessary Carefully clean chimneys and chimney pots to maintain existing patina.	
3.2.6	Check over lead flashings and repair where necessary	
3.2.7	Prepare and paint any prepainted surfaces to selected colour scheme unless otherwise directed by the HCA	
3.2.8	SUBTOTAL ROOF AND CHIMNEY WORKS	\$20,000

TROPMAN & TROPMAN ARCHITECTS

Jarman's Cottage
Schedule Of Maintenance Works

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4.0 INTERNAL WORKS

NO.	ITEM	COST
4.1	INTERNAL WORKS GENERALLY	
4.1.1	Clean carefully all surfaces including but not limited to floors, walls, ceilings, joinery, windows and doors	
4.1.2	Prepare and paint all prepainted surfaces both internally and externally to SCS unless otherwise directed by the HCA	
4.1.3	Maintain and conserve all original timber floors	
4.1.4	Check over original timber joinery including but not limited to skirtings, picture rails and door architraves and replace TME including but not limited to the missing window architrave in the small bedroom	
4.1.5	Check over and repair or replace where necessary TME timber doors throughout	
4.1.6	Check over and repair internal timber frame and metal mesh fly screens where necessary or replace TME	
4.1.7	Check over walls for any deterioration of plaster and repair where necessary	
4.1.8	Check over all existing hooks and fixtures and secure. Carefully conserve the hooks located in the enclosed verandah area	
4.1.9	Check over and clean all wall vents and repair or replace where necessary TME	
4.1.10	Carefully remove recent intrusive panelled ceiling in front rooms and conserve original ceiling panels	
4.1.11	Ensure all fireplaces are cleaned and put into working order.	
4.1.12	Check over timber battened ceiling to the rear of the building and repair where necessary TME	
4.1.13	Reinstate light fixtures to living, entry and bedrooms to match original fittings after further investigation.	
4.1.14	<u>Kitchen</u>	
	a) Conserve early kitchen features including but not limited to :	
	i) Timber and glazed cupboards and original hardware	
	ii) Marble Carrara bench top	
	iii) Benchtop	
	iv) Original fire place	
	b) Remove later intrusive elements and replace with sympathetic elements. These elements include but are not limited to:	
	i) Taps	
	ii) Splash back tiles	
4.1.15	Check all existing electrical outlets and repair if necessary	
4.1.16	SUBTOTAL INTERNAL WORKS GENERALLY	\$60,000

TROPMAN & TROPMAN ARCHITECTS

Jarman's Cottage
 Schedule Of Maintenance Works

REF:0150:SMW
 June 2002

5.0 LAUNDRY STRUCTURE

NO.	ITEM	COST
5.1	LAUNDRY STRUCTURE GENERALLY	
5.1.1	Check packing and ant caps of all piers and repair where necessary	
5.1.2	Maintain and conserve internal timber tongue and groove cypress flooring.	
5.1.3	<u>Walls</u>	
	a) Clad fibro wall boards internally and paint externally to seal sheets.	
	b) Repair or replace timber external cover strips where necessary TME.	
	c) Replace carefully where necessary broken fibro sheets with new fibre cement sheeting.	
5.1.4	Check over timber and glazed window and repair where necessary TME	
5.1.5	Check over early timber doors and repair where necessary TME	
5.1.6	Maintain and conserve laundry masonry copper	
5.1.7	Conserve and maintain light switches	
5.1.8	Check over timber roof structure and repair where necessary TME.	
5.1.9	Check over corrugated iron sheeting and repair or replace where necessary. Apply a rust converter where necessary and galvanise.	
5.1.10	Maintain existing metal fixings and remove intrusive metal mesh along the walls.	
5.1.11	SUBTOTAL LAUNDRY STRUCTURE GENERALLY	\$10,000

6.0	TOTAL WORKS	\$155,000
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Appendix D

Proposed Colour Scheme

SELECTED COLOUR SCHEMES

The colour choices of the proposed scheme for Jarman's Cottage and associated laundry are listed below and the external colour scheme is illustrated in figure CS1.

Note: These colours have been expressed in Australian Standard Colours K185-1968, 2700S-1996

PROPOSED JARMAN COTTAGE EXTERNAL COLOUR SCHEME

Element	Australian Standard's Colour
Face brick walls	Do Not Paint
Timber Fascia	MaroonR65 (2700)
Timber Soffit of Eaves	Sandstone Y53 (2700)
Timber Rafter ends	Sandstone Y53 (2700)
Doors	
Timber Door Architrave	Deep Stone Y55 (2700)
Timber Door panels and mouldings	Sandstone Y53 (2700)
Timber doors and fanlight sashes	Sandstone Y53 (2700)
Windows	
Timber Window Sash	Sandstone Y53 (2700)
Timber Window sill and frames	Deep Stone Y55 (2700)
Roof	
Corrugated Iron Roof Sheeting	Holly G12 (2700)
Metal Guttering	In with surrounds
Metal Downpipes	In with surrounds
Masonry Chimneys and pots	Do not paint
Verandah	
Timber Posts	MaroonR65 (2700)
FC balustrading backing	Sandstone Y53 (2700)
Timber vertical balustrading	Deep Stone Y55 (2700)
Timber horizontal balustrading rail	MaroonR65 (2700)
Timber Frieze horizontal rails	Deep Stone Y55 (2700)
Timber Frieze vertical rails	Sandstone Y53 (2700)
Timber Brackets	Sandstone Y53 (2700)
Timber Gable Barge board	Sandstone Y53 (2700)
Timber Gable frieze shingles	MaroonR65 (2700)
FC Gable frieze backing	Deep Stone Y55 (2700)
Timber Verandah decking	Do not paint
Concrete Footpath and stairs	Do not paint
Face brick front fence	Do not paint

PROPOSED LAUNDRY COLOUR SCHEME

Element	Australian Standard's Colour
FC wall sheeting	Deep Stone Y55 (2700)
Timber cover strips	Deep Stone Y55 (2700)
Timber Barge boards	Sandstone Y53 (2700)
Face brick chimney	Do not paint
Timber door	Sandstone Y53 (2700)
Timber frame and architrave	Deep Stone Y55 (2700)
Timber window sash	Deep Stone Y55 (2700)
Timber window sill and architrave	Deep Stone Y55 (2700)

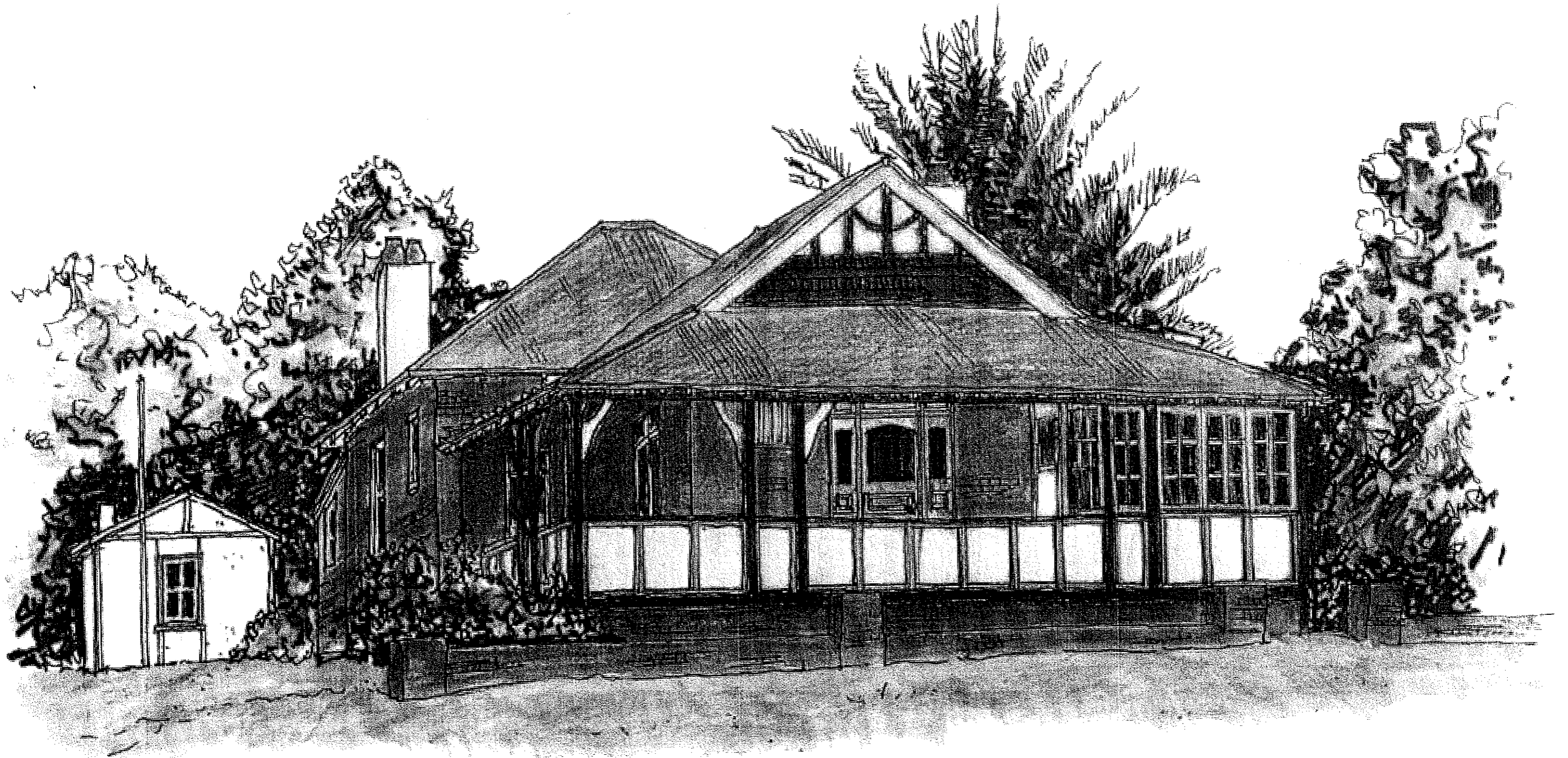


Figure CS1: Jarman's Cottage and associated buildings proposed colour scheme

Appendix E

Copy of the Burra Charter

THE AUSTRALIA ICOMOS CHARTER FOR THE CONSERVATION OF PLACES OF CULTURAL SIGNIFICANCE (THE BURRA CHARTER)

Preamble

Having regard to the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1966), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the following Charter was adopted by Australia ICOMOS on 19th August 1979 at Burra Burra. Revisions were adopted on 23rd February 1981 and on 23 April 1988.

Definitions

ARTICLE 1. For the purpose of this Charter:

- 1.1 *Place* means site, area, building or other work, group of buildings or other works together with associated contents and surrounds.
- 1.2 *Cultural significance* means aesthetic, historic, scientific or social value for past, present or future generations
- 1.3 *Fabric* means all the physical material of the *place*.
- 1.4 *Conservation* means all the processes of looking after a place so as to retain its *cultural significance*. It includes maintenance and may according to circumstance include *preservation*, *restoration*, *reconstruction* and *adaptation* and will be commonly a combination of more than one of these
- 1.5 *Maintenance* means the continuous protective care of the *fabric*, contents and setting of a *place*, and is to be distinguished from repair. Repair involves *restoration* or *reconstruction* and it should be treated accordingly.
- 1.6 *Preservation* means maintaining the *fabric* of a *place* in its existing state and retarding deterioration
- 1.7 *Restoration* means returning the EXISTING *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* as nearly as possible to a known earlier state and is distinguished by the introduction of materials (new or old) into the *fabric*. This is not to be confused with either recreation or conjectural reconstruction which are outside the scope of this Charter.
- 1.9 *Adaptation* means modifying a *place* to suit proposed compatible uses.
- 1.10 *Compatible use* means a use which involves no change to the culturally significant fabric, changes which are substantially reversible, or changes which require a minimal impact.

Conservation Principles

ARTICLE 2. The aim of *conservation* is to retain the *cultural significance* of a *place* and must include provision for its security, its *maintenance* and its future.

ARTICLE 3. *Conservation* is based on a respect for the existing *fabric* and should involve the least possible physical intervention. It should not distort the evidence provided by the *fabric*.

ARTICLE 4. *Conservation* should make use of all the disciplines which can contribute to the study and safeguarding of a *place*. Techniques employed should be traditional but in some circumstances they may be modern ones for which a firm scientific basis exists and which have been supported by a body of experience.

ARTICLE 5. *Conservation* of a *place* should take into consideration all aspects of its *cultural significance* without unwarranted emphasis on any one aspect at the expense of others.

ARTICLE 6. The conservation policy appropriate to a *place* must first be determined by an understanding of its *cultural significance*

ARTICLE 7. The conservation policy will determine which uses are compatible.

ARTICLE 8. *Conservation* requires the maintenance of an appropriate visual setting: e.g., form, scale, colour, texture and materials. No new construction, demolition or modification which would adversely affect the setting should be allowed. Environmental intrusions which adversely affect appreciation or enjoyment of the *place* should be excluded.

ARTICLE 9. A building or work should remain in its historical location. The moving of all or part of a building or work is unacceptable unless this is the sole means of ensuring its survival.

ARTICLE 10. The removal of contents which form part of the *cultural significance* of the *place* is unacceptable unless it is the sole means of ensuring their security and *preservation*. Such contents must be returned should changed circumstances make this practicable.

Conservation Processes

Preservation

ARTICLE 11. *Preservation* is appropriate where the existing state of the *fabric* itself constitutes evidence of specific *cultural significance*, or where insufficient evidence is available to allow other conservation processes to be carried out.

ARTICLE 12. *Preservation* is limited to the protection, *maintenance* and, where necessary, the stabilisation of the existing *fabric* but without the distortion of its *cultural significance*.

Restoration

ARTICLE 13. *Restoration* is appropriate only if there is sufficient evidence of an earlier state of the *fabric* and only if returning the *fabric* to that state reveals the *cultural significance* of the *place*.

ARTICLE 14. *Restoration* should reveal anew culturally significant aspects of the *place*. It is based on respect for all the physical, documentary and other evidence and stops at the point where conjecture begins.

ARTICLE 15. *Restoration* is limited to the reassembling of displaced components or removal of accretions in accordance with Article 16

ARTICLE 16. The contributions of all periods to the *place* must be respected. If a *place* includes the *fabric* of different periods, revealing the *fabric* of one period at the expense of another can only be justified when what is removed is of slight *cultural significance* and the *fabric* which is to be revealed is of much greater *cultural significance*.

Reconstruction

ARTICLE 17. *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration and where it is necessary for its survival, or where it reveals the *cultural significance* of the *place* as a whole.

ARTICLE 18. *Reconstruction* is limited to the completion of a depleted entity and should not constitute the majority of the *fabric* of the *place*.

ARTICLE 19. *Reconstruction* is limited to the reproduction of *fabric*, the form of which is known from physical and/or documentary evidence. It should be identifiable on close inspection as being new work.

Adaptation

ARTICLE 20. *Adaptation* is acceptable where the *conservation* of the *place* cannot otherwise be achieved, and where the *adaptation* does not substantially detract from its *cultural significance*.

ARTICLE 21. *Adaptation* must be limited to that which is essential to a use for the *place* determined in accordance with Articles 6 and 7.

ARTICLE 22. *Fabric* of *cultural significance* unavoidably removed in the process of *adaptation* must be kept safely to enable its future reinstatement.

Conservation Practice

ARTICLE 23. Work on a *place* must be preceded by professionally prepared studies of the physical, documentary and other evidence, and the existing *fabric* recorded before any intervention in the *place*.

ARTICLE 24. Study of a *place* by any disturbance of the *fabric* or by archaeological excavation should be undertaken where necessary to provide data essential for decisions on the *conservation* of the *place* and/or to secure evidence about to be lost or made inaccessible through necessary *conservation* or other unavoidable action. Investigation of a *place* for any other reason which requires physical disturbance and which adds substantially to a scientific body of knowledge may be permitted, provided that it is consistent with the *conservation* policy for the *place*.

ARTICLE 25. A written statement of *conservation* policy must be professionally prepared setting out the *cultural significance* and proposed *conservation* procedure together with justification and supporting evidence, including photographs, drawings and all appropriate samples.

ARTICLE 26. The organisation and individuals responsible for policy decisions must be named and specific responsibility taken for each such decision.

ARTICLE 27. Appropriate professional direction and supervision must be maintained at all stages of the work and a log kept of new evidence and additional decisions recorded as in Article 25 above.

ARTICLE 28. The records required by Articles 23, 25, 26 and 27 should be placed in a permanent archive and made publicly available.

ARTICLE 29. The items referred to in Articles 10 and 22 should be professionally catalogued and protected.

Words in italics are defined in Article 1.

Appendix F

Consultant Brief

CONSULTANT'S BRIEF

PREPARATION OF A CONSERVATION MANAGEMENT PLANS FOR

- ▲ SUSSEX INLET PICTURE THEATRE;
- ▲ ULLADULLA MUNICIPAL COUNCIL CHAMBERS (FORMER);
- ▲ BERRY SHOWGROUND AGRICULTURAL PAVILION; AND
- ▲ JARMAN'S COTTAGE, NOWRA

1. AIM

This brief sets out the work required for the conservation management plans for *Sussex Inlet Picture Theatre, Ulladulla Municipal Council Chambers (former), Berry Showground Agricultural Pavilion and Jarman's Cottage*. The conservation management plans are to be prepared in accordance with Council's responsibilities under the Environmental Planning and Assessment Act 1977 and Local Environmental Plan 1985; an objective of which is "to protect items of the environmental heritage". [Part 1 2. (2)(h)].

2. BACKGROUND

- ▲ *Sussex Inlet Picture Theatre* – Postwar community hall, now used as a theatre. Simple gabled building with front portico altered to match existing roof pitch. Fibro wall cladding with vertical wood panelling evocative of the 50's designs. (Ref No 2390244 - Shoalhaven Heritage Study – copy attached)

The building is constructed on Lot A DP 343373, 173 Jacobs Drive, Sussex Inlet which comprises an area of 1,378m², and is zoned part Special Uses 5(a) – Car Park and part Special Uses 5(a) – Civic Centre under Shoalhaven Local Environmental Plan 1985. The property is owned by Shoalhaven City Council and is classified "operational" land pursuant to the Local Government Act 1993. The building is currently leased for the operation of a cinema.

- ▲ *Ulladulla Municipal Council Chambers (former)* - early Victorian period galvanised iron building; with decorative barge boards. The original roof profile is intact. Severe white ant infestation resulted in the partial demolition of these commercial premises in 1998 allowing the front elevation to be revealed. Temporary corrugated iron wall cladding has been fixed to this elevation. The building was the first Ulladulla Municipal Council Chambers. (Ref No 2390564 - Shoalhaven Heritage Study – copy attached)

The building is constructed on Lot 1 DP 736295, 23 Wason Street, Milton which comprises an area of 1,840m², and is zoned Business 3(a) under Shoalhaven Local Environmental Plan 1985. The site also includes another small parcel of land being Lot 2 DP 157040 which comprises an area of 13m², zoned Special Uses 5(a) – Post Office. The property is owned by Shoalhaven City Council and is classified “operational” land pursuant to the Local Government Act 1993.

- ▲ ***Berry Showground Agricultural Pavilion*** – is an L-shaped building, constructed of red brick with Italianate bayed façade featuring urns upon a parapet, and double entrance doors, set within a rounded arch, decorated with plaster moulding. (Ref No 2390037 - *Shoalhaven Heritage Study – copy attached*)

The building is constructed on part of Lot None DP 940561 Alexandra Street, Berry which comprises an area of 6.54 ha, and is zoned part Open Space 6(a), part Special Uses 5(e). The property is owned by the State of NSW (Crown Reserve R81105 for Public Recreation) for which Shoalhaven City Council is the appointed Trust Manager. Lodge Broughton holds a 20-year licence over one room of the pavilion giving them exclusive use of this area. The remainder of the building provides a hall for exhibitions, etc and is used on a regular basis by the Berry Silver Band.

- ▲ ***Jarman's Cottage*** – a 5/6 room Federation style cottage with characteristic steeply pitched hipped roof, open eaves, encircling verandah, fair face brickwork, roughcast rendered chimneys and well detailed timber windows with sills and brick header lintels. (Ref No 2390693 - *Shoalhaven Heritage Study – copy attached*)

The building is constructed on Part Lot 96 DP 755952 (Por 96 Ph Nowra), 32 Bridge Road, Nowra which comprises an area of 1,618m², and is zoned Special Uses 5(a) – Council Chambers) under Shoalhaven Local Environmental Plan 1985. The property is owned by Shoalhaven City Council and is classified “operational” land pursuant to the Local Government Act 1993.

3. SCOPE OF WORK

(a) Objectives

The consultant shall be required to prepare the conservation management plans in accordance with the principles outlined in the Burra Charter and any specific requirements outlined in this brief.

(b) Area To Be Addressed

Generally, the study area shall be the land immediately associated with buildings and gardens including any outbuildings whether these buildings exist or otherwise. Refer attached locality sketches for each property.

The conservation management plans shall describe and address the curtilages of the buildings and their settings. In particular:

- *Sussex Inlet Picture Theatre* – the plan should pay particular attention to the spatial relationship of this building and the church adjoining, also an item of cultural significance, with a view to maintaining the significance of both items. The plan should also include policy recommendations relating to the footpath reserve and the streetscape.
- *Former Ulladulla Municipal Council Chambers* – the plan should assess the curtilage in relation to any other contributory buildings on the site suggesting infill buildings of little significance requiring demolition.
- *Berry Showground Agricultural Pavilion* – the plan should define the immediate curtilage within the Showground precinct, paying particular attention to identifying those trees which contribute to the setting of this building.
- *Jarman's Cottage* – the plan should assess the cottage as part of the remnant conservation group within the Bridge Road Housing Conservation Areas and identify whether any other buildings in the group may be culturally significant.

(c) Previous Reports Available Information

The conservation management plans are to be concise documents. Information on the item or its site included in previous reports is not to be reported unless of particular reference. Rather in the plans simply refer to other documentation available.

Attached for your information are copies of the relevant Shoalhaven Heritage Inventory listing for each property.

(d) Background Material

The following documents are to be used to develop the statement of significance, conservation policy and management guidelines.

Australia ICOMOS 1988, Australia ICOMOS

Charter for the Conservation of Cultural (The Burra Charter) Guidelines to the Burra Charter: Cultural Significance, Conservation Policy, and Undertaking Studies and Reports, Australia ICOMOS, ACT. Both revised. The Burra Charter gives definition for terms used in heritage conservation, discusses acceptable conservation processes and establishes the best practice for achieving the heritage conservation of a particular item.

Heritage Office & Department of Urban Affairs and Planning, 1996,

Conservation Management Documents, NSW Heritage Manual, HO/DUAP, Sydney. These guidelines answer some common queries regarding the preparation of conservation management plans.

Heritage Office & Department of Urban Affairs and Planning, 1996,

Heritage Assessments, NSW Heritage Manual, HO/DUAP, Sydney. These guidelines explain how to use historical themes and evaluation criteria to assess heritage

significance. The manual promotes a standardised assessment practice for heritage conservation within New South Wales.

Kerr, James Semple 1990

The Conservation Plan, National Trust of Australia (NSW), Sydney. This publication presents a methodology for the preparation of conservation plans.

Peter Freeman et al

Shoalhaven City Council Heritage Study 1995-1998.

(e) Investigate Significance

- Gather and analyse written and graphic information (including photographs and drawings) to establish the historic context of the heritage item or place. This will involve comparison with other like items and other properties associated with the subject buildings.
- Investigate the physical evidence of the item including its curtilage to authenticate its history and to help reassess its significance - without excavating or disturbing the fabric. This will require a photographic record of all structures and features including garden elements, trees, monuments, etc.
- Evaluate the current condition of the fabric and contributing components of the setting. An archival photographic survey and detailed measured drawings (of the building) will assist in this, as well as later policy analysis and recommendations for management.
- Consult with relevant community and interest groups when necessary. Provide a chronological history of the heritage item and its context, including use and significance over time.
- Analyse the documentary and physical evidence to determine what contributes to the significance of the item.

(f) Assess Significance

- Use heritage assessments in the NSW Heritage Manual, and archaeological assessments, published by the Heritage Office and NSW Department of Urban Affairs and Planning in 1996.
- Assess the Statement of Significance. This should be done for the whole subject area and, when necessary, separately for items of individual significance. The main statement as to why the item is considered to be of significance is to be succinct. Its purpose is not to reiterate the history and description of the item (unless it is particularly relevant); rather, the statement is a result of the analysis of documentary and physical evidence.
- The statement is to include a comparative analysis of any item being of local significance, showing its relative significance to the locality, district or region.

- Indicate the individual significance of the component parts of the item on a 1 to 5 zone system:

▲	Exceptional	5
▲	Considerable	4
▲	Some	3
▲	Little or no significance	2
▲	Intrusive	1

- Indicate how the ranking has been determined and applied.

(g) Manage Significance

- Outline the constraints and opportunities that arise as a result of the heritage significance of the item including its setting.
- Outline the constraints and opportunities that arise as a result of the physical condition of the item (for example, structural adequacy, existing services, archaeological relics, landscaping components).
- Prepare a succinct statement of **CONSERVATION POLICY** which includes:
 - ▲ feasible uses - the plans should identify a use, or combination of feasible uses, that are compatible with the retention or enhancement of the cultural significance of the item. Briefly explain how each use would impact on the item's significance;
 - ▲ fabric and setting - the most appropriate way to conserve the item and its setting is to be identified. This should include amongst other things the relationship of the site to the identified conservation area.
 - ▲ interpretation - the most appropriate ways of making the significance of the place understood are to be identified including guidelines for visitor access, revue and interpretation;
 - ▲ controls on intervention - these should identify the degree of physical intervention acceptable for non-conservation purposes as well as how any essential intervention is to be recorded;
 - ▲ disabled access;
 - ▲ priorities for urgent conservation works are to be identified; and
 - ▲ guidelines for traffic handling, parking, public amenities, and support facilities are to be prepared.

(h) Implementation Strategy

Outline the preferred use(s) and the works involved. Provide guidance on how such works can be implemented while minimising the impact on heritage significance. Justify in terms of the viable future of the heritage item any works that will have a substantial impact on the heritage significance. Discuss why other options of less impact have not been considered viable.

(i) Asset Management Guidelines

Management - recommend a management policy (within the context of any new ownership and use) through which future decisions on conservation are to be made for example a steering committee.

Statutory approvals - outline the necessary approval procedures to allow works to be carried out. Identify any planning or other issues that have a bearing on the adaptive re-use or development of the item.

Maintenance - include a practical maintenance strategy and set guidelines for appropriate usage and care of the items in accordance with the conservation policy including proposals for the review of the conservation management plans.

Funding - outline sources of funding that may be available given the significance of the item.

(j) Conservation Works

Compile a Schedule of Conservation works together with preliminary cost estimates for the conservation of the significant elements of the sites. An architectural presentation drawing of each building identifying typical colour finishes (may entail carrying out paint scrapes) and its setting following restoration in accordance with recommendations of each conservation plan shall be prepared.

4. CONTACT WITH PROJECT MANAGER AT COUNCIL

The project will be managed by Council's Property Services Group. Close liaison with the Project Manager is required during the project. The contact person for this project will be Lorraine McCarthy, telephone 4429 3138.

Your attendance will be required in Nowra:

- at commencement of the project (briefing meeting);
- midway through investigation stage to outline progress, findings and proposed further work;
- to attend a public meeting, together with relevant Council staff, as part of the community consultation process;
- presentation of final draft to senior staff;

- presentation to Council Committee.

Other site visits or meeting dates may be required depending on the response to the brief.

The consultant will be required to liaise with the Project Manager at least weekly and to fax progress statements to the Project Manager at the end of every two-week period.

5. FEE PROPOSAL

Council requires TWO (2) FIXED PRICE QUOTATIONS (inclusive of GST) for the preparation of conservation management plans as outlined in the brief:

1. being for all four properties, prepared concurrently; and
2. being for the first three properties only, ie omitting Jarman's Cottage, prepared concurrently.

Consultants shall complete Annexures "A", "B", "C" and "D" indicating the percentage to which each component will be addressed and these annexures should be included with any fee proposal.

Details (qualifications/background/other project work) of personnel to be involved, including any sub consultants, are to be provided together with hourly rates, so provision can be made for contingencies such as additional meetings etc. The quotation shall clearly state what has been allowed in order for contingencies to be applied fairly, if needed.

Also, a separate price is to be included in the event that Council resolves to hold public meetings for each property.

Council will only consider persons qualified for specific tasks to work on the project.

A sum of 10% of the contract price will be held over and paid out once Council is satisfied the work has been fully undertaken.

At the end of the project Council will require that the successful consultant submit a statutory declaration which states all sub-consultants, your staff and others commissioned by you to carry out work or supply material for it, have been fully paid, prior to the final payment being made to you.

6. PERSONNEL/SUB CONSULTANTS

The skills of the head consultant and other consultant team members should be appropriate to the task. An historian is to be involved in the process, particularly during the assessment stage. Specialist skills including an archaeologist, landscape architect and engineer should be considered. The consultant should endeavour to use local sub-consultants wherever possible, particularly in respect to local historians and architects and shall indicate in the response to the brief how these may be incorporated into the team. The consultant shall name its staff members and any sub-consultants who will be working on this project (except for drafting, clerical and typing support), and provide curriculum vitae for each of them.

No other professional staff or other sub-consultants should be used on this project without the written permission of Council's Project Manager or his/or her nominee.

7. TIMING

The conservation management plans are required to be completed as soon as possible with the commencement date suggested as two weeks from the date of notification to the successful tenderer. Ideally the plans should be completed within a sixteen (16) week period, or as agreed, with a schedule of works in the form of an appropriate time line diagram submitted with the quotation. The schedule of work should include submission of draft plans and time for discussion of the draft documents at least two weeks prior to the proposed date for completion of the final documents.

8. REPORT

The reports shall be bound, A4 size in portrait mode. Maps and diagrams shall be capable of photocopying in black and white while still conveying their information. Draft reports shall be submitted to the Project Manager for assessment before final printing. Two coloured copies, and one laser print copy of each final report, printed on good quality, low sheen paper, spiral bound, plus one unbound laser print copy, together with an electronic copy (MICROSOFT Word 97) of the final reports shall be provided.

A copy of the enclosed matrixes, Annexures "A", "B", "C" and "D", showing the percentage to which each component has been dealt with should be appended to the relevant final reports.

9. COPYRIGHT

Any studies, investigations, designs and associated documentation and drawings prepared for Council in this project shall be owned and become the sole property of Shoalhaven City Council for all copyright purposes.

10. SUPPORT MATERIAL

Council can supply the consultant with base mapping, from its computerised map base both of the subject land and surrounding area at any scale suitable for presentation of report maps and local environmental plan map.

Aerial photography may be available at Council to assist with this project, however, this may only be used by the consultant at Council's offices. Should you require such photographs or enlargements of them to carry out your work, either in the field or at premises other than Council's Nowra office, then these should be budgeted for in your proposal but shall become the property of the Council at the conclusion of the project.

11. PAYMENT

Payment will be made in three equal amounts which will be made over the course of the contract; (1) at commencement; (2) on receipt of draft documents; and (3) on receipt of final documents with a sum equal to 10% of the contract price being retained and paid out once Council is satisfied the work has been fully undertaken.

12. CLIENT CONFIDENTIALITY

Your client on this project shall be Shoalhaven City Council.

The specific material from the outcome of surveys or conclusions arrived at from this project shall be treated as confidential between Council and yourselves. To this end, Council requires a written undertaking that the consultant and any sub-consultant will not release any material, work or finding on the study/project to any other party prior to that study being reported to the Councillors.

13. DISCLOSURE OF INTEREST

As part of the consultant's response to the brief you are required to disclose, in writing, any interest or matters which may prejudice the consultant's ability to act objectively on behalf of Council in this commission.

14. INSURANCE

Your response to the brief shall provide documented evidence to Council that you have adequate insurance cover in respect of professional indemnity and public liability insurance.

15. OCCUPATIONAL HEALTH AND SAFETY

Council requires that the consultant will at all times adopt recognised and appropriate standards in relation to occupational health and safety matters when undertaking this work. The consultant must also ensure all sub-consultants do likewise.

16. CONFLICTS OF CONDITIONS

If there are any conflicts of conditions between this brief and your response then, unless specifically agreed to, in writing, the Council's conditions will take precedence.

17. TERMINATION OF CONSULTANCY

Council retains the right to terminate the consultancy at any time with four weeks notice having regard to the general performance of the consultant in carrying out the proposed work and/or for the consultant's inability to reasonably meet the agreed timetable for carrying out such work.

18. PERFORMANCE REVIEW

At the conclusion of the project Council will undertake a review of the consultants performance including:

- adequacy in meeting the brief;
- whether the project was carried out on time;

Council will discuss its findings with the consultant and the final outcome will be taken into account when Council is selecting consultants for future projects.

19. DATE FOR RETURN OF SUBMISSION

Please forward your submission to Council, in writing, with the required information by 5pm on 24 September 2001.

If you have any queries on the above please contact the Project Manager, Lorraine McCarthy, Property Services Group (02) 4429 3138.

John Drummond
PROPERTY SERVICES MANAGER
30 August 2001

CONSERVATION MANAGEMENT PLAN

Prepared for Property Services Group, Shoalhaven City Council - 2001

DESCRIPTION OF THE HERITAGE ITEM: JARMAN'S COTTAGE				
STANDARD COMPONENTS		100%	IF PART, % TO BE COMPLETED	DESCRIPTION OF WORK TO BE COMPLETED, IF PART
1.0	INVESTIGATE SIGNIFICANCE			
1.1	Research and analyse written and graphic information and establish historic context of building	100%		
1.2	Comparative analysis with other items and other work of the architect.	100%		
1.3	Investigate and analyse physical evidence of the item including its curtilage and correlation with documentary evidence sufficient to assess significance. Incorporate limited documentation of a diagrammatic nature rather than full measured drawings, dependent on material available	100%		
1.4	Provide chronological history of the item. Including use and significance	100%		
1.5	Analyse documentary and physical evidence to determine what contributes to its significance	100%		
1.6	Establish/identify extent of curtilage in order to protect the building and retain/enhance significance	100%		
2.0	ASSESS SIGNIFICANCE			
2.1	Prepare a succinct Statement of Significance, as a result of analysis of documentary and physical evidence	100%		
2.2	Assess individual significance of component parts based on the State Heritage Inventory criteria and determine degrees of significance	100%		

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3.0	MANAGE SIGNIFICANCE			
3.1	Outline constraints and opportunities arising from the heritage significance of the item and outline the constraints and opportunities that arise as a result of the physical condition of the item.	100 %		
4.0	CONSERVATION POLICY			
4.1	Prepare succinct statement of conservation policy including or considering the following issues: <ul style="list-style-type: none"> ➤ Feasible uses, compatible with retention of cultural significance ➤ Policies for conservation and of the building and its setting ➤ Propose appropriate methods for interpretation, making the significance of the place understood ➤ Recommend acceptable controls on intervention ➤ Identify priorities for urgent conservation works to assist in planning Council works and maintenance programme ➤ Prepare guidelines for traffic handling, parking, public amenities and support facilities 	100 %		
5.0	IMPLEMENTATION STRATEGY			
5.1	Outline client's preferred uses and works involved – Consult with relevant Council officers and user groups or community groups	100 %		
5.2	Assess recent or proposed works to the item or in the vicinity in terms of potential impact on the significance of the item	100 %		
6.0	ASSET MANAGEMENT GUIDELINES			
6.1	Management policy, recommend structure for future care and management	100 %		

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6.2	Outline the necessary approval procedures to allow works to be carried out.	100%		
6.3	Recommend strategy for ongoing maintenance	100%		
6.4	Outline sources of funding that may be available given the significance of the item.	100%		

7.0 CONSERVATION WORKS

7.1	Compile a Schedule of Conservation Works together with preliminary cost estimates for the conservation of the significant elements of the site.	100%		
7.2	Prepare an architectural presentation drawing of the building identifying typical colour finishes (may entail carrying out paint scrapes) and their settings.	100%		