

## 5.0 PHYSICAL EVIDENCE

### 5.1 THE SETTING

#### **The Surrounding Area**

On their western extremity the showground precincts are edged by the steep, thickly wooded escarpments of the banks of the Shoalhaven River and Nowra Creek. It is these natural bushland elements which contribute greatly to the picturesque character of the showground. This area contains parts of Ben's Walk and the caves and shelters in the vicinity of Hanging Rock which were used by homeless men during the Depression years.

To the east, the western edge of Nowra city is almost solely residential, with a number of the houses including Meroogal House being of heritage significance. Nowra Park and the hospital are situated directly to the north of the site with West Street Oval on the south, reflecting the original dedication of land to public use in 1881.

#### **Views and Vistas**

Because of its location at the crest of land rising gradually from the city centre to the west, the showground site offers significant views in a number of directions. Views west over the Shoalhaven River and Cambewarra Mountain to the north west are spectacular. (Fig. 5.1). These views are also apparent along Scenic Drive in Precinct 2, although marred to some degree by the overhead power lines. The 1937 photo (Fig. 4.16) illustrates that apart from a few less trees in the foreground the view from Hanging Rock Lookout was much the same as it is today.

On the higher ground adjacent to the Community Youth Centre, within the seating of the Federation Pavilion and along the two entry roads, there are significant views over the city with glimpses to the coastland in the distance. (Figs. 5.2 & Plan Drg 4 in Section 7.0) The visibility of Meroogal House and other residential properties from Precinct 1 to the south east has always been apparent and remains to this day (Fig. 4.10). The large open expanses of the main oval and the playing field also enable long internal vistas north and south within the showground complex. In the Horse and Cattle Area, south of the Commentary Box, there are views to the adjacent West Street Oval and neighbouring properties.

#### **Approach Routes**

The traditional approach routes and entries to the showground are a natural extension of the Nowra street grid pattern. Junction Street and Worrige Street formed the northern and southern extremities of the site until the "Added Area" extension and the Horse and Cattle Area extension altered this configuration. The Junction Street entrance to the showground is formed by the Nowra War Memorial gates which are surrounded by bitumen road (Fig. 5.3). The pedestrian gate on the south side of the Memorial is connected to the Pavilion by a concrete pedestrian path, while the pedestrian gate on the north is not linked to any path. The bulk and height of the stone gates create a dramatic statement at the entry. The road from the gates to the Pavilion is the only bitumen road within the showground which is kerbed and guttered. Combined with the mature trees, the width, edge treatment and the added lighting, this road has a formality unique to the site and is a recognition that it is the dominant entry to the showground.

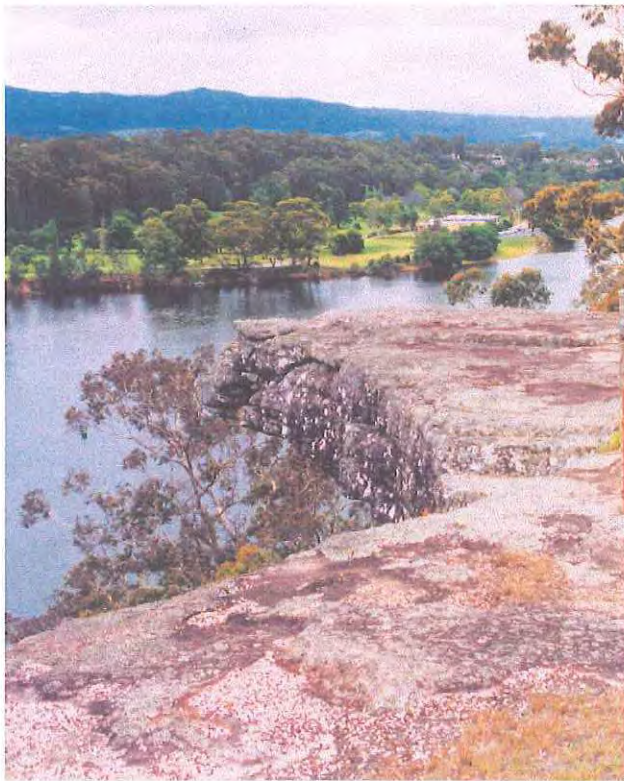


Fig. 5.1 - View looking north west from Hanging Rock Lookout toward Cambewarra Mountain.



Fig. 5.2 - View looking east down Junction Street with glimpses of coastal land.



The Worrigee Street entrance however is quite different and suffers from neglect. It is narrow and defined by the old McKenzie Gate posts which are not centred on the Worrigee Street alignment. The relocated McKenzie Gate posts are used in conjunction with rusting chainwire gates and fencing and the unsightly fibro clad Commentary Box and an overhead pole transformer are in full view at this entry (Fig. 5.4).



Fig. 5.3 - Nowra War Memorial Gates looking west into showground from West Street.



Fig. 5.4 - Worrigee Street entry looking west into showground showing old McKenzie Gate posts, rusting chainwire fence and gates, pole-mounted transformer and Commentary Box in background.



## 5.2 LANDSCAPE ELEMENTS

Early photos of the site indicate the showground precincts were well wooded with native trees. The fact that it was dedicated a public reserve probably helped retain this vegetation. It is the presence of the mature stands of trees which contribute greatly to the aesthetic significance of the site. Plan Drg. 3 is taken from a recent aerial photograph and illustrates the considerable spread of mature trees throughout the showground precincts. The most common native species are Spotted Gum, Black Butt and Grey Gums (refer *Nowra Showground Tree Survey and Analysis* for location and species of all trees which is located in Appendices).

In Precinct 3 the introduced Coral Trees surround the Cattle Judging Ring and provide much shade and give a distinctive character to the area (Fig. 5.5). To the south of the Federation Pavilion the line of memorial "Hills" figs are well developed and in some areas tree growth has pushed over the timber bench seating and trunks have grown around the seats (Fig. 5.6). Carparking immediately to the west of the figs has denuded the ground and are putting the trees at risk of damage.

Both the Main Oval in Precinct 1 and the Playing Field in Precinct 2 are sumptuously grassed and are well maintained. In Precinct 2 grass extends through the chainwire boundary fence on the east right to the kerb in West Street (Fig. 5.7). On the north of this precinct the disused netball courts and the haphazard storage of gravel and top dressing are a detraction (Fig. 5.8). In both Precincts 1 and 3 grass growth has been retarded to some degree by the free movement and parking of vehicles. This is especially so in the area between the oval and Hanging Rock Lookout. Smaller scale garden planting is confined to the Federation Pavilion and Caretaker's Cottage and is well tendered.

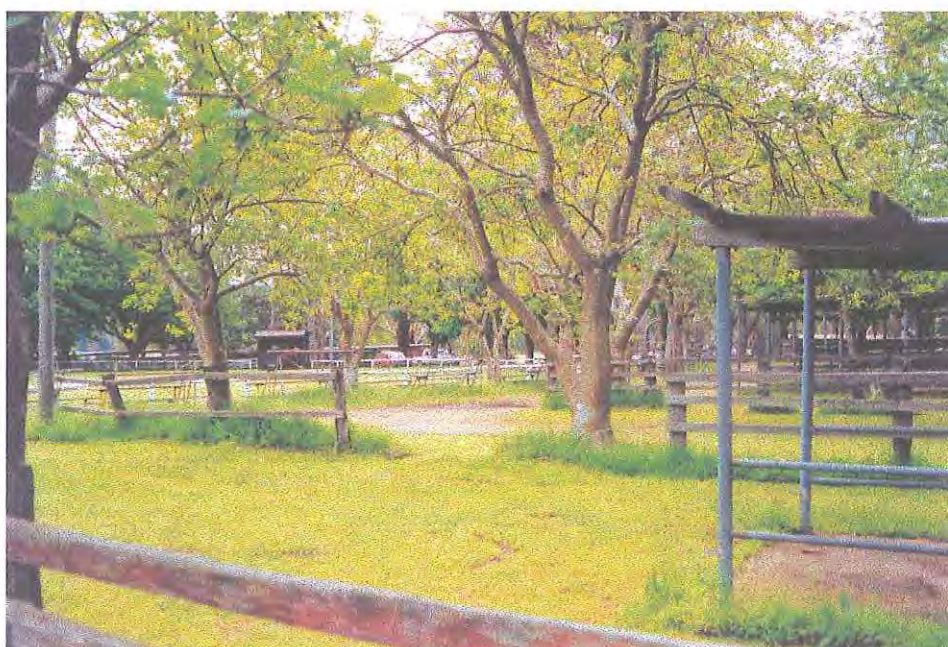


Fig. 5.5 - Coral trees around the Judging Ring, Precinct 3.



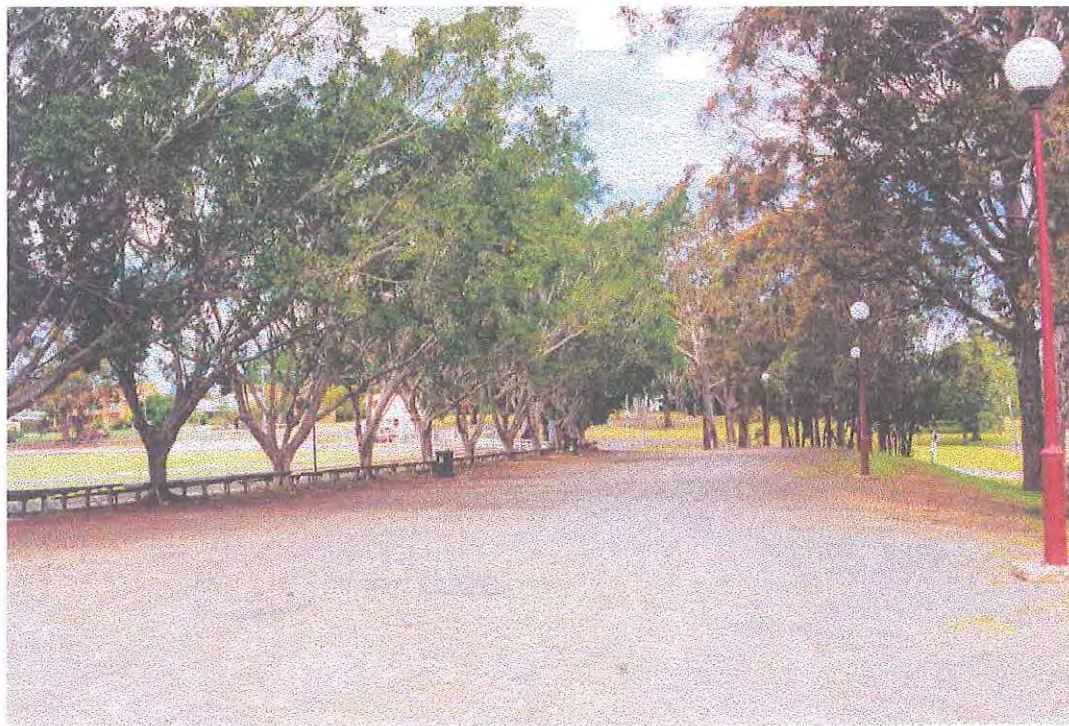


Fig. 5.6 - "Hills" fig trees to the south of the Federation Pavilion adjacent to timber bench seating and denuded parking area.



Fig. 5.7 Precinct 2 - showing grass extending through chainwire boundary fence to West Street kerb and guttering.





Fig. 5.8 Precinct 2 - showing disused netball courts and mulch and gravel storage area at northern boundary.



### 5.3 BUILT ELEMENTS AT THE SHOWGROUND

#### The Main Showground (Precinct 1)

##### *Federation Pavilion*

The original pavilion building comprising the elevated grandstand seating, two side halls, high hipped and gabled roofs with decorative slatted gable infills and finials supported on timber posts can be seen in Fig. 5.10. The 4.5 metre wide 1939 addition to the rear of the building has been fully incorporated into subsequent alterations. The 1954 addition to the south western end of the building of a Rural Youth Hall, Powder Room and Refreshment Kiosk was removed in the 1987-88 alterations and additions.

##### *1987-88 Alterations and Additions (Figs. 5.9, 5.11, 5.12, 5.13 & 5.15)*

In summary this work comprises:

- demolition of 1954 additions
- new internal structure to create Exhibition Hall and mezzanines
- new ground floor Supper Rooms and Courtyards to west elevation
- existing roofs and eastern gable ends removed and new dutch gable roof constructed
- replacement, repair and restoration of upper steel roofing, timber gables, flagpoles and joinery to superstructure
- new concrete stairs and CFC sheeting in main grandstand seating area
- new concrete access stairs at each end of building and podium at front of pavilion

The building is in good condition.

##### *The western addition (Figs. 5.11, 5.12 & 5.14)*

This 1993 addition of a Committee Room, kitchen and amenities is stylistically in sympathy with the original Pavilion building, with the painted brick walls, roof pitch, corrugated roofing and detailing generally matching the existing. Connected to the original building via a covered walkway, this addition involved the deletion of the two rear courtyards created in the 1987-88 alterations to the Main Pavilion. The addition is in good condition.



Fig. 5.9 - Federation Pavilion  
viewed from Main Oval.





Fig. 5.10 - Federation Pavilion in original configuration. Note changes to gables of halls at either end and to side access stairways and podium.

Photo: Courtesy R. Florance



Fig. 5.11 - Pavilion and western addition viewed from the north.





Fig. 5.12 - View from south west showing Federation Pavilion and covered walkway to western addition.



Fig. 5.13 - Detail of Federation Pavilion showing decorative timber work to gables.





Fig. 5.14 - Western addition to Federation Pavilion viewed from Woodchop Arena.



Fig. 5.15 - Interior of Federation Pavilion showing new mezzanine level.



### *The Main Oval*

The focal point of the oval is the Federation Pavilion on the western side and the adjacent line of "Hills" figs. The outer oval fence is white painted timber consisting of uprights with a top and two intermediate rails. There is a section of brick retaining wall and galvanised steel fencing on the southern perimeter. Separated by the trotting track, the inner fence is a single top rail supported on pipe rail uprights. Both fences are in fair to good condition. The trotting track, 480m long at its outer perimeter is not turfed, while the oval itself is sumptuously grassed. Timber seating is located on the outside of the fencing either side of the Pavilion and on the southern perimeter just east of the Commentary Box. Seating is of a simple timber bench type, fixed to pipe rail and angle uprights and generally in fair to poor condition. As mentioned above (in 5.2) some of the seating at the base of the line of "Hills" fig trees is badly deteriorated by root and tree growth and is a danger to the public.

The fibre cement clad Commentary Box on the southern side of the oval is in fair to poor condition, generally unsightly and does not complement the architecture of the Main Pavilion.



Fig. 5.16 - The Main Oval with the trotting rail in the foreground and Federation Pavilion in the background.



Fig. 5.17 - The fibro clad Commentary Box on the southern side of the oval.



*Victorian Memorial Cast Iron Fountain (Monaghan's Memorial)*

The cast iron fountain is located at the top of Junction Street to the north of the Federation Pavilion (Fig. 5.18). The octagonal rendered base and paving is not original while the fountain itself has later added taps and bubblers. The cast iron has been painted. Its condition is fair with some evidence of rust and one of the scrolls is broken off. It should be inspected by a specialist materials conservator and recommendations made for rustproofing, stabilisation and the replacement of the broken scroll.



Fig. 5.18 - Victorian Memorial Cast Iron Fountain.

*Victorian Masonry Gate and Toilet*

No original drawings of the McKenzie Gates have been located, nor have any early photos which show the original building in any detail. The stone gates associated with the building have been relocated to the Worrigee Street entrance but their original configuration is unclear.

The original masonry building measures about 4 metres x 3 metres in plan (Refer to Drg. 5.1 & Figs. 5.19 & 5.20). It is a simple rectangular masonry structure, rendered and painted with a simply pitched corrugated iron clad roof which has been painted. Masonry parapeted gables rise above the roof at each end. The corners of the building are emphasised by quoins formed in the render with a simple cornice moulding which gives the small building a classical character. The building was originally entered through the round arched masonry wall on the north and it was marked by a white marble plaque over the arch with black lettering - MEMBERS ENTRANCE.



Although the arched opening was infilled by a wall when converted to a toilet, the arch remains open on the south. Much of the original fabric remains including the vaulted timber panelled ceiling. Exactly how the interior originally functioned is unclear. Additions to the original building include the internal toilet fitout of 1937, the infill and window to the north arch, the enclosing masonry walls to the south and the external concrete slab. The existing corrugated steel roof has a paint finish and is in a poor condition. The rendered masonry walls are in fair condition with the only sign of any significant cracking in the southern arch. Internally the toilet fitout and finishes are generally in a poor condition.

In the medium term this building should be inspected in detail by a heritage consultant for termite damage, water ingress etc. which may further damage building fabric. An acceptable use for this building would be refitting as a public toilet, the design being carried out in conjunction with a heritage consultant.



Fig. 5.19 - Victorian Masonry Gate and Toilet viewed from south western side showing added screen wall as part of the toilet conversion.



Fig. 5.20 - Detail of toilet showing cornice moulding and quoins formed in render at corners.



*Inter War Castellated Gateway and Sculpture (Nowra War Memorial Gates)*

This rusticated ashlar sandstone memorial consists of a central tower flanked symmetrically by separate arched vehicular and pedestrian gateways which give access to the showground (Fig. 5.24). The main gateway tower and smaller side towers are crenellated with projecting machicolation. The arch motif of the gateways is repeated in the central tower, but here the form is taken up by the sandstone honour roll. To the rear of the central tower an opening provides access to the upper level. The later added sculpture is in bronze and it stands on a natural sandstone pedestal within a small pool contained by a sandstone dwarf wall in ashlar masonry similar to the main monument (Fig. 5.23). The vehicular and pedestrian gates and small decorative window in the flanking sandstone walls are in painted cast iron (Figs. 5.24 & 5.25). The stonework is in a good condition and showing no obvious signs of weathering, although there is some staining at the upper levels of the towers and walls and there is some subsidence to the side walls. The wooden doors to the sentry boxes are in a very poor condition.



Fig. 5.23 - Inter-War Castellated Gateway showing bronze sculpture in front of central honour roll.





Fig. 5.24 - Inter-War Castellated Gateway viewed from West Street. Note staining to stonework at upper level and flanking fence.



Fig. 5.25 - Detail of gateway showing decorative window in flanking fence. Note staining to ashlar stonework.



*Poultry Pavilion*

This modern structure is a steel framed double gabled shed clad in Colorbond steel sheeting. (Fig. 5.26). The utilitarian building does not complement any of the early architecture of the showground and is most unfortunately located in the very open grassed area between the Main Oval and the western edge of the site. The building is showing signs of rust at ground level and there are several areas of vehicular damage. This building should be removed from its present location and either be relocated or replaced in a much less dominant area.

+ box  
guiter



Fig. 5.26 - Poultry Pavilion - looking south west.

*Changerooms (Warriors)*

This 1985 brick building and metal clad roof structure, like the Poultry Pavilion, is located in the large open space between the Main Oval and Hanging Rock Lookout (Fig. 5.27). Stylistically it is not in sympathy with any of the earlier structures at the showground. An internal inspection was not made but the building appears to be in fair to good condition. For the same reason as the Poultry Pavilion ideally this building should be removed from this dominant location.

*Dog Club*

This face brick building with a low pitched corrugated fibre cement roof is situated on Junction Street, just to the east of the remains of the old McKenzie Gates (Fig. 5.28). Although stylistically not in keeping with other buildings, the fact that it is set back from Junction Street and tucked under tree canopies has meant it does not dominate the site like other later structures. It is generally in good condition.





Fig. 5.27 - Changerooms - north elevation.



Fig. 5.28 - Dog Club on right and Female Toilet on left - viewed from Junction Street.



*Female Toilet*

Adjacent to the Dog Club, this masonry building has a simple pitched gable roof finished in corrugated metal (Fig.5.28). The gables are infilled with fibro and timber battens. Painted in the colours of the Federation Pavilion, the Victorian Masonry Gate, the Woodchop Pavilion and the site signage, it is not a dominant building and its gable end reflects the form and scale of the Caretaker's Cottage just to its east. It is in a fair condition.

*Caretaker's Cottage*

This simple low pitched roof bungalow appears to have undergone a number of external cosmetic changes throughout the years including some new windows, new fascias, roof and front verandah enclosure (Figs. 5.29 & 5.30). It is clad in fibro and weatherboards and has a Colorbond corrugated metal roof. An internal inspection was not carried out. The building and grounds are well maintained and it appears to be in good condition. Its adjacency to the Croquet Club buildings and Female Toilet, which are not dissimilar buildings, and the profuse greenery gives this area near the Junction Street entry a pleasant unity.

*Croquet Club and Green*

Located just inside the Junction Street entry and hidden behind a large fig tree this area is dominated by the flat grassed area of the croquet green (Fig. 5.31). The modest timber framed club building and converted garage are not readily observable from Junction Street. The buildings appear to be in good condition.



Fig. 5.29 - Caretaker's Cottage with croquet green on the left - looking south from Junction Street.





Fig. 5.30 - Caretaker's Cottage.



Fig. 5.31 - Croquet green with Club building in background and the Caretaker's Cottage in right foreground.



### **“The Added Area” (Precinct 2)**

#### *Community Youth Centre*

Completed in 1972, this building occupies the higher ground at the western side of the playing field (Figs. 5.32 & 5.33). The structure consists of a large gable roofed gymnasium with a flat roofed red face brick extension on the southern and eastern sides. To the north a red brick extension is topped with a gabled roof. The higher gymnasium building has its walls finished in fibre cement cladding with two large windows on its southern facade. Due to its elevation the building tends to dominate the western horizon in Precinct 3.



Fig. 5.32 - Community Youth Centre entry from Junction Street.



Fig. 5.33 - Community Youth Centre viewed from Playing Field.



### The Horse and Cattle Area (Precinct 3)

The main items in this area are the Judging Ring, the horse and cattle stalls, the timber fencing, stone loading ramps and horse yards. It is the rustic nature of these items in combination with the Coral trees which give this area much aesthetic significance.

#### *Horse and Cattle Stalls/Yards/Fencing and Watering Points*

The horse and cattle stalls, located between the Judging Ring and the western boundary of the showground are simple structures, roofed in corrugated steel on timber purlins and supported either on timber or galvanised steel uprights (Fig. 5.34 & Drg 5.1). Oriented in an east west direction, their linear form is a strong visual element in Precinct 3. The stalls themselves are in a reasonable condition, although a good deal of the associated post and rail fencing is not. The weathered, leaning nature of a lot of the fencing adds to the rustic character, but much will eventually need to be replaced or repaired if it is to perform the function for which it was intended (Fig. 5.35). In the east of this precinct the fenced yards are somewhat scrappy and unkempt in appearance with weed growth and a dead tree which should be removed (Fig. 5.36). Fencing to the Judging Ring is in a bad state of repair as is a lot of the bench and tiered seating. Repairs and/or replacement are required for reasons of public safety (Fig. 5.37). The "Judging Shed", a rude timber framed and weatherboard structure, is in poor to fair condition.



Fig. 5.34 Precinct 3 - showing typical timber and steel pipe framed stalls and timber post and rail fencing in foreground.





Fig. 5.35 Precinct 3 - showing weathered, rustic qualities of some of the post and rail fencing.



Fig. 5.36 Precinct 3 - showing general unkempt nature of the fenced yards on eastern boundary.





Fig. 5.37 Precinct 3 - damaged fencing adjacent to timber bench seating around the Judging Ring.

#### *Stone and concrete loading ramps*

Located on the southern side of this precinct these two loading ramps, like the stalls and fencing, contribute to the aesthetic qualities of this area (Fig. 5.38). Both the stonework and concrete is in fair condition.

#### *Publican's Bar and Toilets ("Family Cafe")*

This 1987 building is constructed of red face brick and has a low pitched metal deck roof with a deep timber fascia and is generally in good condition (Fig. 5.39). Although set back under tree canopies, it is intrusive, aesthetically in stark contrast to the materials and construction of the earlier structures in the precinct.

#### *Storage Shed*

A Colorbond metal clad shed with a roller shutter, this utilitarian 1995 building should not be located in the dominant position close to the Worrigge Street entry (Fig. 5.39). It is in good condition.

#### *Horse Trough*

This concrete watering trough located between the Publican's Bar and the Storage Shed was relocated from elsewhere in Nowra in 1979. Considering its function it is probably the most appropriate part of the showground for it to be located. It is in fair to poor condition and will soon need some conservation work to prevent further deterioration (Fig. 5.40).





Fig. 5.40 Precinct 3 - concrete horse watering trough.

#### **Picnic furniture and power outlets**

Picnic furniture is generally confined to the western side of Precinct 1, in the area of Hanging Rock Lookout and the entries to Ben's Walk. This furniture lacks unity in design and some of it detracts from the aesthetics of the site. There are a number of types, including timber, a combination of steel pipe and timber and a fibreglass exposed aggregate type (Figs. 5.41 & 5.42). A number of the timber picnic table and chair sets are nearing the end of their life. Priority should be given to unifying the design of future furniture installations. The fibreglass variety located near the northern entry to Ben's Walk should be avoided in the future.

The power outlets used during the Annual Show are visual detractors. (Figs. 5.43 & 5.44). The galvanised boxes fixed to poles are located in the open area to the west of the Main Oval which makes them highly visible. Priority should be given to the installation of either in-ground varieties or outlets which can be placed out of sight when not in use.





Fig. 5.41 - Timber and steel picnic set in Precinct 2.



Fig. 5.42 - Fibreglass and exposed aggregate picnic set in Precinct 2.





Fig. 5.43 - Galvanised pole-mounted power boxes are visually intrusive.



Fig. 5. 44 - Galvanised pole-mounted power boxes located in open areas are highly visible.



## 6.0 COMPARATIVE ANALYSIS

When assessing the cultural significance of the Nowra Showground site a comparison with other showgrounds will aid in establishing whether there are special qualities particular to the site which contribute further to its significance. Detailed surveys of NSW showgrounds are not readily available, although some information can be gained from both Australian Heritage Commission and NSW Heritage Office listing data. A small survey of showgrounds in the Hunter Valley was carried out by Jennifer McMonnies for the National Trust in 1996 (*Survey of Rural New South Wales Showgrounds - Hunter Valley 1996*). Without comprehensive data covering various aspects such as the date of establishment of the showground, plan layout, the setting, the type and architectural styles of buildings, amount of retention of original layout and buildings among others, little meaningful comparison can be made. Ideally visits should be made to individual showground sites to enable these comparisons to be carried out. As this was not possible within the present scope of this work the report mentioned above has been used as a basis for comparison. Considering there are over 200 show societies within NSW it should be emphasised that this survey represents a very small sample of showgrounds. All plans and photos in this section are from the National Trust survey by J. McMonnies.

### 6.1 BULAHDELAH SHOWGROUND

**Date of establishment:** First show held early 1920s. Disbanded in 1968, but commenced again in 1983.

**Setting:** On the west side of the town, bordered by houses on three sides with the Myall River further to the west. The ground rises gently to the west and there is a scattering of mature, mostly eucalypt trees.

**Layout:** refer to plan Fig. 6.1

**Brief description of buildings and features:**

Formal main entry gates and driveway flanked by mature pines.

*Ivan Richards Pavilion* - built in 1985 which houses indoor cricket and basketball.

*White Main Pavilion* - built in 1922 is a timber framed building with corrugated iron cladding and roof, unlined internally.

*The Schultz Shed* - is essentially a recent converted garage and is timber framed with weatherboard cladding and a corrugated iron roof.

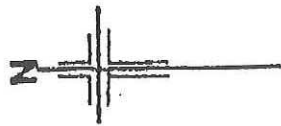
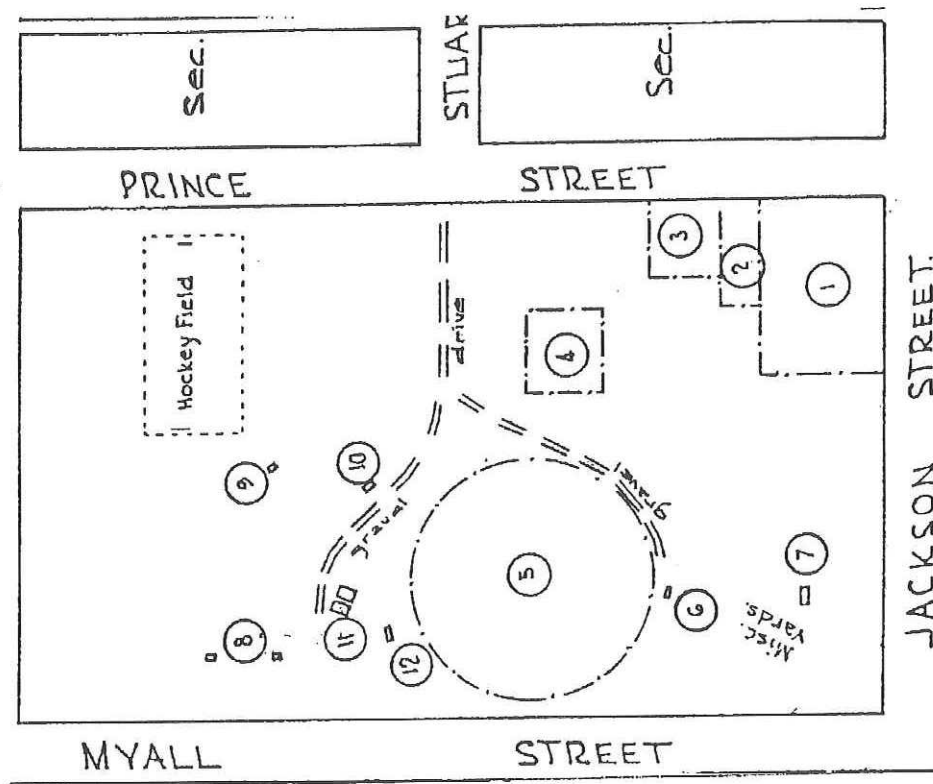
*Old stables* - built in 1922 are of timber post and slab cladding with galvanised iron roof. Repaired unsympathetically over the years.

*New stables* - built in 1990 and built from recycled timber by volunteer labour.

*Bar* of timber framing and weatherboard cladding and galvanised iron roof in poor condition.

Other facilities include an Apex entertainment shed, tennis courts, fields for ball sports, children's playground and amenities blocks.





1. Bowling Club
2. Children's Playground
3. Tennis Courts
4. Basketball Courts
5. Show arena & Cricket Pitch
6. Bar
7. Horse Stables
8. New Stables
9. Football/hockey fields & facilities
10. Ivan Richards Pavilion
11. White Main Pavilion
12. Schultz Shed

Fig. 6.1 PLAN OF BULAHDELAH SHOWGROUND





Fig. 6.2 - Old stables at Bulahdelah Showground (looking south).



Fig. 6.3 - Pavilion group at Bulahdelah Showground (looking west).



## 6.2 DUNGOG SHOWGROUND

**Date of establishment:** First show held in 1887, although present showground opened in 1924.

**Setting:** On the western side of town on hilly ground surrounded by houses on three sides with bushland on the west.

**Layout:** refer to plan Fig. 6.5

**Brief description of buildings and features:**

*The Grandstand* - erected in 1932 is constructed from rendered brick with a corrugated iron open gabled roof. Timber posts which divide the length of the pavilion into bays have brackets and capitals and are well crafted. Below the seating is a function room, kitchen, storage and ablutions area. Upgraded for fire reasons in 1988.

*Main Pavilion* - originally built in the 1880s was a timber framed structure which has been substantially altered.

*Cattle pavilions* - built in 1887 constructed from timber posts and with corrugated iron sheeting to gabled roof. Some insensitive alterations and repairs. Generally in poor condition.

*Dairy Cattle Pavilion* - (c1910-20) timber framed with corrugated iron roof, dirt floor and open on all sides. The roof has a small gabled roof with an open clerestory and wide skillions

*Horse Stalls* - are timber framed with painted corrugated roof built in c1920s

*Machinery Shed* - large modern steel framed with low pitched gable roof

*Residence* - built in 1910-20 is timber framed and sheeted with corrugated iron. Originally a pavilion and has been converted.

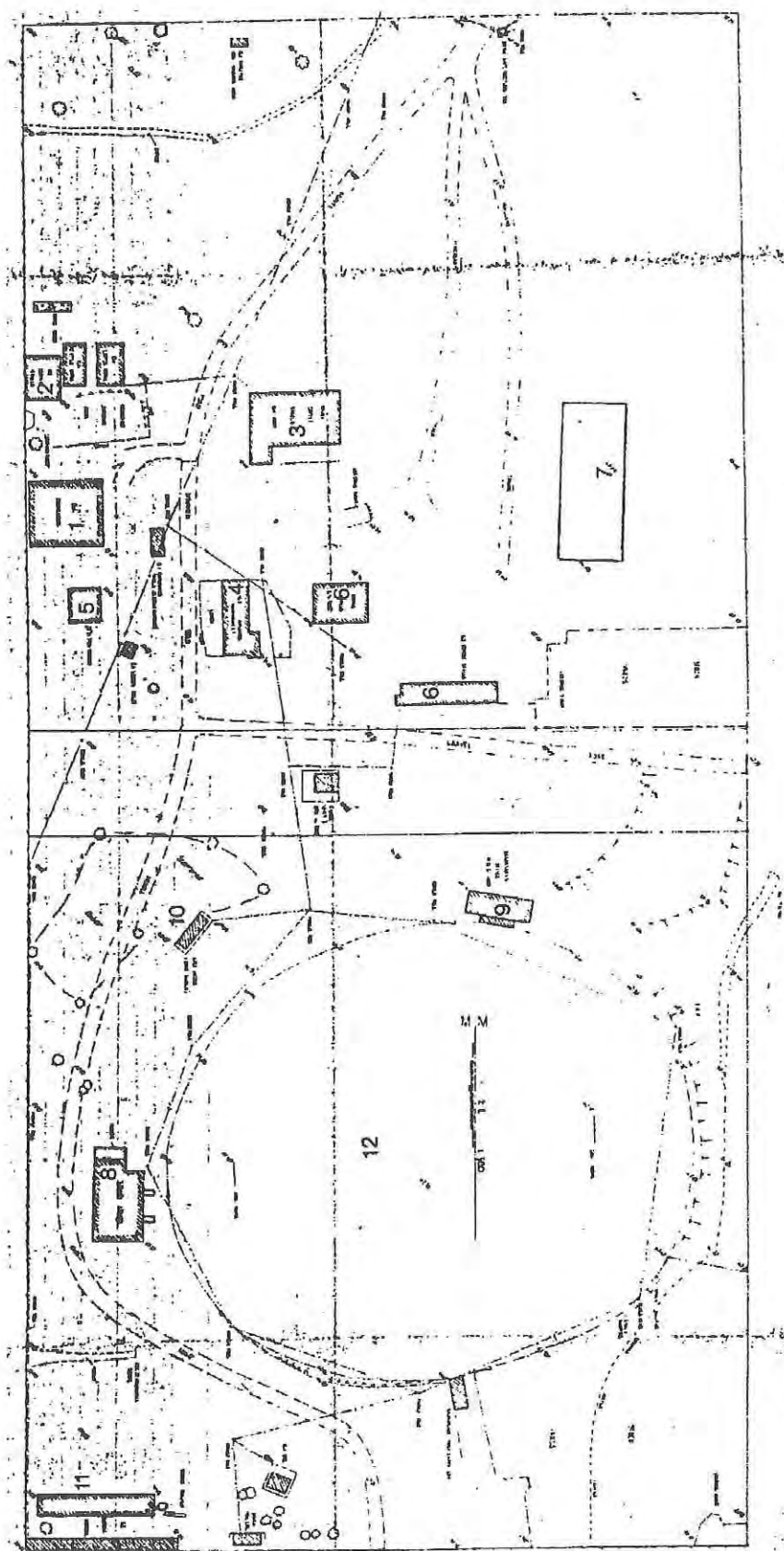
*Pre-School Kindergarten* - built in 1950 is a cottage of timber frame and weatherboard cladding.

Other facilities include a modern secretary's office, modern kiosk and timber pole framed stables.



Fig. 6.4 - Grandstand Dungog Showground (looking south west).





1. Main Pavilion
2. Cattle Pavilion
3. Dairy Cattle Pavilion
4. Residence
5. Pre School Kindergarten
6. Horse Stalls
7. Machinery Shed
8. Grandstand
9. Secretary's Office
10. Kiosk
11. Stables
12. Arena





### 6.3 GLOUCESTER SHOWGROUND

**Date of establishment:** First show held in 1910.

**Setting:** A spectacular natural setting 1.5 kms north of town. 20 mature eucalypts on the site.

**Layout:** refer to plan Fig. 6.6.

**Brief description of buildings and features:**

*Poultry Pavilion* – built c1920 is timber framed with corrugated iron roof and weatherboard cladding.

*Beef Pavilion* – built 1920s is an open pavilion of timber posts with painted corrugated iron roof. Has a later addition to the east and is in poor condition.

*Produce Pavilion/Handicrafts Pavilion* – built 1920s timber framed building with a high pitched metal trussed gable roof clad in corrugated iron. Partially lined interior with concrete floor.

*Stock Yards* – possibly original 1908 yards but most of original material replaced.

*Rural Youth Hall* – steel framed with corrugated steel roof built in 1970. Brick ablutions block addition.

*Trade/Art Pavilion* – a rectangular steel framed building clad in corrugated steel built 1980s.

Other facilities include a Luncheon Room built in 1970, a Bar built in 1970s, an hexagonal Secretary's Office and a small Gatekeeper's Box.



## CONSERVATION MANAGEMENT PLAN

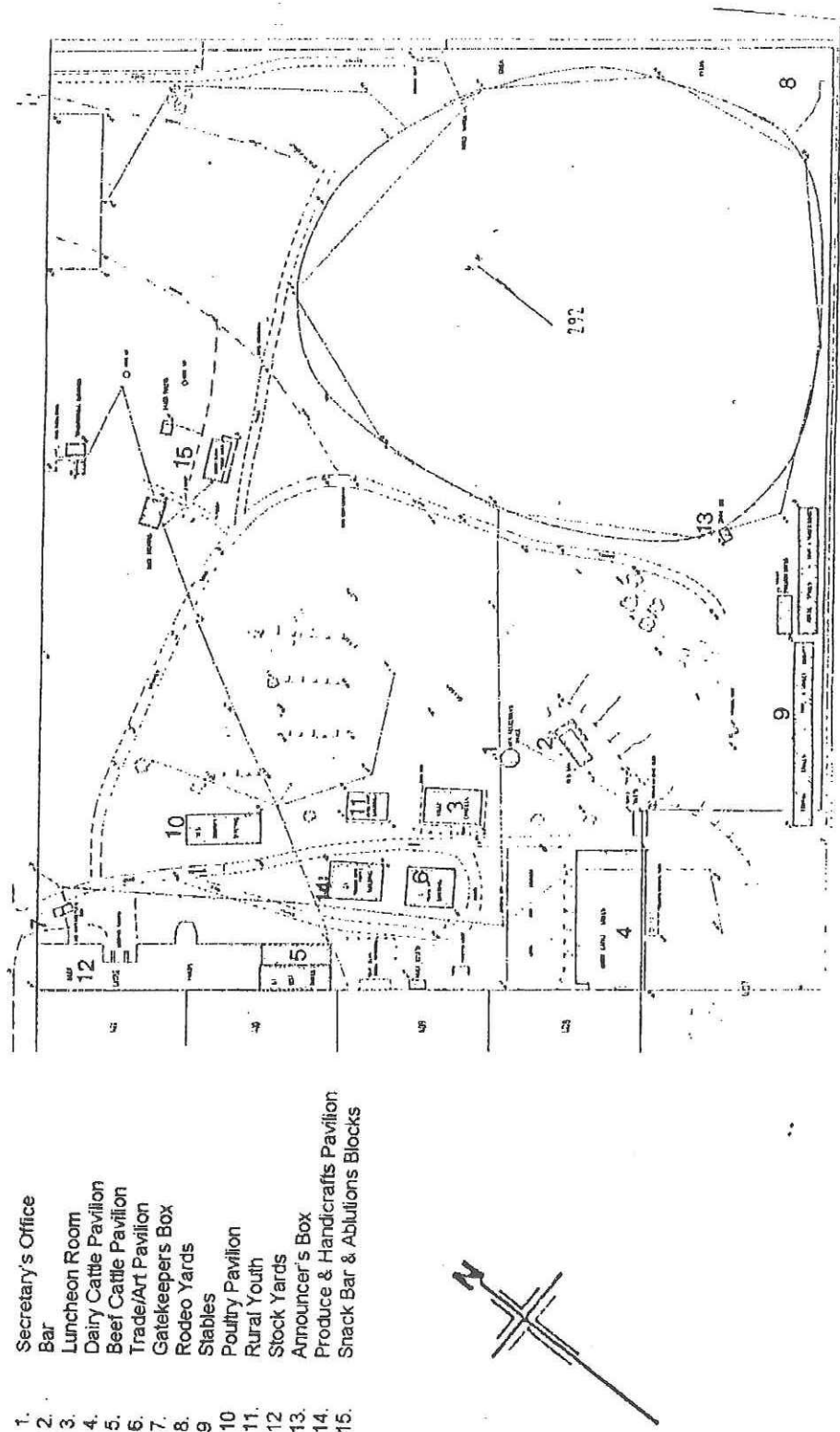


Fig. 6.6 PLAN OF GLOUCESTER SHOWGROUND



## 6.4 MAITLAND SHOWGROUND

**Date of establishment:** Present showground established in 1873.

**Setting:** Located on the southern extremity of Maitland town, it is bounded by dwellings on three sides with agricultural land on the south. Mature landscaping features are interspersed among the buildings and include 6 Moreton Bay Figs, 17 pine trees, a number of Gums and 3 oaks.

**Layout:** refer to plan Fig. 6.7

**Brief description of buildings and features:**

*Arts and Crafts Pavilion* – Designed by local Architect John Pender in 1880s is a good example of late 19<sup>th</sup> century exhibition hall with finely crafted timber detailing. The building is timber framed and clad in corrugated iron with a high pitched gabled roof clad in corrugated iron with decorative timber bargeboards. Its condition is poor.

*Poultry Pavilion* – probably designed by John Pender c1880 is a fine example of a relatively intact 19<sup>th</sup> Century vernacular pavilion with finely worked timber detailing. The building is a long low timber framed pavilion clad in corrugated iron with a gabled corrugated iron clad roof. Its condition is poor.

*Thomas Morgan Pavilion* – erected in 1980s, is a steel portal framed structure with sheet metal cladding, unlined internally.

*Harold Mead Pavilion* – erected in 1980s, it is a steel framed structure with sheet steel cladding.

*Willard Pavilion* – commercial exhibit building built in 1970s. Steel framed with a low pitched gabled roof clad in corrugated iron.

*Grandstand and McDonald Pavilion* – a fine Federation Arts and Crafts Pavilion built of mid brown brick with a sandstone coping in c1900. The roof is a barrel vaulted on light steel framed trusses and sheeted in corrugated steel. The roof is supported on 11 fluted cast iron columns and curved wrought iron brackets. The *McDonald Pavilion* erected c1900 is located on east side of arena at the rear of the Grandstand and is in the Federation Arts and Craft style with red brickwork and four bays of sawtooth roofs.

*Collectors Building* - (c 1940) a steel framed building with a low pitched gabled roof in corrugated metal.

*Horse Stalls* - (c 1970) three separate buildings in concrete block with corrugated steel roofs.

Other buildings include Greyhound kennels (built 1980s) and Beef and Dairy Cattle Stalls (built 1980s) both being concrete block structures.

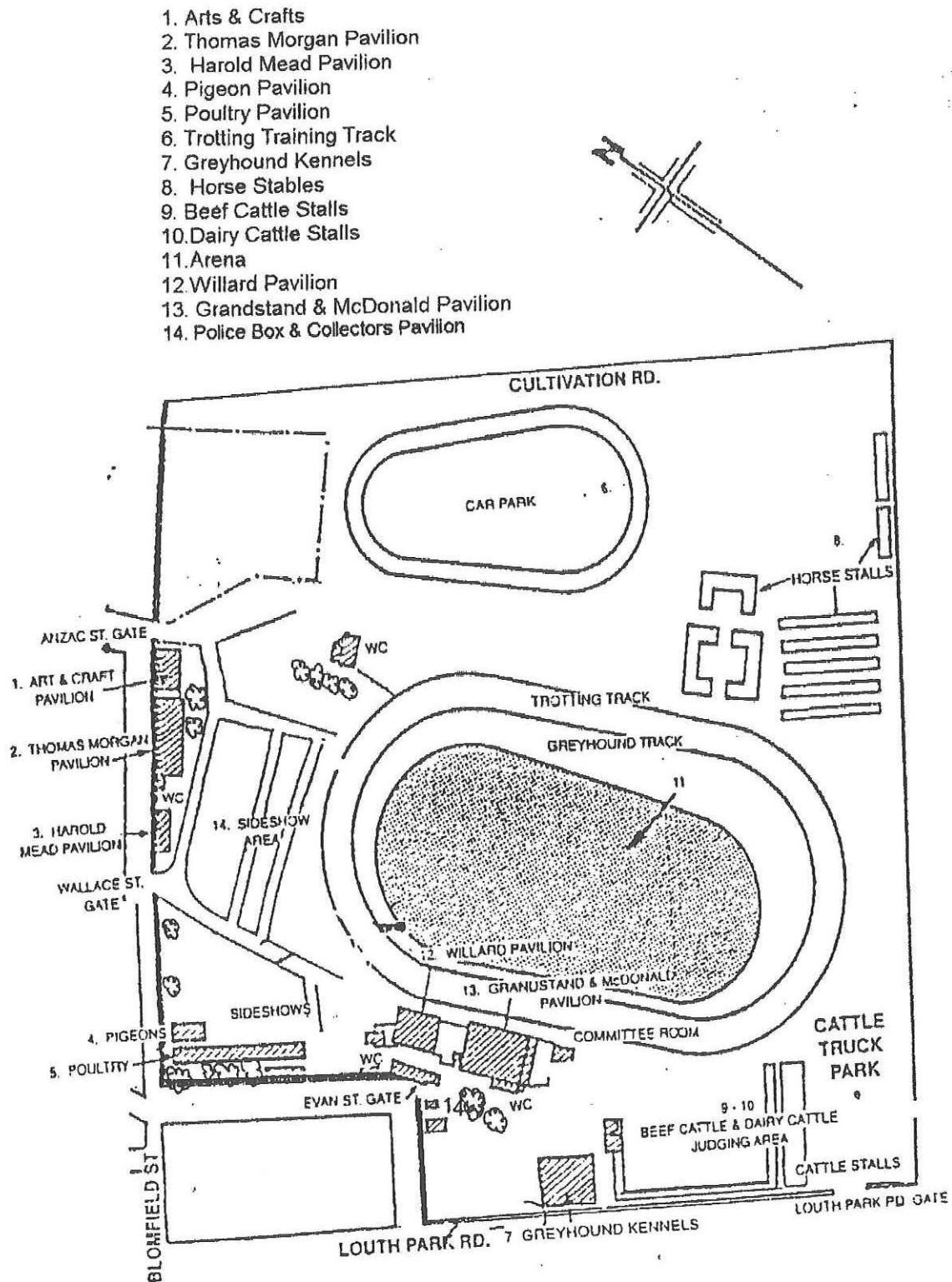


Fig. 6.7 PLAN OF MAITLAND SHOWGROUND





Fig. 6.8 - Grandstand Maitland Showground (looking north west).

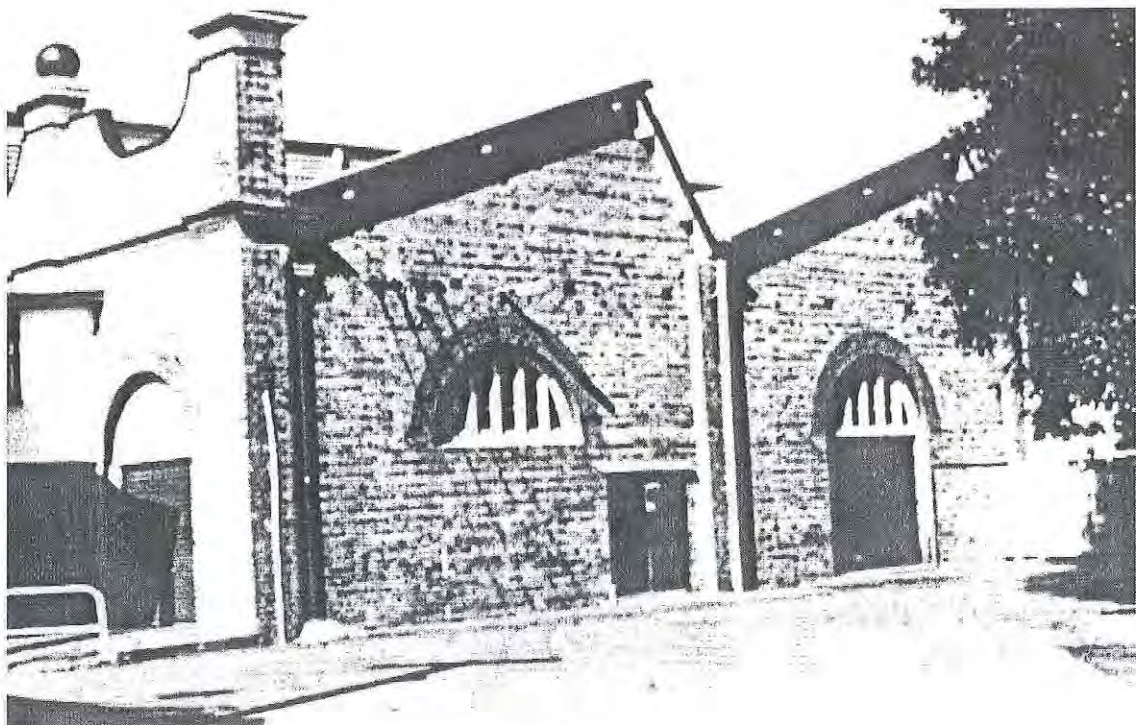


Fig. 6.9 - McDonald Pavilion Maitland Showground (looking south).

## 6.5 NEWCASTLE SHOWGROUND

**Date of establishment:** First show in 1901.

**Setting:** In a built-up area of Inter-War housing with a railway line on the south and major road to the north. The site is edged by high perimeter brick fencing and pavilions which gives a strong definition to the site.

**Layout:** refer to plan Fig. 6.10.

**Brief description of buildings and features:**

*Grandstand 1* - built 1906, is a single tiered grandstand with cast iron columns dividing the stand into 8 bays. It has chamfered timber trusses supporting a gabled corrugated metal roof. The base walls are brick and the timber framed walls clad in corrugated iron.

*Grandstand 2* - built in 1912 and of similar design and construction to Grandstand 1 above.

*F. J. Cane Administration Building* - built in 1945 with additions in 1985. Inter-War Functionalist in style, constructed in light brown brick. Substantially altered after 1985 earthquake.

*Horticultural Pavilion* - (c1940) timber framed pavilion clad with weatherboards with a gabled corrugated iron clad roof. Condition is poor.

*Agricultural Pavilion* - (c1930) large timber framed pavilion clad in corrugated iron with light steel trusses supporting a corrugated iron roof. Internally the walls are lined. Concrete floor.

*Photography/State Rail/Education Pavilion:* (c1930) a series of timber framed buildings with timber trusses and gables in a variety of forms. Originally clad in weatherboards with corrugated iron roofs. The walls have recently been reclad in corrugated metal, while one has been reclad in fibre cement sheet.

*Cattle Pavilions* - (1970s) tri-gabled steel framed building with corrugated steel wall and roof cladding. Unlined internally.

*Poultry Pavilions* - Timber framed with weatherboard cladding and corrugated iron roof. Asphalt floor.

*Stables* - a series of buildings housing 128 horse stalls of concrete block walls and tiled roofs. Original stables were timber framed.

*Horse Office* - (1920s) a small Inter-War weatherboard cottage with corrugated iron roof.

*Entertainment Centre & Storage Entertainment Centre* - Built 1992, a large steel framed building clad in sheet steel and unlined internally. 5,000 square metres of clear span exhibition space.



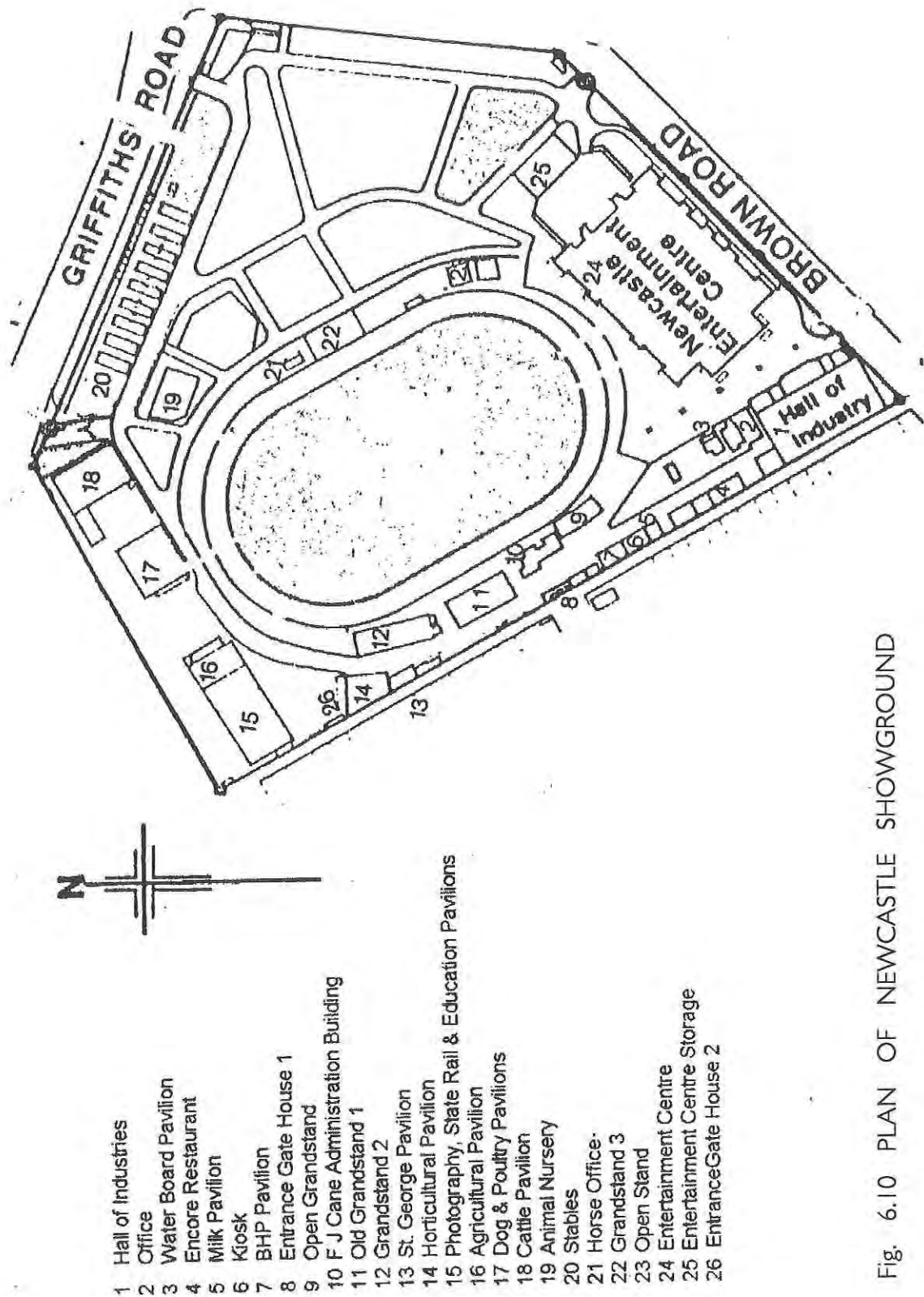


Fig. 6.10 PLAN OF NEWCASTLE SHOWGROUND

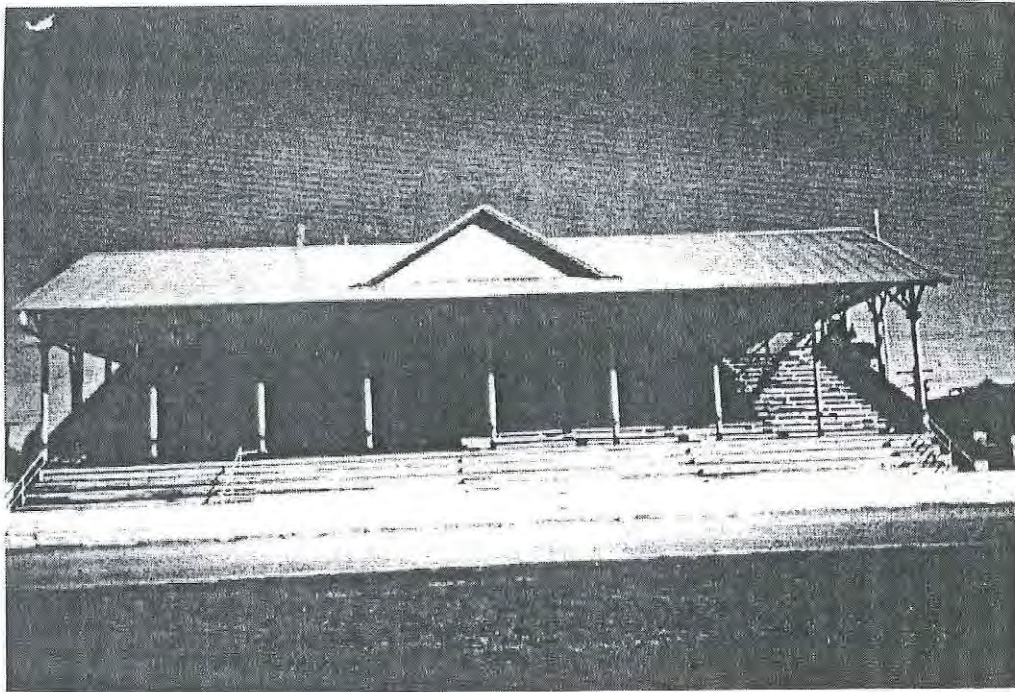


Fig. 6.11 - Grandstand I Newcastle Showground



## 6.6 SINGLETON SHOWGROUND

**Date of establishment:** First show held in 1865 and first show held at present site in 1910.

**Setting:** Located in developed area with well established landscaping. Mature trees include Kurrajongs, Silky Oaks, Camphor Laurels, Pines, Eucalypts and Casuarinas.

**Layout:** refer to plan Fig. 6.12

**Brief description of buildings and features:**

*Main Pavilion* - designed by architect J. Pender in the High Victorian Gothic style and built in 1880 it is a structure framed in timber with arched iron frames to the central roof which provides a bank of clerestory windows each side. The gabled ends are decorated with timber fretwork and with entrance porticos.

*Band Rotunda* - built in 1880, a small octagonal rotunda of cast iron with highly decorated columns, balustrading, valances and quatrefoils all in cast iron. The pitched roof is sheeted in iron as is the small timber podium on which it rests.

*Refreshment Rooms & Small Pavilion* - a range of timber framed small pavilions along the Bathurst Street boundary having verandahs to the arena and a continuous wall to the street linking up with the side wall of the main pavilion. Edwardian in styling.

*Grandstand* - a small Edwardian grandstand with a pitched roof sheeted in corrugated iron, the eaves supported on elaborate cast iron columns and brackets.

*Dairy Cattle Stalls* - built c1910, two long narrow stalls, one single, one double bank. Earth floor with timber posts and rails and curved corrugated iron roofs.

*Beef Pavilion/Rural Youth Animal Nursery* - constructed on circular timber posts with a curved corrugated iron roof. Ventilation provided by narrow unglazed opening below the eaves line. Earth floor.

*Goats/Sheep Pavilion* - open sided shed with circular timber posts supporting a low pitched open gabled corrugated iron roof. Earth floor with internal dividing gates.

*Rabbit/Dog Shed* - sheet steel cladding and roof next to a small brick building (c1910) used for storage which was originally a toilet block.

*Horse Stalls* - (c1910) four separate buildings in two rows with 115 horse boxes in hardwood with corrugated iron roofs.

*Poultry & Pigeons* - constructed in 1980s, a steel framed building with corrugated iron cladding and low pitched gabled roof. Roller doors and no windows.

*Rural Youth/Horticultural Fruit & Vegetables* - (c1920) used for display of vegetables, flowers and wool. Timber framed with corrugated iron cladding and roofing.

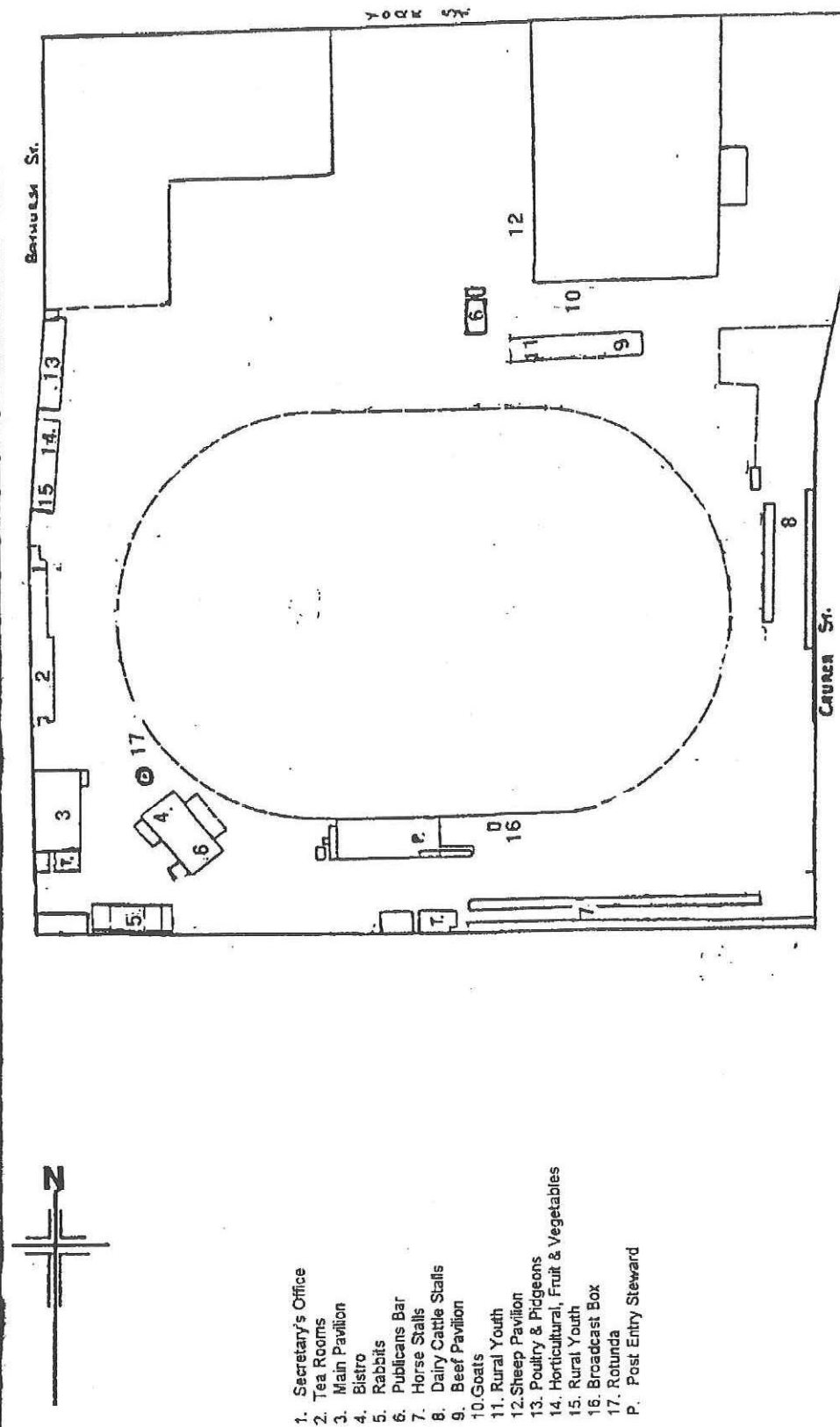


Fig. 6.12 PLAN OF SINGLETON SHOWGROUND





Fig 6.13 - Main Pavilion Singleton Showground

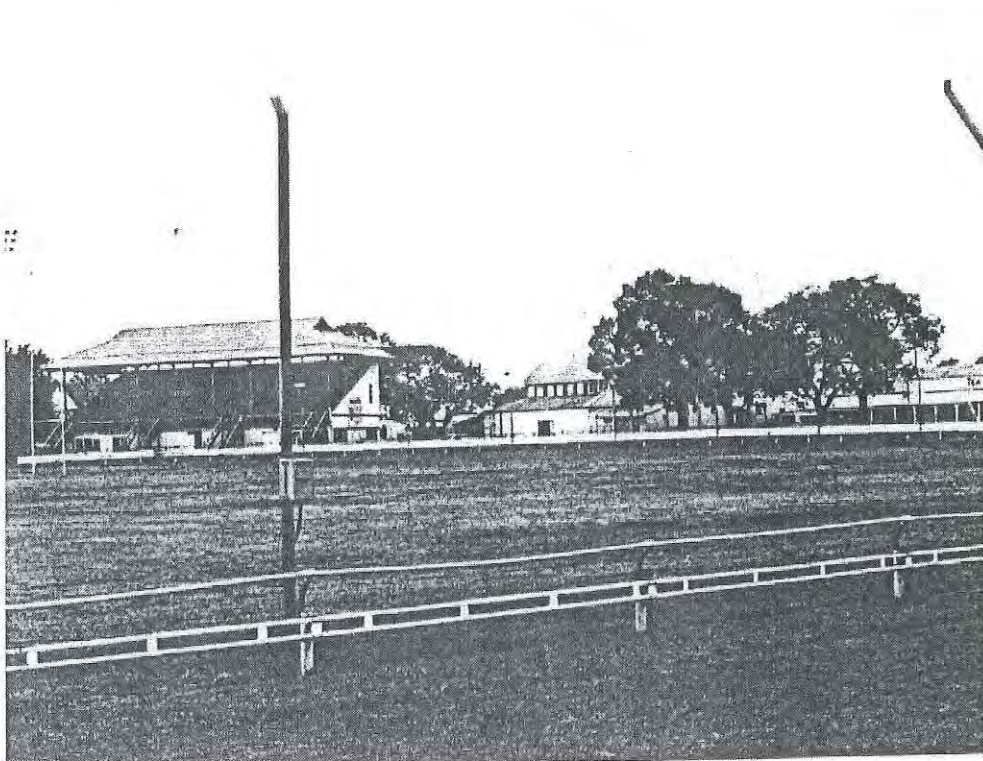


Fig. 6.14 - Oval, Grandstand and Pavilion Group Singleton Showground (looking west).

## 6.7 WINGHAM SHOWGROUND

**Date of establishment:** First show held in 1885.

**Setting:** Located in a built-up area on the south west of the town. There are approximately 40 significant eucalypt trees.

**Layout:** refer to plan Fig. 6.15

**Brief description of buildings and features:**

*Wingham Grandstand* – erected in 1890, a timber framed structure clad with timber weatherboards and a corrugated iron skillion roof supported on timber trusses and six timber posts. The posts are finely crafted with timber brackets and a frieze. Refurbished in 1976 and in 1985.

*Dairy Cattle Pavilion* – a large open shed built from circular posts with a corrugated gabled roof with a clerestory and two wide skillions. Constructed 1920.

*Beef Pavilion 1* – built in 1947, an open shed adjoining Dairy Cattle Pavilion. Corrugated iron gabled roof supported on exposed timber rafters on circular timber posts.

*Beef Pavilion 2* – another open shed, with a steeply pitched corrugated iron gabled roof with an open clerestory supported on circular timber posts.

*Main Exhibition Hall* – opened in 1947, the hall has a brick plinth which supports a timber frame construction clad in timber weatherboards with a corrugated iron gabled roof.

*Sheep Shed* – erected in 1935, it is of timber frame construction with weatherboard cladding and a corrugated iron roof painted red.

*Poultry Pavilion* – built in 1934, a large narrow gabled building clad in T& G weatherboarding with a corrugated iron roof. There are no windows but there is a ventilation gap at the eaves level. Earth floor.

*Tea Rooms* (1930) – a double gabled timber building with weatherboard cladding and red painted corrugated iron. Internally lined with timber and fibro.

Other facilities include a Bar (1960), Food Stall (1946) and timber framed horse stalls with later concrete block additions.



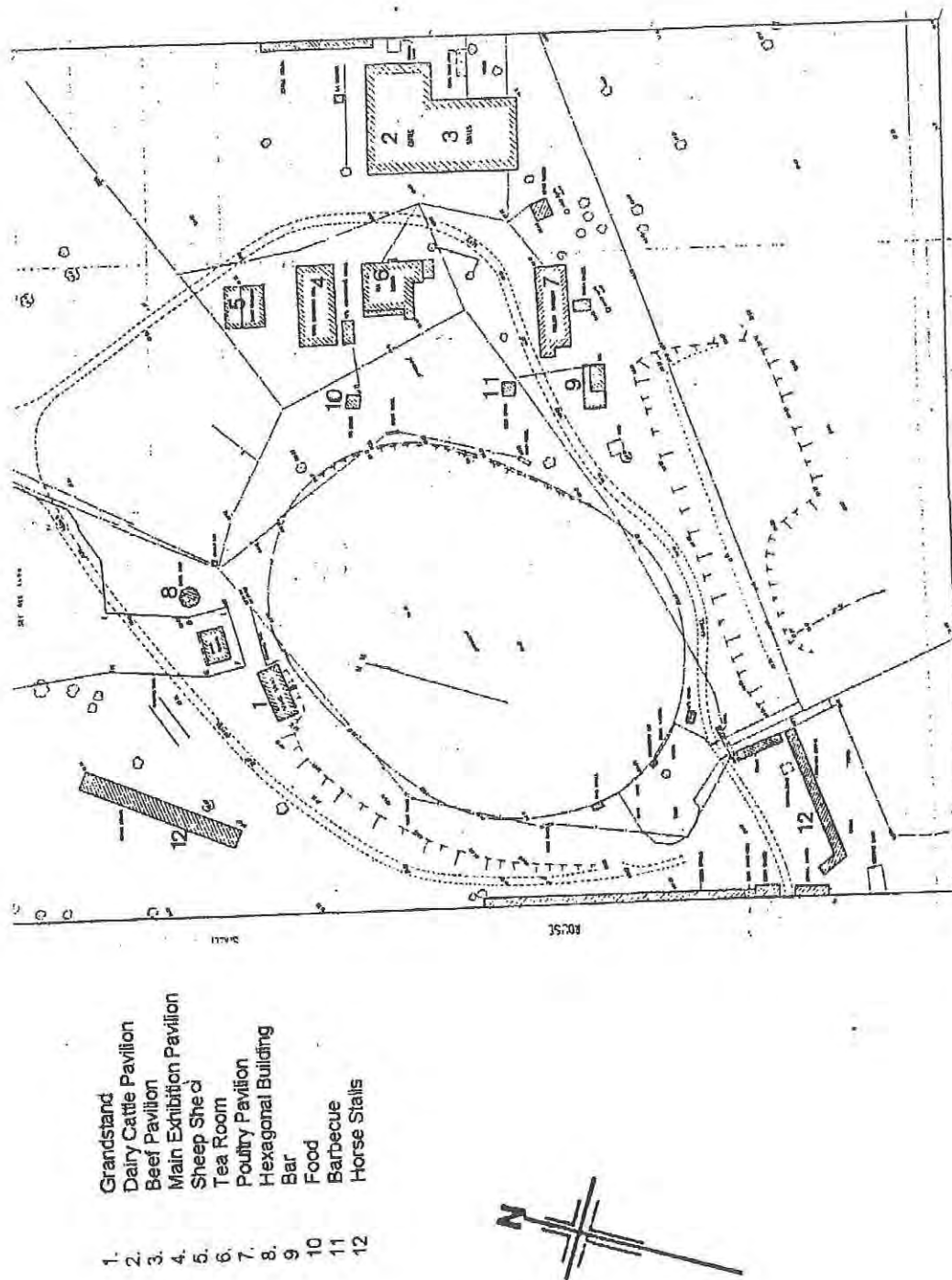


Fig. 6.15 PLAN OF WINGHAM SHOWGROUND

## 6.8 STROUD SHOWGROUND

**Date of establishment:** First show held at present grounds in 1922.

**Setting:** Located in picturesque Stroud Park with Mill Creek on the west and Brook Creek and Stroud town to the east. On the north is grazing land. Many mature trees including formal planting of 23 Camphor Laurels around arena.

**Layout:** refer to plan Fig. 6.17.

**Brief description of buildings and features:**

Grandstand – a timber framed structure clad with timber weatherboards and a corrugated iron skillion roof supported on timber trusses and six timber posts. The timber fascia boards are gently arched. Internally, below the seating, the area is unlined and is used for equipment storage for ring events.

Other facilities include a poultry pavilion, sheep yards, rodeo yards, cattle sheds, stables and an Arts and Crafts Pavilion.

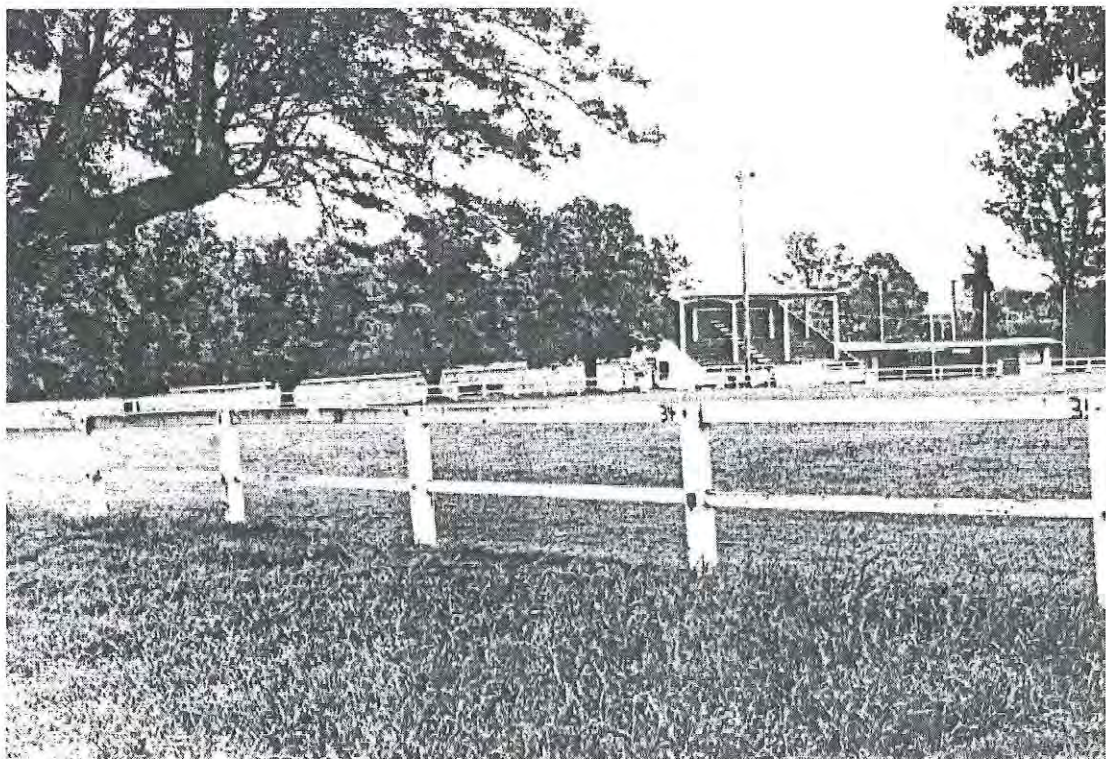
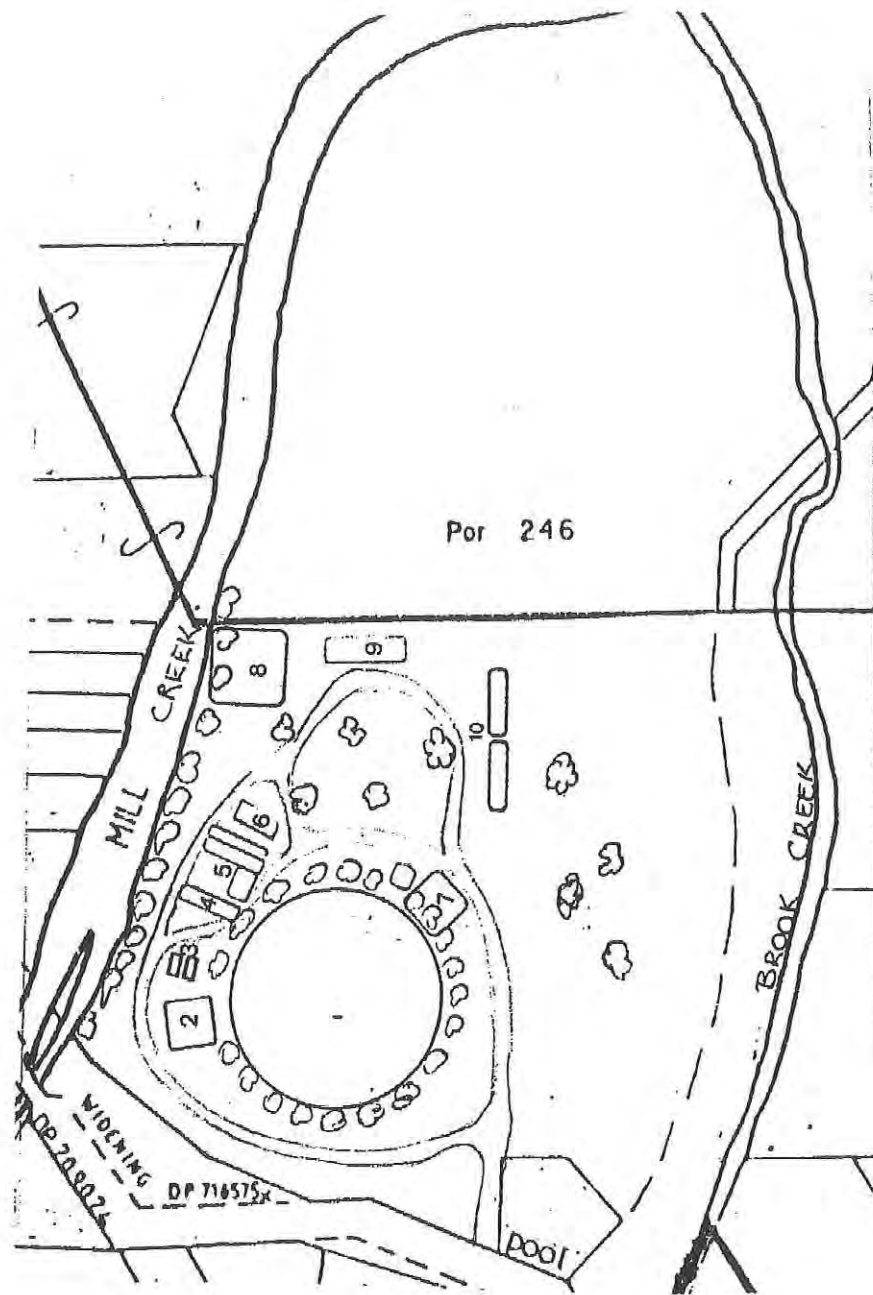


Fig. 6.16 – Grandstand Stroud Showground (looking west).





- 1. Arena
- 2. Grandstand
- 3. Mexon Stalls & Amenities blocks
- 4. Refreshment Rooms
- 5. Arts & Crafts
- 6. Poultry Pavilions
- 7. Rodeo Yards
- 8. Sheep Yards
- 9. Stables
- 10. Cattle Pavilions
- 11. Kiosk

- 1. Arena
- 2. Grandstand
- 3. Mexon Stalls & Amenities blocks
- 4. Refreshment Rooms
- 5. Arts & Crafts
- 6. Poultry Pavilions
- 7. Rodeo Yards
- 8. Sheep Yards
- 9. Stables
- 10. Cattle Pavilions
- 11. Kiosk

Fig. 6.17 PLAN OF STROUD SHOWGROUND

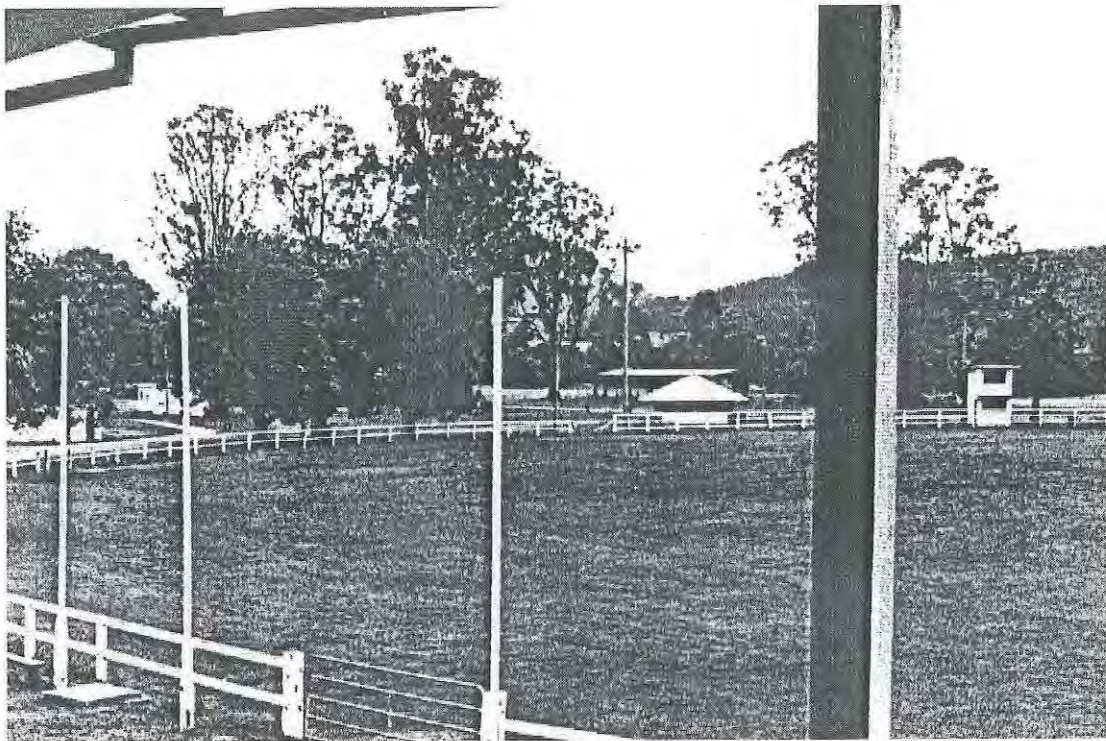


Fig. 6.18 - Stroud Showground (looking north east).

## 6.9 COMPARISON WITH NOWRA SHOWGROUND

When Nowra Showground is compared with the sample of showgrounds above, a number of similarities become immediately obvious. Elements including the main arena surrounded by pavilions, grandstands, horse and cattle shelters etc are common to all the showgrounds, and naturally follow from the similar activities which occur at all rural shows. Most of the showgrounds studied are located within the town or on the edge of the street grid as is the case with the Nowra Showground. Maitland, Newcastle and Singleton showgrounds possess grandstands and pavilions with architectural qualities of a standard comparable to that of the Federation Pavilion at Nowra.

There are however two distinct qualities which distinguish Nowra Showground from the others of the study group. The first is the spectacular setting by the edge of the Shoalhaven River, which would quite possibly be unsurpassed by any other grounds in NSW. A second quality is the high retention of large stands of trees which give the site a high aesthetic quality.



## 7.0 ANALYSIS OF EVIDENCE & EVALUATION OF SIGNIFICANCE

### 7.1 THE CONCEPT OF CULTURAL SIGNIFICANCE

Article 1.1 of *The Burra Charter* defines Cultural Significance as "the aesthetic, historic, scientific/technical or social value for past, present or future generations." The general approach to assessing the cultural significance is based on that developed by Dr. James Kerr in *The Conservation Plan*, and relies on the following aspects:

- ♦ Demonstrative Ability of a place to demonstrate its past and present through physical evidence (of philosophy, custom or design, process, use, taste, techniques and materials or events)
- ♦ Associational Value and links without discoverable physical evidence (association with event or development, impact of persons on place or of place on persons, or mythological or symbolic association)
- ♦ Formal or Aesthetic Value and qualities (scale, form, materials and texture, relationships and views, and other non-visual sensory qualities).

### 7.2 EVALUATION CRITERIA

The NSW Heritage Office criteria for assessing heritage significance are broadly consistent with the criteria contained in *The Burra Charter*. The following are The NSW Heritage Assessment Criteria for local and state heritage significance:

Criterion	LOCAL	STATE
<b>A</b> Course or Pattern of History	An item is important in the course, or pattern, of the local area's cultural or natural history;	An item is important in the course, or pattern, of NSW's cultural or natural history;
<b>B</b> Association of life or works.	An item has strong or special association with the life or works of a person, or group of persons, of importance in the cultural or natural history of the local area;	A item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history;
<b>C</b> Aesthetic characteristics	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area;	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW;



Criterion	LOCAL	STATE
<b>D</b> Cultural, Social or Spiritual Associations	An item has strong or special association with a particular community or cultural group in the area for social, cultural or spiritual reasons;	An item has strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons;
<b>E</b> Contribute to an understanding	An item has potential to yield information that with contribute to an understanding of the area's cultural or natural history;	An item has potential to yield information that with contribute to an understanding of NSW's cultural or natural history;
<b>F</b> Uncommon, rare or endangered	An item possesses uncommon, rare or endangered aspects of the area's cultural or natural history;	An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history;
<b>G</b> Demonstrating principle characteristics.	An item is important in demonstrating the principal characteristics of a class of the local area's <ul style="list-style-type: none"> <li>• Cultural or natural places;</li> <li>• Cultural or natural environments.</li> </ul>	An item is important in demonstrating the principal characteristics of a class of NSW's <ul style="list-style-type: none"> <li>• Cultural or natural places;</li> <li>• Cultural or natural environments.</li> </ul>

These criteria have been designed to facilitate listing on the State Heritage Register. It should be noted that an item is not to be excluded from the Register on the grounds that items with similar characteristics have already been listed.

It should also be noted that these Heritage Office criteria now exclude Regional Significance. Some bodies such as the NSW National Parks and Wildlife Service and shire councils still use such a term to cover the larger areas over which they have control.



## CONSERVATION MANAGEMENT PLAN

Criterion A	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
COURSE OR PATTERN OF HISTORY	<ul style="list-style-type: none"> <li>♦ Shows evidence of a significant human activity</li> <li>♦ Is associated with a significant activity or historical phase</li> <li>♦ Maintains or shows the continuity of a historical process or activity</li> </ul>	<ul style="list-style-type: none"> <li>♦ Has incidental or unsubstantiated connections with historically important activities or processes;</li> <li>♦ Provides evidence of activities or processes that are of dubious historical importance;</li> <li>♦ Has been so altered that it can no longer provide evidence of a particular association.</li> </ul>
Criterion B	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
ASSOCIATION WITH LIFE OR WORKS	<ul style="list-style-type: none"> <li>♦ Shows evidence of significant human occupation;</li> <li>♦ Is associated with a significant event or person;</li> </ul>	<ul style="list-style-type: none"> <li>♦ Has incidental or unsubstantiated connections with historically important people or events;</li> <li>♦ Provides evidence of people or events that are of dubious historical importance;</li> <li>♦ Has been so altered that it can no longer provide evidence of a particular association;</li> </ul>
Criterion C	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
AESTHETIC CHARACTERISTICS	<ul style="list-style-type: none"> <li>♦ Shows or is associated with, creative or technical innovation or achievement</li> <li>♦ Is the inspiration for a creative or technical innovation or achievement.</li> <li>♦ Is aesthetically distinctive</li> <li>♦ Has landmark qualities</li> <li>♦ Exemplifies a particular taste style or technology</li> </ul>	<ul style="list-style-type: none"> <li>♦ Is not a major work by an important designer or artist;</li> <li>♦ Has lost its design or technical integrity;</li> <li>♦ Its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded;</li> <li>♦ Has only a loose association with a creative or technical achievement.</li> </ul>



Criterion D	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
CULTURAL SOCIAL or SPIRITUAL ASSOCIATION	<ul style="list-style-type: none"> <li>♦ Is important for its associations with an identifiable group;</li> <li>♦ Is important to a community's sense of place;</li> </ul>	<ul style="list-style-type: none"> <li>♦ Is only important to a community for its amenity reasons</li> <li>♦ Is retained only in preference to a proposed alternative;</li> </ul>
Criterion E	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
CONTRIBUTING TO UNDERSTANDING	<ul style="list-style-type: none"> <li>♦ Has the potential to yield new or further substantial scientific and/or archaeological information;</li> <li>♦ Is an important benchmark or reference site or type;</li> <li>♦ Provides evidence of past human cultures that is unavailable elsewhere</li> </ul>	<ul style="list-style-type: none"> <li>♦ Has little archaeological or research potential</li> <li>♦ Only contains information that is readily available from another resource or archaeological source</li> <li>♦ The knowledge gained would be irrelevant to research on science, human history or culture</li> </ul>



Criterion F	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
UNCOMMON RARE or ENDANGERED	<ul style="list-style-type: none"> <li>Provides evidence of a defunct custom, way of life or process;</li> <li>demonstrates a process, custom or other human activity that is in danger of being lost;</li> <li>shows unusually accurate evidence of a significant human activity</li> <li>is the only example of its type;</li> <li>demonstrates designs or techniques of exceptional interest;</li> <li>shows rare evidence of a significant human activity important to a community.</li> </ul>	<ul style="list-style-type: none"> <li>is not rare;</li> <li>is numerous but under threat;</li> </ul>
Criterion G	GUIDELINES FOR INCLUSION	GUIDELINES FOR EXCLUSION
DEMONSTRATING PRINCIPLE CHARACTERISTICS.	<ul style="list-style-type: none"> <li>Is a fine example of its type;</li> <li>Has the potential characteristics of an important class or group of items;</li> <li>Has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity;</li> <li>Is a significant variation to a class of items;</li> <li>Is part of a group which collectively illustrates a representative type;</li> <li>Is outstanding because of its setting, condition or size;</li> <li>Is outstanding because of the esteem in which it is held.</li> </ul>	<ul style="list-style-type: none"> <li>Is a poor example of its type;</li> <li>Does not include or has lost the range of characteristics of a type;</li> <li>Does not represent well the characteristics that make up a significant variation of a type</li> </ul>

## 7.2 PREVIOUS ASSESSMENTS OF SIGNIFICANCE

The Nowra Showground and a number of its constituent elements have previously been identified as items of Local and Regional significance. These listings are included in the *Shoalhaven City Council Heritage Survey 1995-1998 Inventory* (part 3) and are on standard NSW Heritage Office State Heritage Inventory sheets. Further details of these listings are provided in section 8.0 of this document, Constraints and Opportunities. The SHI sheets are also included in the Appendices.

## 7.3 COORDINATION AND ANALYSIS OF EVIDENCE

The coordination and analysis of both the documentary and physical evidence of the Nowra Showground and its individual components and the application of significance criteria reveals the following aspects of cultural significance of the place.

### **Criterion A Importance in the course or pattern of history of the local area's cultural or natural history**

The Nowra Showground is of historic significance because of its continuous use by the local district community for the celebration of rural, sporting and social activities since the year 1886.

Guidelines for inclusion satisfied:

- shows evidence of a significant human activity
- maintains the continuity of a historical activity

### **Criterion B Strong or special association with life or works of a person, or group of persons, of importance in the cultural or natural history of the local area.**

The showground is associated with early pioneers of the local Nowra area including members of the Shoalhaven Agricultural and Horticultural Association and especially James Monaghan who was first secretary of this association formed in 1874 and which instigated the move of the showground to its present location. Monaghan served on this body for 36 years. The memorial fountain which was erected in his honour shows the high esteem in which he was held by the local community.

Another associational link includes a trustee of the Nowra Showground in the 1920s, Ben Walsh, son of the founder of the Terrara Hardware Store, who established Ben's Walk, the entries to which are gained from the western side of the showground.

Guidelines for inclusion satisfied:

- shows evidence of significant human occupation
- is associated with significant persons



**Criterion C Importance in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.**

As a showground complex the aesthetic qualities of built structures such as the Federation Pavilion, a strong focal point across the green expanse of the oval, the Nowra War Memorial Gates, which create a dramatic approach from the street, the rustic qualities of the Horse and Cattle Area, the splendid stands of mature trees, culminating in the spectacular views from Hanging Rock Lookout combine to give it landmark qualities in the region.

Guidelines for inclusion satisfied:

- is aesthetically distinctive
- has landmark qualities
- exemplifies a particular taste style

**Criterion D Strong or special associations with a particular community or cultural group in the area for social, cultural or spiritual reasons.**

As a focal point for the annual show since 1886, sporting events and other social gatherings, the Nowra Showground is held in high esteem by the local community. The site holds physical testimony to the past and continuing community spirit in the Nowra district. It is also physical evidence of the importance of the annual show in providing opportunities for the dissemination of new and improved agricultural and pastoral activities to the farmers of the district. The War Memorial gates are of special social significance as a physical record of Australia's participation in World War One, as an embodiment of sentiments and attitudes of the time and of continuing community focus on remembrance days.

Guidelines for inclusion satisfied:

- is important for its associations with an identifiable group
- is important to a community's sense of place

**Criterion E Has the potential to yield information that will contribute to an understanding of the area's cultural or natural history.**

The Nowra Showground site, combined with documentary evidence provides an understanding of the development of pastoral and horticultural associations in regional NSW. Ongoing development and adaptation of the grounds and buildings contribute to an understanding of how such sites accommodate to evolving uses.

Guidelines for inclusion satisfied:

- has the potential to yield further information (on the development of rural showground sites)

**Criterion F Possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.**

To properly assess the rarity of the built and natural qualities of the Nowra Showground requires an extensive survey of many regional showgrounds throughout NSW and is beyond the scope of this study. Until such time that a survey has been carried out inclusion in this guideline is not satisfied.

**Criterion G An item is important in demonstrating the principal characteristics of a class of the local area's**  
- Cultural or natural places  
- Cultural or natural environments

Nowra Showground with its pavilion overlooking the oval (parade ground) and the adjoining horse and cattle areas is a fine example of a typical design of a regional showground. The level of physical intactness of the pavilion and the war memorial gates display examples of architectural design characteristics of the time.

Guidelines for inclusion satisfied:

- has attributes typical of a particular significant activity
- is part of a group which collectively illustrates a representative type

## 7.4 LEVELS OF SIGNIFICANCE

The former three levels of heritage significance used by the NSW Heritage Office have now been reduced to two - Local and State. Regional significance is now no longer used. The Heritage Office has defined regional significance as *items of heritage significance which are fine examples, or rare, at the regional community level*. It is clear that the Nowra Showground is of cultural significance to an area greater than the immediate local community and would extend to the boundaries of the Shoalhaven Shire Council. The Annual Nowra Show drawing in visitors from all over the Shoalhaven area is but one example.

For the purposes of this document the term Local significance will only be used as this is the current criteria used by the NSW Heritage Office.



## 7.5 SUMMARY STATEMENT OF CULTURAL SIGNIFICANCE

Nowra Showground including a number of its constituent elements are of Local significance for the LGA of Shoalhaven.

Nowra Showground is of historical significance as a centre for the celebration of rural, sporting and social life for the district community since 1886. The showground has been continuously associated with the Shoalhaven Agricultural & Horticultural Association which through its conductance of annual shows in the area since 1874 has provided opportunities for the dissemination of new agricultural and pastoral techniques to the farmers of the district.

The showground is aesthetically significant for its spectacular setting by the Shoalhaven River, its splendid mature landscape features and landmark buildings including the Federation Pavilion and the Nowra War Memorial Gates. The Federation Pavilion is a finely crafted example of Federation style grandstand design which provides a visual focus for the site and which defines the western side of the green expanse of the main oval. Forming an impressive entrance to the grounds, the War Memorial Gate is an unusual example of the late use of the Federation Gothic style and as a reminder of the contributions made by Australians to international war efforts.

This multi-functional site, a major recreation centre in Nowra, is of high social value for past and present generations and a reminder of the enterprise of volunteer labour in providing facilities for the district. It contains a number of built structures which reflect changing community needs and interests in the district.

## 7.5 GRADINGS OF SIGNIFICANCE

### 7.5.1 GENERAL

This section, in accordance with the procedures recommended in *The Conservation Plan* (Kerr, 2000), significance of various elements and items of the showground have been assessed and graded for the purpose of enabling decisions on the future conservation and development of the place.

The grading categories are defined as follows:

#### **Exceptional**

Exceptional items include those in their original configuration with little change which provide a great historic, aesthetic or functional understanding about the use and development of the showground. *This grading fulfils criteria for Local or State listing.*

#### **Considerable**

Significance can be easily interpreted and understood and provides information about the use of the place and its significance to the showground even though changes have occurred and may have compromised to a degree the items over time. *This grading fulfils criteria for Local or State listing.*

#### **Some**

Items of Some Significance are those which perform a less important function in relation to the use and development of the showground. It includes changes to the place which are not crucial to the historic, aesthetic or functional understanding of the place. *This grading fulfils criteria for Local or State listing.*

#### **Little**

These may be early items with unsympathetic alterations or additions. They may be items that are impossible to interpret or are more modern items detracting from the significance of the place. *This grading does not fulfil criteria for Local or State listing.*

#### **Intrusive**

Those items/elements of the showground which adversely affect the significance of the place are assessed as Intrusive. They may be elements which are visually intrusive, or are changes to the showground which obscure an understanding of the development and significance of the place. *This grading does not fulfil criteria for Local or State listing.*

#### **Neutral**

Neutral items are those which do not impact on the significance of the place.



### 7.5.2 THE GRADINGS OF SIGNIFICANCE OF INDIVIDUAL ITEMS AT NOWRA SHOWGROUND

This section grades the significance of various showground elements in accordance with section 7.5 above.

#### VIEWS AND VISTAS

	Significance
Views to Cambewarra Mountain, over Shoalhaven River and to west and south west from land above cliffs along western edge of showground.	Exceptional
Views east to Nowra and coastal land from high ground in Precinct 2.	Considerable
Glimpses to the east of Nowra and coastal land from the top of Junction Street and from Worrigee Street entry gates.	Some

#### THE PRECINCTS

##### Precinct 1 – The Main Showground Item

	Significance
Access entry and exit at Junction Street including the Inter-War Castellated Gateway (War Memorial Gates)	Exceptional
Access entry and exit at Worrigee Street	Considerable
The form and perimeter of the main oval	Considerable
Trotting track and inner rail	Some
Oval fence and seating	Some
Woodchop Arena	Neutral (but awkwardly placed on Junction St axis)
Judging Tower Woodchop Arena	Intrusive
Hanging Rock Lookout	Exceptional
Entries to Ben's Walk	Considerable
Trees generally	Considerable
Line of "Hill's" Figs	Considerable

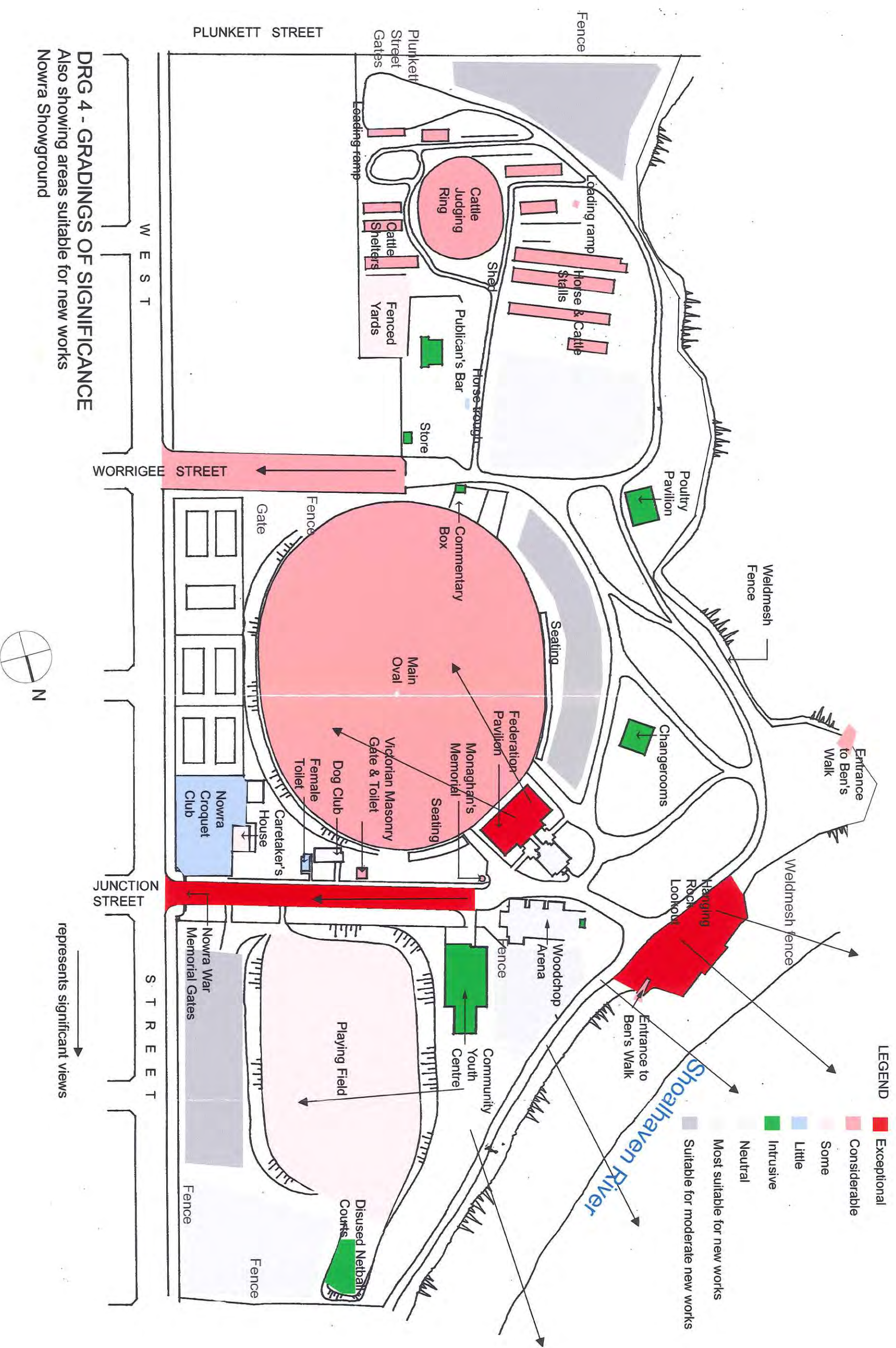
The Federation Pavilion (original)	Exceptional
The Federation Pavilion (later alterations, additions)	Neutral
Victorian Masonry Gate and Toilet	Considerable
Victorian Fountain (Monaghan's Memorial)	Considerable
Poultry Pavilion	Intrusive
Changerooms (Warriors)	Intrusive
Female Toilet	Little
Caretaker's House	Some
Dog Club	Neutral
Nowra Croquet Club and Green	Little
Fibro Commentary Box south side of oval	Intrusive

## **Precinct 2 – “Added Area”**

<b>Item</b>	<b>Significance</b>
Playing field configuration	Some
Community Youth Centre	Intrusive
Disused netball courts	Intrusive
Moveable platform	Intrusive
Trees generally	Considerable



<b>Precinct 3 – Horse and Cattle Area</b>	
<b>Item</b>	<b>Significance</b>
Timber /steel framed horse and cattle stalls	Considerable
Associated fencing to cattle area	Considerable
Cattle Judging Ring	Considerable
Judging Shed	Some
Publican's Bar	Intrusive
Store shed	Intrusive
Horse trough	Neutral
Stone loading ramps	Considerable
Fenced yards	Some
Trees generally	Considerable



DRG 4 - GRADINGS OF SIGNIFICANCE  
Also showing areas suitable for new works  
Nowra Showground





## 8.0 CONSTRAINTS AND OPPORTUNITIES

### 8.1 IMPLICATIONS OF HERITAGE SIGNIFICANCE

In order to formulate conservation policies and an implementation strategy for the Nowra Showground, it is necessary to take into account a number of factors and constraints raised in this section of the document.

As noted in Section 7.0 in the Summary Statement of Significance, the Nowra Showground has been identified as having Local historic, aesthetic and social significance. The showground site as well as individual items within the showground curtilage have been identified in the SHI database established in the *Shoalhaven City Council Heritage Study* as items of Local and Regional significance. Any unsympathetic works to the buildings or aspects of the site considered of heritage value (see section 7.0) will be detrimental to the significance of the place. Additional development at the site should be carefully considered in terms of its impact on the significant fabric of the place and the landscaping.

Future works should maintain the integrity of the showground and buildings and landscaping contained within the curtilage as well as the integrity of their context.

### 8.2 HERITAGE LISTINGS

The Nowra Showground has the following statutory and non-statutory heritage status:

#### 8.2.1 AUSTRALIAN HERITAGE COMMISSION

The Australian Heritage Commission is a Commonwealth authority which compiles and maintains the *Register of the National Estate*, an inventory of places of significance in Australia. The basis for the assessment of significance is the methodology and terminology of the *Burra Charter*.

While inclusion on the *Register of the National Estate* imposes obligations on Federal Government bodies and federally funded projects, there is no obligation on State Governments. The inclusion of a place on the *Register of the National Estate* however, draws the attention of heritage authorities to its significance.

The Nowra Soldiers Memorial (Inter-War Castellated Gateway) is listed as an Indicative Place which means it is in the process of assessment. This listing is contained in the Appendices.

#### 8.2.2 THE NATIONAL TRUST OF AUSTRALIA

The National Trust of Australia is a non-government community organisation dedicated to the conservation of Australia's heritage. Although the body has no statutory power, it has a strong influence on community support, particularly in regard to the possible threat to structure or place from insensitive development or the destruction of items of cultural and heritage significance.

There are no items listed for the Nowra Showground.

**CONSERVATION MANAGEMENT PLAN****8.2.3 NSW HERITAGE OFFICE: STATE HERITAGE INVENTORY**

The State Heritage Inventory is a database of statutory listed heritage items in NSW protected by LEPs, REPs or by the State Heritage Register.

The following are items included on SHI sheets but not as yet available on the electronic Heritage Office database. At the time of writing these items were not yet included in Schedule 7 of the Local Environmental Plan 1985.

Nowra Showground and Sports Complex	-	Local significance
Federation Brick Pavilion	-	Local significance
Victorian Masonry Gate & Toilet	-	Local significance
Inter-War Castellated Gateway & Sculpture	-	Regional significance
Victorian Memorial Cast Iron Fountain	-	Local significance
Hanging Rock Lookout	-	Local significance
Ben's Walk & Aboriginal Art Sites	-	Local significance

**8.2.4 SHOALHAVEN CITY COUNCIL HERITAGE STUDY 1995-1998**

The *Shoalhaven City Council Heritage Study* prepared 1995-1998 identified the Nowra Showground and the same individual items identified in the SHI sheets as being of heritage significance. The same level of significance was attributed to these items.

This study makes recommendations about how its findings may be integrated in to the current Council regulations for the protection of cultural heritage in Shoalhaven City Council. A recommendation was made that the *Local Environmental Plan 1985* which contains conservation clauses (Clause 31) be updated. This would mean that *Heritage Schedule 7* of the LEP be amended to include new items identified as "Listings" and further investigation and consideration of items identified as "Provisional Listings". All items from the SHI sheets are "Listings" and should be included in this amendment. All owners of items listed in *Schedule 7* require the consent of Council prior to any changes being undertaken.

**8.2.5 ROYAL AUSTRALIAN INSTITUTE OF ARCHITECTS' REGISTER OF SIGNIFICANT TWENTIETH CENTURY ARCHITECTURE**

Both the Federation Pavilion and the War Memorial Gates are listed on this register.



### 8.3 STATUTORY REQUIREMENTS AND THE APPROVALS PROCESS

Once this Conservation Management Plan is approved by the client, Shoalhaven City Council and the Department of Land and Water Conservation, part land owner, it should then be submitted to the NSW Heritage Office for comment. Future additions or alterations to the showground or its component parts should be based on the findings of this Conservation Management Plan. A Development Application is required for all works that include the demolition or alteration to a listed heritage item.

A Statement of Heritage Impact should be required to accompany any future Development Applications within the showground or in the vicinity of the showground.

#### 8.3.1 SHOALHAVEN CITY COUNCIL

The Nowra Showground is within the Shoalhaven City Council Local Government Area. The land is partly owned by the Crown and partly by Shoalhaven City Council. The showground is not identified in the *Local Environmental Plan 1985* Schedule 7 as a heritage item.

### 8.4 ORDINANCE COMPLIANCE

Any future works to Nowra Showground may require assessment for *Building Code of Australia (BCA)* and *Disability Discrimination Act (DDA)* compliance. The two most likely issues to arise are fire safety and access. Proposals to adaptively reuse existing buildings would also require assessment for compliance.

It is recognised that heritage places sometimes pose complex and difficult problems in terms of BCA and DDA compliance. The Fire Advisory and Services Panel of the NSW Heritage Council provides advice regarding the upgrading of fire safety provisions in heritage buildings. A number of methods have been developed in conjunction with the Fire Advisory Panel for the upgrading of particular building elements. Specific issues may be taken to the Panel for advice.

The BCA allows fire engineered solutions to fire safety issues rather than compliance with strict guidelines. Fire engineered solutions designed by an engineer with experience in historic buildings is recommended for works to the Federation Pavilion.

Fire safety issues beyond ordinance requirements may be necessary to protect heritage structures which are vulnerable to fire, such as the outbuildings.

## 8.5 REQUIREMENTS OF THE TRUSTEE (SHOALHAVEN CITY COUNCIL)

The Shoalhaven City Council as Trustee of the land which has partial responsibility for maintenance of Nowra Showground has identified the need to:

- *Continue the usage of the site as the venue for the Nowra Annual Show and for other sporting and community activities and events*
- *Maintain the grounds and setting of the showground*
- *Conserve a site of heritage significance*
- *Carry out both conservation and maintenance of this heritage asset in a cost effective manner.*
- *Use the main showground oval as an Emergency Assembly point for the city and surrounding areas.*

## 8.6 COMMUNITY AND USER REQUIREMENTS

At the time of writing there were at least 15 individual groups which are using the various facilities at the showground. These groups range from sporting groups, such as the Nowra Warriors Rugby League Football Club, through to Show committees, such as the Nowra Show Society Ladies Organising Committee and education groups such as the Shoalhaven Adult Education Group. In the process of preparing this Conservation Management Plan each user group was asked if their present requirements were adequately met by the current facilities at the showground and if there were any plans for expansion which may require further land or facilities at the site. A summary of the responses is given in this section.

### Nowra Croquet Club

The club has been resident at the showground site since 1938. Presently croquet for learners classes are held on two afternoons a week, and some of the thirty club members have their access to the green restricted. When the present green lawn required maintenance it was out of use for three months which caused much inconvenience. The club would benefit greatly with the addition of a second green. The club has had discussions with Shoalhaven City Council about the provision of a new green on the northern side of the Junction Street Gates. This area of land was first promised to the club back in the 1930s. The club has also expressed a desire to use the existing Caretaker's Cottage as a new clubhouse, to be leased from the Council at a minimal rent. (Information from Marion Bourne, President)

### Wollongong Conservatorium of Music Ltd

This group has held Childhood Music Education classes at the Nowra Showground for the past 7 years and caters for children from 1 to 10 years old. Currently they hold around 15 one hour classes per week. Two rooms are used concurrently, the Committee Room and Meeting Room 1 at the Main Pavilion. The group's main concern is the secure storage of both instruments and sound equipment within the showground pavilion. During the Nowra Show their metal cupboard storage spaces need to be removed from the pavilion which means all their equipment has to be moved temporarily back to Wollongong. A permanent secure storage area within the showground would be of great benefit to the group. (Information from Janet Andrews)



---

CONSERVATION MANAGEMENT PLAN

## Southern Adult Education College

This group runs Dog Obedience classes on the "Added Area". The main problem they encounter is the lack of a covered area when it is raining, which means that the lessons are called off. The group has suggested that an external covered area could also be used for activities such as Tai Chi.  
(Information from Marie Ryan, Co ordinator)

## Nowra Cricket Club

Consists of the first and second grade teams who use the main oval turf wicket up to 12 times a season. The junior teams use the "Added Area" nearly every weekend. The two top grade teams presently use storage facilities within the Warriors Changerooms, but there are no showers available. Showering facilities which the senior cricket teams could access would be appreciated.  
(Information from Bob Mann, past Secretary)

## Nowra Show Society Inc.

The Nowra Show Society represented by Jill Turnbull, Secretary has also put forward their own list of priorities and they follow in order of priority:

- Disabled car parking arrangements should be ready for the 2003 Nowra Show which will be held on 7 & 8 February.
- With the decommissioning of the Camellia Gardens some fencing material will become available for use at the showground.
- The internal roads in the showground should be resurfaced and repaired prior to the 2003 show so as to avoid possible injury to the public.
- The deteriorated condition of some of the seating is a concern and presents a risk to the public. They should be removed and replaced as soon as possible.
- The horse yards at the rear of the Publican's Bar in Precinct 3 should be removed and grassed over. Some of the other horse yards need to be replaced as some are considered unsafe.
- There should be a pedestrian walkway around the main oval which would provide access from the disabled carpark to the Main Pavilion.

## 9.0 CONSERVATION POLICIES & ACTIONS

This Conservation Management Plan aims to identify the cultural significance of Nowra Showground. This document should be used as a basis for decision making not only for the area defined by the curtilage, but also for the surrounding context. The policies have been divided into sections, starting with planning and management issues followed by broader issues relating to the original setting, followed by more general policies regarding conservation and maintenance works to the buildings and the landscape and then more specific policies for use and future use of facilities at the showground.

This document is intended to be used in the preparation of any future planning for the area originally encompassed by the Nowra Showground (Precincts 1-3) as well as by consultants planning or documenting future works to the showground and the curtilage. It should also be used by consent authorities when assessing future development proposals within the surrounding area.

This section contains conservation policies and actions aimed at ensuring future work will not result in a loss of cultural significance of the place. The actions themselves are set out in *italics* and are accompanied by a short explanation of the reasoning behind the action.

The conservation actions are set out as follows:

- 9.1 Conservation Management Plans Policy
  - This Conservation Management Plan
  - Methodology
  - Accessing the CMP
  - Review
- 9.2 Conservation Planning Policy
  - Continuity of Approach
  - Planning Instruments
  - Maintaining Records
- 9.3 Site Management Policy
  - Site Management
  - Site Access
- 9.4 Community & User Group Policy
  - Community Access
  - Ongoing Use
  - Current User Group Requirements
- 9.5 Conservation of the Setting Policy
  - The Curtilage
  - Views
  - Approach Routes & Entries



- 9.6 Cultural Landscape Policy
  - Vernacular Landscapes
  - Continuity of Use
- 9.7 Treatment of the Fabric Policy
  - Building Conservation
  - Landscape Conservation
  - Building Maintenance
  - Landscape Maintenance
- 9.8 Future Use Policy
  - Generally
  - Range of Possible Uses
- 9.9 New Works Policy
  - New Buildings
  - Services
  - Vehicular Access and Parking
- 9.10 Interpretation and Signage Policy
- 9.11 Archaeology Policy

## 9.1 CONSERVATION MANAGEMENT PLANS POLICY

### THIS CONSERVATION MANAGEMENT PLAN

The long term conservation of Nowra Showground requires the adoption and implementation of both management and conservation strategies to provide for the retention and enhancement of the cultural significance of this site. The preparation of this document is being overseen by the Parks Manager at Shoalhaven City Council. Following approval of the draft document by the Shoalhaven City Council the CMP is to be submitted to the Heritage Council for comment.

#### **Action 9.1.1**

***Formally adopt this Conservation Management Plan, as a basis for the future management of the site.***

### METHODOLOGY

The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter) has been widely accepted across Australia as the underlying methodology by which all works to heritage buildings and sites are undertaken. Nowra Showground and some of its individual components have been identified as being items of local and regional heritage significance (see Sections 7.0 and 8.0).

The definitions and terms of the Burra Charter are explained in Section 2.9. A copy of the Charter is contained within the Appendices at the rear of this document.

#### **Action 9.1.2**

***Ensure conservation, maintenance and associated new works to the area defined by the curtilage are undertaken in accordance with current conservation and planning methodologies.***

- ***the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter)***
- ***this Conservation Management Plan***
- ***all relevant planning instruments, such as the EP&A Act and the NSW Heritage Act***

#### **Action 9.1.3**

***Ensure all proposed works are undertaken in a manner which recognises the cultural significance of the place.***

### ACCESSING THE CMP

Copies of this Conservation Management Plan are lodged with the Shoalhaven City Council, the Heritage Office of NSW, the State Library of NSW and the Australian National Library in Canberra.

Ideally the document should be made available to the local community.



**Action 9.1.4**

***Ensure this Conservation Management Plan becomes a publicly accessible document.***

***Public accessibility can be achieved through;***

- ***making copies available through libraries;***
- ***publishing the document; and***
- ***making the document available on the Internet.***

**REVIEW**

A regular review of the policies contained within this Conservation Management Plan, and their implementation, should be undertaken. This review should aim to ensure that conservation methodology and practice is integrated, not only into the planning of new works and conservation works but also in the day to day maintenance and operation of the place.

It is possible that additional documentary or physical evidence will come to light in the future. These discoveries may result in the need to reassess the conservation policies contained within this document. The relative significance of individual items may also change, as other similar items are substantially altered or destroyed.

**Action 9.1.5**

***Ensure mechanisms exist for regular review and updating of the Conservation Management Plan***

***Review and updating of the information should:***

- ***occur every 5 years, or when new information comes to light that requires a policy change***
- ***incorporate information from any recognised history program that has been undertaken.***

## 9.2 CONSERVATION PLANNING POLICY

### CONTINUITY OF APPROACH

Incremental change over time can result in the loss of cultural significance of a heritage item. The management of the heritage assets should include mechanisms for the management of change to that asset. The detailed conservation policies set out how current conservation methodology and practice should best be applied to this site and its individual components.

It is essential that there is a continuity of approach. Works should not be undertaken on an ad hoc basis to a site of heritage significance such as this. An assessment of the impact of any intervention on the significant fabric and landscape needs to be made. Ideally one person should be responsible for co-ordinating all works to the buildings. This allows for a detailed knowledge regarding the fabric to be developed. Becoming familiar with the significant fabric of a building is beneficial when it comes to assessing the impact of a proposal.

In the past some work within the Nowra Showground has been undertaken without an understanding of the significance of the fabric, or of the place as a whole. Conservation methodology and practice has changed considerably since the 1970s and the policies contained within this Conservation Management Plan reflect that.

Ideally one officer with an understanding of conservation methodology and practice should be responsible for co-ordination of all works to the place, including all landscaping and site works as well as the installation of new services.

#### **Action 9.2.1**

***Ensure continuity of approach to works at Nowra Showground, to manage incremental change and to prevent the gradual loss of the character of the place as a whole.***

#### **Action 9.2.2**

***Ensure all works to the place are co-ordinated by an officer with a thorough understanding of current conservation methodology and practice. This should also include a working knowledge of landscape maintenance.***

### PLANNING INSTRUMENTS

This Conservation Management Plan, and its detailed policies, should be consulted when preparing new, or amending existing planning instruments, masterplans etc. that have the potential to impact on the Nowra Showground and its setting. These planning instruments, whether they be at a state, regional or local level, should recognise the cultural significance of the site as a whole, including the three precincts, their individual built elements and their landscaping.



**Action 9.2.3**

***The cultural significance of Nowra Showground should be recognised in future planning controls, masterplans etc. which affect the place and its setting.***

**Action 9.2.4**

***In any future review of the LEP 1985, Heritage Schedule 7 of this document should be updated to include those items already listed on the State Heritage Inventory as items of local significance.***

## MAINTAINING RECORDS

It is essential that a record of changes to Nowra Showground be maintained and archived. Recording should be undertaken whenever a modification to significant building fabric, including the landscape, occurs. This includes maintenance work, as incremental change over time can result in the gradual loss of significant fabric. Ideally these records should be maintained on site. Copies of all consultant reports should also be retained, ideally on site, or, initially, with a project manager.

In general the recording should be undertaken in accordance with the Recording Guidelines prepared by the NSW Heritage Office. A photographic record is often sufficient, however, in the case of major modifications, requiring demolition or removal of significant fabric, a more thorough recording should be undertaken.

The reasoning behind the selection of a particular conservation approach and the methodology and the scope of each major conservation project should also be recorded and archived. This recording of the methodology, and the scope of works, should then form the basis of future documentation for repair and maintenance works.

A photographic record of works in process should also be undertaken. Evidence of the development of the buildings, previous colour schemes, or other details should be recorded. In some cases it will be appropriate to retain a sample of a particular elements, finish or fitting. Video recording of the site before, during and after works is desirable.

At the end of conservation or maintenance works all of the records, including the progress photographs, samples and any field notes should be archived.

**Action 9.2.5**

***Maintain and archive a record of conservation and maintenance works, including the reasoning why particular works were undertaken.***

**Action 9.2.6**

***Maintain a register of all works and their relevant approvals if required.***

**Action 9.2.7**

*Maintain an archive and catalogue of all documents, artefacts and studies in other media pertaining to Nowra Showground.*

**Action 9.2.8**

*Significant items in poor condition should have conservation treatment.*

**Action 9.2.9**

*All changes to significant fabric and the landscaping should be recorded in accordance to recording guidelines issued by the Heritage Office.*



## 9.3 SITE MANAGEMENT POLICY

### SITE MANAGEMENT

The site is currently managed by the Shoalhaven City Council, as Trustees, and they will continue to manage the site.

To ensure continuity of approach to conservation and maintenance works, and to facilitate the implementation of the conservation policies contained within this Conservation Management Plan, it has already been recommended that a project coordinator be appointed. This person would be appointed by the Council, or may be a person already responsible for Council recreation properties.

Any mechanism for the long term management of the site should seek to retain the spirit of the place. The evidence of the past uses of the site as well as the surviving fabric combine to create a definite character. Care needs to be taken to retain this character. Over-commercialisation of the place, and over-replacement of significant fabric and excessive modification of the landscaping, can result in the loss of the unique character and atmosphere of a place. For example, the rural buildings (horse and cattle stalls etc) have a character which adds to the atmosphere of the place.

A number of the buildings are already leased, although these are generally of low heritage significance. However the totality of the Nowra Showground site should be considered when leasing individual buildings or sections of the site. In developing the long term management of the site a charter or mission statement, which identifies the characteristics to be conserved, should be prepared. The responsibility for maintenance of the place needs to be clearly set out, to ensure that it is undertaken according to conservation methodology and to maintain control over incremental changes. Commercial use of the site including calling for expressions of interest and leasing of buildings and other items should follow clear guidelines which emphasise the heritage nature of the site. Any new commercial proposal for the site should be preceded by a feasibility study so that its viability can be assessed by the landowners.

#### **Action 9.3.1**

***Appoint a project coordinator to implement the conservation policies and strategies contained within this Conservation Management Plan, including mechanisms for the long term conservation of the place.***

#### **Action 9.3.2**

***Establish a management structure that provides for:***

- ***the long term conservation of the site;***
- ***the retention of the spirit of the place;***
- ***the implementation of compatible commercial uses for selected buildings and other elements of the site;***
- ***disseminates the aims and intentions of this Conservation Management Plan;***
- ***outlines the responsibility for implementing the detailed conservation policies.***

**Action 9.3.3**

*Develop clear guidelines for commercial use prior to advertising for expressions of interest or leasing premises.*

**Action 9.3.4**

*Clearly establish the responsibility for maintaining the built fabric, the landscaping and the rural nature of Precinct 3, as well as any associated infrastructure. This should be included in any future leasing arrangements.*

**Action 9.3.5**

*Any change in use or changes to fabric or landscaping should be managed to ensure incremental change does not reduce heritage significance.*

**Action 9.3.6**

*Any commercial development proposed for the site should require the preparation of an initial feasibility study. This study should be approved by the landowners prior to any works being carried out.*

**SITE ACCESS**

Access to the site is currently being controlled by Shoalhaven City Council. Public access to the showground is available 24 hours a day, although vehicular access is restricted to daylight hours.

**Action 9.3.7**

*Continue public access to the showground during daylight hours.*

**Action 9.3.8**

*Monitor the impact of visitation, including vehicular access on the significant fabric and landscaping and adjust levels accordingly.*



## 9.4 COMMUNITY AND USER GROUP POLICY

### COMMUNITY ACCESS

Community access to the showground site has long been established practice for sporting, social and other community groups who use the facilities. Other casual users include those visiting Hanging Rock Lookout and Ben's Walk.

#### **Action 9.4.1**

***Ensure that the place remains accessible to the community and visitors for both active and passive use.***

### ONGOING USE

Continued use of the facilities at Nowra Showground by user groups and other members of the community helps ensure that the grounds and buildings are maintained. Buildings and facilities that are unused or under utilised inevitably suffer from disrepair.

#### **Action 9.4.2**

***Ensure that the Nowra Showground buildings and facilities are continued to be used by various sporting and community groups and other members of the public.***

### CURRENT USER GROUP REQUIREMENTS

The present needs and future requirements of the current user groups of the Nowra Showground are addressed in Section 8.0 Constraints and Opportunities. All user groups of the Nowra Showground were contacted and asked if the existing facilities at the showground met their present needs and to determine any present and future needs they may have in regard to expansion or improvement of the facilities they use at the showground.

The following user groups responded:

- Nowra Croquet Club Inc.
- Wollongong Conservatorium of Music Ltd
- Southern Adult Education College
- Nowra Cricket Club
- Nowra Poultry Club
- Sholhaven Historic Vehicle Club
- Nowra Show Society Inc.

The responses of these user groups are set out in section 8.6 of the Constraints and Opportunities section of this document.

The following user groups did not respond:

- Nowra Warriors Rugby Club
- Shoalhaven Dog Training Club
- Nowra Gymnastics Club
- Shoalhaven Camellia Society
- Nowra Hockey Club
- Central Shoalhaven Homing Society
- City Hockey Club
- Twilight Cricket Club



## 9.5 CONSERVATION OF SETTING POLICY

### THE CURTILAGE

The existing curtilage of Nowra Showground is defined by the chainwire fences to the north, east and south and by the Weldmesh fence and the top of the river escarpment to the west. On the west, visually the site merges with the bushland beyond the Weldmesh fence and the gravel road at the top of the escarpment. At Hanging Rock Lookout the curtilage of the showground extends right to the edge of the precipice. On the east the grass in Precinct 2 runs to the chainwire fence and continues through as the nature strip at the road edge.

Any new works or landscaping should consider the existing bushland setting to the west and not restrict the views from these areas. On the north, south, and east the existing chainwire fence, although forbidding, allows the grass to flow through to the streets and West Street Oval and allows views in and out of the site. This visual integration should be retained. The treatment at the boundaries of the curtilage should not be physical, but should allow the landscape to flow into the surrounding areas. The existing safety fencing at Hanging Rock Lookout is domestic in scale and detracts from the native vegetation behind. Sections of other areas of fencing are in a poor condition and should be replaced with new fencing. The existing fencing between the main showground and the "Added Area" is unsightly and should be removed.

#### **Action 9.5.1**

***Ensure boundary treatment of the site gives consideration to visual integration with the landscape including the retention of views and vistas.***

#### **Action 9.5.2**

***Implement a consistent fence treatment to identify and protect the site curtilage. Replace the existing fencing at Hanging Rock Lookout with a fence more compatible with the bush setting. Existing chainwire fencing to the site is unsightly and should be replaced with a more suitable design. Remove the existing fencing between the "Added Area" and the main showground precinct.***

The existing bushland character of the site both within and on the western edge of the showground contributes to the aesthetic significance of the place. Any development or landscaping within or without the site on this boundary should not deplete the essential bushland character of this edge of the site. Existing pole mounted electricity wires on the western boundary of the showground detract from the bushland setting.

#### **Action 9.5.3**

***Retain the bushland character of the western side of the showground by conserving the existing trees and vegetation. Do not obscure the bush setting from the showground by new development or landscaping. Ideally the electricity wires at the western edge of the site should be removed or placed underground.***

## VIEWS

The views from and within the Nowra Showground are an important aspect of the significance of the place. The view from Hanging Rock Lookout is one of the reasons many people visit the site. It is desirable for development within the showground and in the immediate surrounds be carefully controlled so that it does not impact on the vistas and panoramic views.

Significant views identified in section 7.0 of this report should be retained in future development.

### **Action 9.5.4**

***Maximise retention of the panoramic views of the Shoalhaven and surrounding district from the showground on the western boundary, especially Hanging Rock Lookout.***

### **Action 9.5.5**

***Retain the significant view corridors including:***

- ***Views to Cambewarra Mountain and over the Shoalhaven River to the west.***
- ***Views east to the town and coastal land from high areas in Precinct 2***
- ***Glimpses to the east of the town and coast from Junction Street, the Worrigeer Street entry and the Federation Pavilion.***

### **Action 9.5.6**

***Proposals for development adjoining Nowra Showground should assess the visual impact through photo montages, three dimensional drawings and/or other graphic tools.***

### **Action 9.5.7**

***Significant view corridors identified in this CMP are to be considered in any future development in the vicinity of the showground and in any future planning controls.***

## APPROACH ROUTES & ENTRIES

Traditional approach routes to the showground are the Worrigeer Street and Junction Street entrances. These routes are the natural extension of the Nowra street grid. They also provide strong visual evidence of the chronological development of the site, with the two streets separating the three precincts. Minor entries are located at the south eastern corner of Precinct 3 at Plunkett Street, and at the north western corner of Precinct 2, at Scenic Drive.

### **Action 9.5.8**

***Maintain the original approaches to the showground via the Worrigeer Street and Junction Street entrances.***



**Action 9.5.9**

***Upgrade the design of the minor entries at Plunkett Street on the south and at Scenic Drive at the north west corner of the "Added Area".***

The existing entry at Junction Street is marked dramatically by the War Memorial Gates, however the Worrigee Street entry is somewhat unsightly with the old McKenzie Gate posts badly juxtaposed with rusting chainwire gates. The overhead electrical transformer and nearby Commentary Box are also visually unattractive.

**Action 9.5.10**

***Interpret the Worrigee Street entry by the design of suitable fencing and gates, the elimination of the pole-top transformer and in the long run the removal of the Commentary Box.***

## 9.6 CULTURAL LANDSCAPES POLICY

### VERNACULAR LANDSCAPES

Much of the initial work regarding cultural landscapes was undertaken in America, however the concept is now widely accepted in the conservation field. The American National Parks Service have prepared a Preservation Brief entitled "*Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes*". The brief categorises the types of cultural landscapes and provides guidance in planning for, and implementing a "Preservation Maintenance Plan". This approach is helpful in determining policies for Nowra Showground.

The types of cultural landscape as defined in the Preservation Brief are:

(Historic) Designed Landscape	<p>A landscape that was consciously designed or laid out by a landscape architect, master gardener, architect or horticulturist according to design principles, or an amateur gardener working in a recognised style or tradition.</p> <p>The landscape may be associated with a significant person(s), trend or event in landscape architecture; or illustrate an important development in the theory and practice of landscape architecture. Aesthetic values play a significant role in designed landscapes. Examples include parks, campuses and estates.</p>
(HISTORIC) VERNACULAR LANDSCAPE	<p>A landscape that evolved through use by people whose activities or occupancy that shaped that landscape. Through social or cultural attitudes of an individual, family or community, the landscape reflects the physical, biological and cultural character of those everyday lives. Function plays a significant role in vernacular landscapes. They can be a single property such as a farm or a collection of properties such as a district of historic farms along a river valley. Examples include rural villages, industrial complexes, and agricultural landscapes.</p>
HISTORIC SITE	<p>A landscape significant for its association with a historic event, activity or person. Examples include battlefields and president's house properties.</p>
ETHNOGRAPHIC SITE	<p>A landscape containing a variety of natural and cultural resources that associated people define as heritage resources. Examples are contemporary settlements, religious sacred sites and massive geological structures. Small plant communities, animals, subsistence and ceremonial grounds are often components.</p>



In the case of Nowra Showground the landscape generally falls within the Historic Vernacular and Historic Designed categories.

An important component of a cultural landscape is the vegetation. A recent issue of the American Association of Preservation Technology looked in detail at the conservation and management of Cultural Landscapes noting that:

*"Vegetation is a critical character-defining feature of most cultural landscapes, but its management has traditionally focused on specimen plantings in contained landscapes like gardens, parks and historic sites. The growing trend to identify, document and preserve large cultural landscapes has expanded the scope of vegetation management, often to include whole biotic systems. In rural landscapes, for example, features needing management may include forests, woodlots, orchards, cultivated fields, hedgerows, pastures and meadows. In designed landscapes, such as scenic roads or large regional parks, linear allées of trees, wide vistas, roadside meadows and large sweeps of woodland may be among the significant features."*

*"...Large cultural landscapes must be managed within a broader ecological system, with greater emphasis on preserving vegetation patterns and processes rather than on individual vegetation features."*

*Vegetation Management in Large Cultural Landscapes: Techniques for Preserving Historic Fields and Vistas (September 1998 Journal of Preservation Technology)*

The main defining features of the cultural landscape of Nowra Showground can be summarised as:

- The essential bushland character of its setting on the western edge of the street grid incorporating picturesque views over the Shoalhaven River and beyond, together with the many number of mature native and introduced trees within the site.
- A site used continuously by the local community since the year 1886 for the celebration of rural, sporting and social activities and which clearly reflects in the three precincts, separated by the entry roads, the needs for expansion over the years of usage.
- A site which incorporates a mix of formal (the Federation Pavilion addressing the main oval, the Junction Street arched gateway entry) and informal built elements (the rustic character and configuration of buildings in Precinct 3, the siting and design of some of the later buildings), and reflected in the character of these built elements the changing tastes and attitudes of the community and of building design over the years.

In determining the ongoing uses and allowing for the needs of future expansion (see Future Use Policy) on Nowra Showground, and its conservation, the place should be considered as a cultural landscape rather than individual buildings or elements. Evidence of the patterns of use of the site is significant and this may be evident in a group or series of elements rather than an individual element.

**Action 9.6.1**

***Ensure that future planning, adaptation, expansion of facilities and site management recognise the significance of the site as a cultural landscape.***

**Action 9.6.2**

***Ensure the retention of individual elements including landform, planting, vegetation, buildings and fences which contribute to the character of the place as a cultural landscape. This may require replacement of items to retain the whole, eg. the timber fences in the Horse and Cattle Area (Precinct 3).***

**Action 9.6.3**

***Retain evidence of all phases of development of the site without unwarranted emphasis on any one aspect or stage of its development.***

**CONTINUITY OF USE**

The long term use of the site should aim to conserve both the vegetation systems and the significant buildings. The long term use should continue the agricultural, horticultural, sporting and communal recreation use of the site. If future changes in community activities and social pressures require a move away from traditional activities at the showground then this Conservation Management Plan will need to be reviewed in light of these changes.

The continuity of use of the buildings and open spaces for the purpose for which they were originally intended also aids in the conservation of significant fabric ( see also Ongoing Use in Section 9.4). The traditional pattern of use of the complex should continue. Non traditional uses (eg. the use of the site for motor sports, where to be accommodated significant changes would need to be made) should be limited in scale and should support long term conservation and traditional use. Broadly therefore the site will continue to be used as a showground, with all the sporting and communal uses associated with it.

The aim of the conservation works is to conserve the site as a cultural landscape rather than as a collection of individual buildings. The places integrity and authenticity is a vital element of its character. The particular characteristic of the cultural landscape is a *historic vernacular landscape*, with evidence of continuity of use of both the buildings and the landscape. In addition to the conservation of the fabric evidence of the pattern of use of the site are also of significance and should be retained. To achieve this balance between the continuation of agricultural and horticultural use patterns and the stabilisation of the extant fabric needs to be established. This balance between continued use and conservation of the fabric can also allow for the adaptive reuse of areas of lesser significance.

**Action 9.6.4**

***Continue the use of the site as a showground/sporting /social complex.***



## 9.7 TREATMENT OF FABRIC POLICY

### BUILDING CONSERVATION

The following are general policies outlining solid principles for any conservation works carried out on significant buildings and elements of Nowra Showground. Any conservation works to be carried out should be aimed at retaining evidence of the development of the site rather than restoring that element to a particular period. For example it would not be appropriate to restore the Victorian Masonry Gate and Toilet to the gate it was originally.

Generally existing fabric is to be stabilised. Maximising the survival of original fabric is important to keep the building's authenticity and integrity. If there is a choice available existing fabric should be retained. Maximum priority should be given to those buildings and elements of high heritage significance (refer to Section 7.5 Gradings of Significance). Those elements which are considered intrusive should ideally be removed or modified.

#### **Action 9.7.1**

**Conserve significant existing fabric by repair, reconstruction and preservation. Individual elements should be conserved according to their significance (see Section 7.5 Gradings of Significance ).**

#### **Action 9.7.2**

**Reconstructing elements to a known earlier state, for example removing additions, is acceptable only if it is required for conservation, if it enhances the significance, does not distort existing evidence and allows interpretation of the change.**

#### **Action 9.7.3**

**Prioritise conservation action according to conservation needs. Address unstable fabric or deterioration which endangers significant fabric first.**

#### **Action 9.7.4**

**Any work on heritage fabric should be carried out only by appropriately skilled tradespeople or professionals, for example, a conservation architect for project control on technical matters, masons for stonework, skilled bricklayers for brickwork, carpenter for timbers. Proof should be sought of their skill level.**

#### **Action 9.7.5**

**Employ traditional techniques in conservation work, but in some circumstances modern techniques may be used for which a firm scientific basis exists and which have been supported by a body of evidence.**

#### **Action 9.7.6**

**If existing significant fabric has to be removed, for example in order to repair the structure, or to reveal aspects of the building's significance, it is to be recorded before any intervention is to take place and if applicable, a sample retained on site. Intrusive elements should be removed.**

**Action 9.7.7**

***Continue to carefully stockpile any existing heritage fabric removed from the structure and appropriate for future reuse. Protect from the elements, termite attack and ground moisture, salts and theft.***

**Action 9.7.8**

***In the long term, remove intrusive elements which detract from the heritage significance of the place (refer Section 7.5 Gradings of Significance) and if required replace with a less intrusive design of more suitable location.***

**LANDSCAPE CONSERVATION**

All major trees on the showground site are considered to be of aesthetic significance and should be conserved. Some of the trees such as the line of fig trees ( *Ficus macrocarpa* var. "Hilli" ) south of the Federation Pavilion planted as a memorial to First World War soldiers have added historical significance. These trees which have been planted for commemorative reasons should be retained and if possible interpreted with labels. Adjacent seating and carparking around these trees is putting them in danger of being damaged. A survey of all major trees and an assessment of their condition was carried out in 1996 (*Nowra Showground Tree Survey and Analysis*) and is included within the Appendices at the rear of this document. This document should be updated regularly.

Significant plantings should be replaced with the same species in the same location if they die. Plants ideally should be propagated from the parent material.

All significant trees on the site should be inspected regularly by an arborist skilled in the assessment of cultural planting and measures taken to control any decline in health due to the entry of pests and diseases through cavities and breakages.

Trees should be conserved by ongoing arboricultural management by qualified arborists or tree surgeons under the direction of a heritage landscape architect or horticulturist. Remove trees only if dangerous or disease affected and before removing any tree seek approvals required by local council tree preservation orders and any other heritage listing. Protect trees and their roots above and below ground. Do not excavate ground within the dripline, i.e. that area below the outer canopy of the foliage. Do not store materials, park cars or pour liquids near trees. Topsoil should not be removed from around the base of trees and roots exceeding 50mm in diameter should not be cut. If it is required that tree roots are to be cut seek expert advice and use methods which do not disturb other existing tree roots. It is inadvisable to place soil around the base of existing trees or against their bark as it will cut off oxygen and nutrients to the roots and expose the bark to rot. Do not compact ground around existing trees. This can lead to depletion of oxygen and nutrients and subsequent death of the trees. If compaction occurs soil must be aerated by coring, slicing or fracturing with compressed air.



**Action 9.7.9**

***All major trees and plantings should be considered aesthetically significant and be conserved. Conserve significant plantings of all periods including indigenous species. Plan for succession planting for significant plant material.***

**Action 9.7.10**

***Remove existing seating and car parking under driplines of the "Hills" Figs around Main Oval. Carry out remedial work on compacted ground adjacent to trees to aerate the soil as specified by a qualified arboriculturalist. Consideration should be given to providing temporary seating for use only at peak show times.***

**Action 9.7.11**

***Seek specialist advice as necessary on arboricultural management, especially for tree surgery.***

**Action 9.7.12**

***Do not excavate, build up soil or compact soil around significant plants.***

**Action 9.7.13**

***Do not remove significant trees or tree stumps.***

**Action 9.7.14**

***Update the Nowra Showground Tree Survey on a regular basis.***

## **BUILDING MAINTENANCE**

These general policies recognise that maintenance is an important conservation process. A long term Maintenance Plan should be developed and coordinated with the management and usage of the place. It should include regular inspections, outline who is responsible for various aspects of it and allow for prompt follow-up maintenance and repair if required. The Maintenance Plan should be subject to regular review.

In any leasing arrangements entered into for portions of the site the responsibility for maintenance should be decided and should become a condition of the lease.

**Action 9.7.15**

***Preserve the Nowra Showground by stabilisation and continuing maintenance.***

**Action 9.7.16**

***Preserve the buildings, timber fencing etc (in the short term) where required by stabilising deterioration including making watertight, structurally stable, adequately disposing of stormwater, and replacement and reconstruction.***

**Action 9.7.17**

***Preserve the buildings, timber fencing etc (in the longer term) by continuing maintenance, the singlemost important process of conservation.***

**Action 9.7.18**

***Prepare a Maintenance Plan for the Nowra Showground.***

**Action 9.7.19**

***Provide adequate financial resources for the development and implementation of a Maintenance Plan.***

**Action 9.7.20**

***Regular inspections and maintenance, shall be undertaken by persons skilled in the conservation of buildings of this nature and with an understanding of the heritage value of the place.***

**Action 9.7.21**

***Include maintenance as a necessity for new use.***

Maintenance of the horse and cattle stalls and associated post and rail fencing should aim to replace deteriorated sections to match those replaced or repaired as it is the existing form, materials and detailing which contribute to the aesthetic significance of this precinct. Repairs should be undertaken as the need arises, with loose or deteriorating timbers being replaced. Some of the fencing and seating in this area is in poor condition and requires immediate attention.

**Action 9.7.22**

***Continue the use of existing timber and steel pipe construction and detailing when maintaining horse and cattle stalls and associated post and rail fencing. Repair existing timber seating as required to match existing.***

Some of the timber bench seating around the Main Oval is in a poor condition, especially around the "Hills" figs. Where it will not damage the fig trees, maintain or replace to match existing. If other seating is to be considered for the oval it should be in a bench seat design as per the Landscape Master Plan. It should preferably be replaced in whole sections at a time rather than in a piecemeal manner.

**Action 9.7.23**

***Maintain timber seating around the oval to match existing or remove completely and replace with new seating so as to reduce maintenance costs. If new seating is to be installed use a bench type design as recommended by the Landscape Master Plan.***

LANDSCAPE MAINTENANCE

**Action 9.7.24**

***Trees, gardens, grassed areas and hard landscaping are to be maintained in accordance with Councils' Service Agreement for Parks, Gardens and Open Space within the City of Shoalhaven.***



## 9.8 FUTURE USE POLICY

### GENERALLY

As the Shoalhaven region develops in the future new sporting and community facilities will inevitably be created. This may result in the showground being less utilised than at the present time. Some facilities may need to be upgraded or replaced if it is to survive as a viable all-year-round sporting and social complex.

Any future uses of the showground should be compatible with its significance. Compatible uses retain or regain significance, require minimum intervention in the fabric, enhance the bushland setting and would include uses relating to sporting, agriculture and passive recreation.

An empty building can be subject to deterioration through neglect and all efforts should be made to utilise and occupy it. If future social pressures require a move away from the more traditional uses of the showground then this Conservation Management Plan will need to be reviewed in light of these changes.

#### **Action 9.8.1**

***Ensure the conservation of Nowra Showground by adapting elements of the place to a compatible new use.***

#### **Action 9.8.2**

***Where possible make only the minimum necessary adaptation to accommodate the new use while taking into account the Cultural Significance.***

#### **Action 9.8.3**

***Use the existing features of the place in the adaptation to enhance the existing qualities and character.***

#### **Action 9.8.4**

***If future social change requires a move away from traditional uses of the showground then this Conservation Management Plan will need to be reviewed.***

### RANGE OF POSSIBLE USES

#### **Action 9.8.5**

***The following is a range of possible uses considered compatible with the cultural significance of the showground:***

- ***Annual show activities***
- ***Agricultural and pastoral displays***
- ***Continued sporting use of the two grounds, croquet lawns and ancillary facilities***
- ***Passive and active recreation***
- ***Use of halls and meeting rooms by various community groups and clubs***

- ***Community gatherings***
- ***As a tourist destination (Hanging Rock Lookout and picnic area)***
- ***Educational and interpretative use***
- ***As a site for local festivals and concerts***
- ***As an Emergency Assembly Site***



## 9.9 NEW WORKS POLICY

### NEW BUILDING

New works or modifications will inevitably be required at the showground if the future requirements of the complex are to be met. Some of the more recent work such as the Poultry Pavilion and the Changerooms are ill-sited, intrusive and detract from the character of the site. New work should be comparable with the early phases of the site in quality. The new Woodchop Arena (although it would have been better located further to the north, off the Junction Street axis) and the additions to the Federation Pavilion are examples of sensitive design in keeping with the showground context.

Any new structures should be carefully sited and respect the landform, the existing trees, the significant views and the pattern of building on the site. Refer to Plan Drg. 4 for those areas most suitable for locating new structures. New work should not dominate the existing structures and should not challenge the dominance of the Federation Pavilion. New structures can be accommodated in the Horse and Cattle Area for example, but they should preferably continue the linear character and flat roof forms of the existing stalls.

Addition of new services and amenities may very well be required to items of high significance. Generally new work should not alter fabric of high significance, should be reversible and distinguishable from the old. If new amenities are required for example it may be appropriate to site them in new buildings.

Simple modern design is acceptable. The Burra Charter does not prohibit the use of modern materials and techniques. Using modern materials and techniques can be an effective way in distinguishing new work from original but must be used with care and design excellence.

#### **Action 9.9.1**

***Design new works or modifications so the heritage significance of the showground is retained.***

#### **Action 9.9.2**

***New work or modifications to items of high significance should be compatible with their heritage significance, i.e. minimise impact, be distinguishable from the original and be reversible.***

#### **Action 9.9.3**

***Reflect the original showground design concepts in new work. The existing buildings should be the starting point for the design of new work.***

#### **Action 9.9.4**

***Locate new structures according to the existing pattern of building, i.e., new construction should address but not mimic the existing in terms of scale, materials, colour, texture and quality.***

**Action 9.9.5**

***Designers and conservation professionals should work together from initial stages through to the final design stage.***

Some built elements in the showground are intrusive either because of their architectural character, their siting, or both (see Section 5.0 and Section 7.5). Serious consideration should be given to removing, modifying, rebuilding or relocating these items to less sensitive areas of the site so that heritage significance is enhanced. Aesthetic, heritage and economic considerations will need to be balanced when making these decisions. Some structures will be better suited to relocation (metal framed structures), while others (brick structures) will need to be demolished or modified.

**Action 9.9.6**

***Priority should be given for the removal, modification, replacement or relocation to less sensitive areas of the site for the following built items:  
Poultry Pavilion, Changerooms; Publican's Bar; Store Shed; Commentary Box to Main Oval; Community Youth Centre and Judging Tower to Woodchop Arena.***

Future major new works and modifications should be planned to occur in areas most suitable, ie. in those areas and to those buildings considered to be of lower heritage significance or are considered as intrusive (see Section 7.5).

**Action 9.9.7**

***When planning any future major new works and modifications to showground areas and buildings, utilise those areas and buildings which cause least loss of heritage significance and as set out below (Refer also Plan Drg. 4):***

***Items and areas most suitable for major new works and modification***  
***These are generally those items which have been considered of Little significance are Neutral or are Intrusive (see Section 7.5).***

***Poultry Pavilion***

***Changerooms***

***Community Youth Centre***

***Woodchop Arena***

***Dog Club***

***Female Toilet***

***Commentary Box on Main Oval***

***Federation Pavilion (additions to rear)***

***Publican's Bar and nearby Store Shed***

***Land in Precinct 2 north of the playing field (subject to location of trees)***

***Land in Precinct 2 between the Woodchop Arena and Community Youth Centre (subject to location of trees)***

***Land in Precinct 3 north of the Cattle Judging Ring***



**Items and areas least suitable for major new works and modifications**

***These are generally those items which have been considered of Exceptional or Considerable significance (see Section 7.5).***

***Federation Pavilion (original building)***

***War Memorial Gates***

***Victorian Masonry Gate and Toilet (new toilet fit out is acceptable)***

***Monaghan's Memorial***

***Generally land west of the rear of the Federation pavilion in Precincts 1 & 2 including Hanging Rock Lookout***

***Land along the sides of Junction Street***

***The stone ramps in Precinct 3***

**Items and areas suitable for moderate or some degree of new works and modifications**

***These are generally those items which have been considered of Some significance. Development in these areas, although not as critical as those in the higher significant areas, require considered design solutions (see Section 7.5).***

***Horse and Cattle Area (eg. new or modified stalls, seating, fencing, judging box)***

***Fenced Yards in Precinct 3***

***Land north of the horse and cattle stalls in Precinct 3 (subject to location of trees)***

***Land south of the horse and cattle stalls in Precinct 3 (subject to location of trees)***

***Land east of the playing field in Precinct 2 (low scale only and subject to location of trees)***

***Land west of line of "Hill's" Figs and asphalt road in Precinct 1***

***Croquet Club***

***Caretaker's House***

## SERVICES

The installation of any new service lines will probably require excavation. Routes and locations should be carefully planned to minimise disturbance. When digging new service trenches significant vegetation should not be destroyed. The current services to the site should be identified and if possible the same routes reused. A detailed plan mapping locations of services should be prepared and regularly updated and kept on site.

New service runs within buildings of high significance should preferably be in concealed locations. They should not be chased into masonry walls or damage heritage fabric. If they cannot be concealed run service lines in surface mounted conduits or ducting. In some cases it is more appropriate to express new services rather than conceal them in false bulkheads etc. (eg. air conditioning ducts within the Federation Pavilion).

**Action 9.9.8**

***Prepare a plan locating existing services and service trenches.***

**Action 9.9.9**

***Minimise trenching to undisturbed areas by using shared service zones.***

**Action 9.9.10**

***Plan service routes to minimise ground disturbance.***

**Action 9.9.11**

***New services within buildings of high heritage significance should be concealed and not damage heritage fabric. If they cannot be concealed service runs should be surface mounted in conduits, or expressed honestly as new materials.***

## VEHICLE ACCESS AND PARKING

Accommodating parking on the site is a major issue. Too much car parking will result in the place feeling like a car park and losing its rural character.

The creation of a large scale parking areas, or allowing unrestricted parking on the site would have a significant impact on the rural character of the curtilage. To maintain the character of the showground, the landscape and the setting, it is not envisaged that extensive permanent parking be established (refer Landscape Master Plan).

Occasional parking on the grass for special events, with the exception of the sports fields, is acceptable provided that it does not damage the vegetation. Currently the grassed area between the Main Oval and Hanging Rock Lookout suffers from denudation from vehicles. For larger scale events such as the annual show parking in the surrounding streets is the only viability. For large events alternatives to on site parking may be preferable. This could involve public transport and walking or shuttle bus.

Limited provision of a hard stand area could be provided in an unobtrusive manner through the use of pavers that allow the grass to grow through.

There is still the potential for the dropping off visitors to operate, from remote car parking areas. Pedestrian and bicycle access to the site should be encouraged and disabled parking and access should also be provided.

**Action 9.9.12**

***Provide limited parking on existing hardstand areas adjacent to the Federation Pavilion.***

**Action 9.9.13**

***Limit on site parking and ensure that it is provided in unobtrusive areas.***



**Action 9.9.14**

*Formalise parking areas and methods of restricting parking as per the Landscape Master Plan, preferably sealed or surfaced in gravel.*

**Action 9.9.15**

*Arrange links to public transport, shuttle services and buses for special events. Provide disabled parking facilities and drop-off points. At peak times provide temporary parking for the disabled. These disabled parking facilities and drop-off points are to be developed in consultation with Councils' Access Advisory Committee.*

**Action 9.9.16**

*Formalise traffic movements throughout all precincts within the showground and where possible rationalise the road network. This work should also be carried out in conjunction with the improvement and management of surface water runoff.*

## 9.10 INTERPRETATION AND SIGNAGE POLICY

"Interpretation" means communicating information and ideas to help people understand the cultural significance of a building or a site. There are many different ways of interpreting a place including guided walks / talks, displays, signs, brochures, books, story telling, electronic media, special events, re-enactments, etc.

Interpretation programs can:

- Enrich the visitor's experience
- Enable the visitor to appreciate and understand the place
- Promote public understanding of a heritage management program

Interpretation devices can provide the information for educational visits and for tourists. An interpretation plan should be prepared for the Nowra Showground. Signage will also be required to indicate entry points and provide directions. All signage should be designed together and be coordinated, including interpretive signs. There should not be a proliferation of signs that detract from the character of the place.

### **Action 9.10.1**

***Prepare an Interpretation Plan for the showground.***

### **Action 9.10.2**

***Design an interpretive signage system in coordination with other signage at the showground.***



## 9.11 ARCHAEOLOGY POLICY

As the showground site was undeveloped prior to its dedication in 1881 it is highly unlikely there are any archaeological remains prior to this date. There is the possibility that there are extant remains of earlier showground structures, such as the footings of the "Old Grandstand" for example. The historical record indicates extensive site works at the ground including the reconstruction of the oval in 1937, the extension across Worrigee Street in the same year, and the Croquet Club and Tennis Courts erected in the area where the old cattle stalls were located, all which could have obliterated any remains. The actual location of some of the earlier structures may be difficult to determine as there has been no early detailed plan of the showground as yet located.

The guidelines established by the NSW Heritage Act should be adopted as a basis for the management of any archaeological remains. For any future major works involving in-ground excavation an Archaeological Zoning Plan should be established for the whole of the Nowra Showground site or at least for that area of the site effected. This should be carried out by a suitably qualified archaeologist.

The NSW National Parks and Wildlife Service have identified a number of Aboriginal sites within the surrounding area but not on the showground site. The NPWS normally do not recommend an Aboriginal heritage assessment in an area of land which has been subject to intensive ground disturbance including roads, sport fields etc. (see NPWS report in Appendices). Should an Aboriginal heritage assessment be carried out it should be by a person qualified in undertaking such assessments. It is recommended that the local Aboriginal community representatives (Tribal Council or Aboriginal Land Council) are contacted for their input.

### **Action 9.11.1**

***The procedures and methodologies contained within The Archaeological Assessments Guidelines produced by the NSW Heritage Office should be used as the basis for any future major works which involve below ground excavation or possible disturbance of archaeological material.***

### **Action 9.11.2**

***For any future works involving in-ground excavation prepare an Archaeological Zoning Plan for the whole of the Nowra Showground site, or at least for the area effected.***

### **Action 9.11.3**

***Should any Aboriginal assessment of the showground be carried out, it must be by a suitably qualified archaeologist. The local Aboriginal representative should also be contacted.***